



DATE: March 25, 2019

TO: Chairperson and Members of the Planning Commission

FROM: Development Services Department/Planning Division

SUBJECT: **CONSIDERATION OF A REGULAR COASTAL PERMIT (RC18-00008) TO ALLOW AN ADDITION TO AN EXISTING 1,453-SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND AN ACCESSORY DWELLING UNIT, LOCATED AT 303 EATON STREET – SERGEANT RESIDENCE – APPLICANT: ROBERT SERGEANT**

RECOMMENDATION

Staff recommends that the Planning Commission by motion:

- (1) Confirm issuance of a Class 1 Categorical Exemption for Existing Facilities, pursuant to Section 15301 of the California Environmental Quality Act (CEQA); and,
- (2) Approve Regular Coastal Permit (RC18-00008) and adopt Planning Commission Resolution No. 2019-P07.

BACKGROUND AND PROJECT DESCRIPTION

Location and Background: The project site is located at 303 Eaton Street, at the southeast corner of Eaton Street and Broadway Street. The 5,837-square-foot parcel is developed with an existing one-story, single-family residence with 996 square feet of habitable space and a 457-square-foot attached garage.

Situated within the South Oceanside Neighborhood Planning Area and the appeal jurisdiction of the City's Coastal Zone, the property has a land use designation of Low Density Residential and zoning designation of R-1 (Single-Family Residential). The property is bordered by single-family development to the north, south, and east and the railroad corridor to the west across Broadway Street. Buena Vista Lagoon is located less than 400 feet to the south of the property.



Project Description: The proposed project is a request for a regular coastal permit to allow an addition and remodel to an existing 1,453-square-foot single-family residence, including the construction of an accessory dwelling unit (ADU). As proposed, the existing two-bed, one-bath, single-story dwelling would be expanded and reconfigured to include the addition of a second story, a new two-car garage, and the conversion of the existing garage and a portion of the existing house into an ADU. The finished project would result in a primary dwelling with 2,453 square feet of living area, a 550-square-foot attached garage, and a 775-square-foot attached ADU.

The existing residence would be expanded to include a total of three bedrooms and four bathrooms. The first floor would include 740 square feet of living area with an exercise room, one bedroom, and a bathroom. The second story addition would include 1,695 square feet of living area with a new kitchen, two bedrooms, three bathrooms, and a living room. A new 550-square-foot, two-car garage would be constructed on the parcel's Broadway Street frontage. The proposed height of the second story would be 26 feet as measured from grade to the peak of the roof.

In accordance with the provisions of Article 30, Section 3006 of the Zoning Ordinance, the existing garage and a portion of the existing house, including the kitchen and family room, would be converted into a 775-square-foot ADU with two bedrooms, one bathroom, living room, and kitchen. The proposed square footage also includes a 42 square-foot addition on the east side of the existing house. An ADU established within an existing garage is exempt from parking requirements as provided in Section 3006.D.4 (Parking). Replacement parking for the primary dwelling would be provided by the new garage. While no parking space is required for the ADU, the proposed driveway would qualify as an additional parking space and could accommodate two vehicles side by side.

Driveway access to the property is currently provided on Eaton Street. As proposed, the residence would be reconfigured with a new garage fronting onto Broadway Street. A new driveway and curb cut would be installed on Broadway Street and the existing driveway on Eaton Street would be restored with curb and gutter. The existing perimeter landscaping of the property would be preserved where feasible.

The applicant describes the architectural style of the project as "Tuscan" which is characterized by the use of hip roof forms, projecting balconies, wood trellis and painted stucco finished exterior walls. Contributing details include roof cornices, surrounding window and door molding, and decorative metal railing. The color and materials palette would include smooth stucco exterior walls with beige sand color, a charcoal and tan concrete tile roof, Sicilian brick veneer, concrete Tuscan columns, and a raised panel wood garage door with stained finish.

The project is subject to the following regulatory documents:

1. General Plan Land Use Element
2. Local Coastal Program (LCP)
3. Zoning Ordinance
4. California Environmental Quality Act (CEQA)

ANALYSIS

KEY PLANNING ISSUES

1. General Plan

The General Plan Land Use Map designation for the subject property is Coastal Single-Family Residential. The proposed project is consistent with this land use designation as well as the goals and objectives of the City's General Plan, as follows:

A. Land Use Element

Goal 1.23: Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatments, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

The surrounding residential area consists of a variety of architectural design with no common characteristics. The proposed addition and remodel would introduce a Tuscan style home with treatments and materials that would improve the visual image of the surrounding neighborhood. Many of the homes in the area represent an aging housing stock that has seen revitalization in recent years. The two-story design would also be consistent with similar homes and multi-family complexes in the vicinity.

Goal 1.32: Coastal Zone

Objective: To provide for the conservation of the City's coastal resources and fulfill the requirements of the California Coastal Act of 1976.

Policy A: The City shall utilize the certified Local Coastal Plan and supporting documentation for review of all proposed projects within the Coastal Zone. Specifically, the goals and policies of the Local Coastal Program Land Use Plan shall be the guiding policy review document.

The proposed project has been reviewed by for compliance with the policies of the Local Coastal Program (LCP). Staff finds that the application complies with applicable policies of the LCP, as outlined in the following section of the staff report.

2. Local Coastal Program

The project site is located in the Coastal Commission Appeal area as indicated on the *LCP Certification Permit and Appeal Jurisdiction Map* and is subject to the City's Local Coastal Program, which includes a land use plan and a series of goals and policies intended to ensure that development within the City's Coastal Zone complies with the California Coastal Act.

The LCP establishes policies and guidelines for coastal development, as outlined below.

A. LCP Land Use Plan

Under the Local Coastal Program Land Use Plan, the subject property is designated Low Density Residential. Staff finds that the proposed project is consistent with the purpose and intent of this designation, as the project is proposing an addition to the existing single-family residence, which is consistent with the intent of the Low Density Residential designation. The proposed project is in keeping with the residential character of the surrounding area.

B. LCP Goals and Policies

Policy VI.C.8: The City shall ensure that all new development is compatible in height, scale, color and form with the surrounding neighborhood.

The proposed addition and remodel adheres to the development standards for the R-1 zone district with no variances requested. The addition would be compatible with homes in the surrounding neighborhood in terms of design, scale, color, and height. There are multiple two story homes in the vicinity. Furthermore, the proposed height is nine feet less than the maximum permitted height of 35 feet.

The proposed project complies with applicable components of the LCP, including those regarding public access to the shoreline, compatibility with adequate parking resources, water quality, and flood hazard mitigation.

3. **Coastal Zoning Ordinance Compliance**

The proposed project is subject to the standards of the Coastal Zoning Ordinance, applicable to properties in all portions of the Coastal Zone outside of the Downtown area. The proposed addition conforms to the development requirements of the R-1 Zone as follows:

Table 1. R-1 Development Standard Conformance

Development Standard	Required	Proposed
Minimum Front Yard Setback	20'	20'
Minimum Side Yard Setback	10% of lot width, 3' minimum, need not exceed 5'	5'
Minimum Rear Yard Setback	15'	5' (existing, legal non-conforming)
Maximum Lot Coverage	40%	40%
Maximum Height	35'	26'
Parking (SFD)	2-car garage	2-car garage
Parking (ADU)	Exempt	0

PUBLIC NOTIFICATION

The applicant posted a Notice of Project Application sign on the property on 10-2-18. A legal notice was published in the newspaper and notices were sent to property owners within a 500-foot radius and to tenants within a 100-foot radius of the subject property, individuals and/or organizations requesting notification, the applicant and other interested parties. No correspondence has been received as of the date of publication of the staff report.

SUMMARY

The proposed project, as conditioned, is consistent with the land use policies of the General Plan, policies of the Local Coastal Program, and the requirements of the Zoning Ordinance. Therefore, staff recommends that the Planning Commission:

- (1) Confirm issuance of a Class 1 Categorical Exemption for Existing Facilities, pursuant to Section 15301 of the California Environmental Quality Act (CEQA); and,
- (2) Approve Regular Coastal Permit (RC18-00008) and adopt Planning Commission Resolution No. 2019-P07.

PREPARED BY:



Rob Dmohowski
Associate Planner

SUBMITTED BY:



Jeff Hunt
City Planner

JH/RD/fil

Attachments:

1. Planning Commission Resolution No. 2019-P07
2. Project Plans
3. Application Page, Description and Justification, Legal Description, Notice of Exemption

1 PLANNING COMMISSION
2 RESOLUTION NO. 2019-P07

3 A RESOLUTION OF THE PLANNING COMMISSION OF THE
4 CITY OF OCEANSIDE, CALIFORNIA APPROVING A
5 REGULAR COASTAL PERMIT ON CERTAIN REAL
PROPERTY IN THE CITY OF OCEANSIDE

6 APPLICATION NO: RC18-00008
7 APPLICANT: Robert Sergeant
8 LOCATION: 303 Eaton Street (APN: 155-034-09)

9 THE PLANNING COMMISSION OF THE CITY OF OCEANSIDE, CALIFORNIA DOES
10 RESOLVE AS FOLLOWS:

11 WHEREAS, there was filed with this Commission a verified petition on the forms prescribed
12 by the Commission requesting a Regular Coastal Permit (RC18-00008) under the provisions of the
City of Oceanside Local Coastal Program to permit the following:

13 to construct an addition to an existing 1,453-square-foot single-family residence and an
14 accessory dwelling unit;
15 on certain real property located at 303 Eaton Street;

16 WHEREAS, the Planning Commission, after giving the required notice, did on the 25^h day
17 of March, 2019 conduct a duly advertised public hearing as prescribed by law to consider said
18 application;

19 WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State
20 Guidelines thereto; this project has been found to be categorically exempt from environmental
21 review per Article 19, Class 1, Section 15301, "Existing Facilities; "

22 WHEREAS, there is hereby imposed on the subject development project certain fees,
23 dedications, reservations and other exactions pursuant to state law and city ordinance;

24 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the
project is subject to certain fees, dedications, reservations and other exactions as provided below:

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			<u>Current Estimate Fee or Calculation</u>
	<u>Description</u>	<u>Authority for Imposition</u>	<u>Formula</u>
1			
2			
3	Inclusionary Housing	Chapter 14C.9 of the MC	\$1,000 per development plus \$100
4	Administration Fee	Resolution No. 03-R175-1	per unit plus \$5.80 per sq. ft.
5		Resolution No. 11-R0483-1	
6	Drainage and Flood Control	Ordinance No. 85-23	\$467-\$6,191 per unit Residential
7	Fee	Resolution No. 16-R0638-1	\$.458-\$1.117 per SF Non-Res.
8	Public Facility Fee	Ordinance No. 91-09	Residential: \$2,621 per dwelling
9		Resolution No. 15-R0638-1	unit.
10			Non-Residential: \$0.902 per sq. ft.
11			or \$902 per 1,000 sq. ft.
12	Parks (Residential only)	Ordinance No. 91-09	\$4,431 per dwelling unit.
13		Resolution No. 15-R0638-1	
14	School District Fee	Ordinance No. 91-34	\$3.20/sq. ft. Oceanside, Vista
15	(Residential)	OUSD Resolution No. 13	\$3.79/sq. ft. Carlsbad
16		(12-13)	\$3.36/sq. ft. Fallbrook
17		CUSD Resolution No. 33-	
18		1516	
19	School District Fee	Ordinance No. 91-34	\$0.51/sq. ft. Oceanside, Vista
20	(Commercial/Industrial/	OUSD Resolution No. 13	\$0.61/sq. ft. Carlsbad
21	Senior Housing)	(12-13)	
22		CUSD Resolution No. 33-	
23		1516	
24	School District Fee	CUSD Resolution No. 21-	\$0.30/sq. ft. Carlsbad
25	(Hotel/Motel)	1314	
26	Traffic Signal and	Ordinance No. 87-19	\$2,357-\$4,339 per dwelling unit
27	Thoroughfare Fee	Resolution No. 16-R0324-1	
28	(Single-Family Residential)		
29	Traffic Signal and	Ordinance No. 83-01	\$2,357-\$2,893 per dwelling unit
30	Thoroughfare Fee	Resolution No. 16-R0324-1	
31	(Multi Family Residential)	Resolution No. 12-R0626-1	
32	Wastewater System	Oceanside MC §32.7.29	\$7, 794
33	Capacity Buy-In Fee	Resolution No. 87-97	
34	(Single-Family Residential)	Ordinance No.15-OR0479-1	

<u>Description</u>	<u>Authority for Imposition</u>	<u>Current Estimate Fee or Calculation</u> <u>Formula</u>
Wastewater System Capacity Buy-In Fees (Non-Residential and Multi-Family)	Oceanside MC §32.7.29	5/8" to 2" = \$7,794
	Resolution No. 87-97	3/4" = \$11,691
	Ordinance No.15-OR0479-1	1" = \$19,486
		1 1/2" = \$38,971
		2" = \$62,354
		3" = \$116,914
		4" = \$194,856
		(see Water Utilities Dept. for other meter costs)
		(For larger meters, see Water Utilities).
Water System Capacity Buy-In Fees (Residential and Non-Residential)	Oceanside MC §37.7.37	5/8" = \$5,680
	Resolution No. 87-96	3/4" = \$8,520
	Ordinance No.15-OR0480-1	1" = \$14,200
		1 1/2" = \$28,400
		2" = \$45,440
		(see Water Utilities Dept. for other meter costs)

WHEREAS, the current fees referenced above are merely fee amount estimates of the impact fees that would be required if due and payable under currently applicable ordinances and resolutions, presume the accuracy of relevant project information provided by the applicant, and are not necessarily the fee amount that will be owing when such fee becomes due and payable;

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations consistent with applicable law;

WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law;

WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction

1 described in this resolution begins on the effective date of this resolution and any such protest must
2 be in a manner that complies with Section 66020;

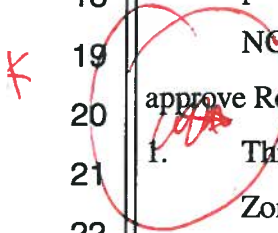
3 WHEREAS, action on this resolution becomes final 20 days after its adoption, unless
4 appealed to the City Council, and shall become effective after the 10 working-day appeal period to
5 the Coastal Commission has expired; and

6 WHEREAS, studies and investigations made by this Commission and in its behalf reveal the
7 following facts:

8 FINDINGS:

9 For the Regular Coastal Permit (RC18-00008):

- 10 1. The granting of the Regular Coastal Permit is consistent with the purposes of the
11 California Coastal Act of 1976. The proposed two-story single-family residence and
12 accessory dwelling unit are consistent with the Low Density Residential land use
13 designation as depicted in the Local Coastal Program Land Use Map.
- 14 2. The proposed project is consistent with the policies of the Local Coastal Program and with
15 the applicable provisions of the Zoning Ordinance, in that the project conforms with all
16 applicable land use and development standards for the R-1 (Single-Family Residential)
17 District.
- 18 3. The proposed project will not impact or obstruct any existing public views or planned
19 public beach access, consistent with the policies of Chapter 3 of the Coastal Act.

20  NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby
21 approve Regular Coastal Permit (RC18-00008) subject to the following conditions:

- 22 1. This Regular Coastal Permit shall expire on March 25, 2021, unless implemented per the
23 Zoning Ordinance or unless the Planning Commission grants a time extension.
- 24 2. The applicant, permittee or any successor-in-interest shall defend, indemnify and hold
25 harmless the City of Oceanside, its agents, officers or employees from any claim, action or
26 proceeding against the City, its agents, officers, or employees to attack, set aside, void or
27 annul an approval of the City, concerning Regular Coastal Permit (RC18-00008). The City
28 will promptly notify the applicant of any such claim, action or proceeding against the City
29 and will cooperate fully in the defense. If the City fails to promptly notify the applicant of
any such claim action or proceeding or fails to cooperate fully in the defense, the applicant
shall not, thereafter, be responsible to defend, indemnify or hold harmless the City.

- 1 3. Prior to the transfer of ownership and/or operation of the site, the owner shall provide a
2 written copy of the applications, staff report and resolutions for the project to the new owner
3 and/or operator. This notification's provision shall run with the life of the project and shall
4 be recorded as a covenant on the property.
- 5 4. Prior to issuance of a building permit, the applicant and landowner shall execute and record
6 a covenant, in a form and content acceptable to the City Attorney, providing that the property
7 is subject to this resolution and all conditions of approval.
- 8 5. Failure to meet any conditions of approval for this development shall constitute a violation
9 of the Regular Coastal Permit.

10 **Building:**

- 11 6. The granting of approval under this action shall in no way relieve the applicant/project from
12 compliance with all State and local building codes.

13 2016 Triennial Edition of California Code of Regulations (CCR), Title 24

14 The 2016 triennial edition of the California Code of Regulations, Title 24 (California
15 Building Standards Code) applies to all occupancies that applied for a building permit on
16 or after January 1, 2017, and remains in effect until the effective date of the 2019 triennial
17 edition which will be January 1, 2020. The California Building Standards Commission
18 website at <http://www.bsc.ca.gov/codes.aspx> has links to where the codes can be viewed
19 online as well as information on where the codes can be purchased; Parts 6, 11, and 12
20 can be directly downloaded for free.

21 There are 12 parts to Title 24 and the applicable parts for most Building Division permit
22 applications are listed below.

- 23 • Part 2: The 2016 California Building Code (CBC).
- 24 • Part 2.5: The 2016 California Residential Code (CRC).
- 25 • Part 3: The 2016 California Electrical Code (CEC).
- 26 • Part 4: The 2016 California Mechanical Code (CMC).
- 27 • Part 5: The 2016 California Plumbing Code (CPC).
- 28 • Part 6: The 2016 California Energy Code

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The 2016 CA Energy Code is based on the 2016 Building Energy Efficiency Standards, please visit the California Energy Commission website at <http://www.energy.ca.gov/title24/2016standards/> where additional information can be found and Compliance manuals can be downloaded for free. Also check www.EnergyCodeAce.com for helpful information on how to meet the requirements of Title 24, Part 6.

- Part 9: The 2016 California Fire Code (CFC)
- Part 11: The 2016 California Green Building Standards Code (CALGreen Code)
This Part is known as the California Green Building Standards Code, and it is intended that it shall also be known as the CALGreen Code.
- Amendments to the City of Oceanside Administrative Code for Building Regulations

7. The building plans for this project shall be prepared by a licensed architect or engineer and shall be in compliance with this requirement prior to submittal for building plan review.
8. The building plan submittal shall include documentation for construction waste management per 2016 CALGreen section 4.408 Construction Waste Reduction, Disposal and Recycling. Documentation must be provided and the plans must be clearly noted as to which method in section 4.408 will be used, see section 4.408.5 Documentation.
9. 4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
10. 4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
11. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on the plans.

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- 1 12. A complete Soils Report, Structural Calculations, & Energy Calculations/documentation
2 shall be required at time of plans submittal to the Building Division for plan check.
- 3 13. The existing garage that will be removed and used for the new habitable area must be
4 waterproofed by a listed product or system.
- 5 14. A form or foundation survey shall be required prior to the placement of concrete to show
6 the location of the new structure in respect to the property lines, known easements, and
7 known setback lines. By obtaining a form survey the location of the foundation is checked
8 prior to the placement of concrete, and can save costly corrective measures in case of an
9 encroachment of a property line.
- 10 15. The developer shall monitor, supervise and control all building construction and
11 supportive activities so as to prevent these activities from causing a public nuisance,
12 including, but not limited to, strict adherence to the following:
- 13 a) Building construction work hours shall be limited to between 7:00 a.m. and 6:00
14 p.m. Monday through Friday, and on Saturday from 7:00 a.m. to 6:00 p.m. for
15 work that is not inherently noise-producing. Examples of work not permitted on
16 Saturday are concrete and grout pours, roof nailing and activities of similar noise-
17 producing nature. No work shall be permitted on Sundays and Federal Holidays
18 (New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, and
19 Christmas Day) except as allowed for emergency work under the provisions of the
20 Oceanside City Code Chapter 38 (Noise Ordinance).
- 21 b) The construction site shall be kept reasonably free of construction debris as
22 specified in Section 13.17 of the Oceanside City Code. Storage of debris in
23 approved solid waste containers shall be considered compliance with this
24 requirement. Small amounts of construction debris may be stored on-site in a neat,
25 safe manner for short periods of time pending disposal.

26 **Engineering:**

- 27 16. Prior to any construction, obtain a right-of-way & Traffic Control Permit to close the
28 driveway on Eaton Street.
- 29 17. Prior to any construction, obtain a right-of-way and Traffic Control Permit to build a new
driveway on Broadway Street.

1 18. Comply with the sight distance requirements for the new project driveway on Broadway
2 Street.

3 **Fire:**

4 19. Smoke and carbon monoxide alarms required on all levels in locations per California
5 Residential Code.

6 20. Minimum four inches high building address numbers must be located on the dwelling and
7 visible from Holly Street.

8 **Planning:**

9 21. This Regular Coastal Permit, as conditioned, approves the construction of a two-story
10 addition and the conversion of an existing garage into an accessory dwelling unit as shown
11 on the plans and exhibits presented to the Planning Commission for review and approval.
12 No deviation from these approved plans and exhibits shall occur without Planning Division
13 approval. Substantial deviations shall require a revision to the Regular Coastal Permit.

14 22. Elevations, exterior wall materials, colors, roofing materials and floor plans shall be
15 substantially the same as those approved by the Planning Commission. These shall be shown
16 on plans submitted to the Building Division and Planning Division.

17 23. Unless expressly waived, all current zoning standards and City ordinances and policies in
18 effect at the time building permits are issued are required to be met by this project. The
19 approval of this project constitutes the applicant's agreement with all statements in the
20 Description and Justification and other materials and information submitted with this
21 application, unless specifically waived by an adopted condition of approval.

22 24. The existing driveway apron and curb cut on Eaton Street shall be removed and replaced
23 with concrete curb and gutter. The design and construction shall be in accordance with the
24 standard plans and specifications of the City of Oceanside and subject to approval by the City
25 Engineer.

26 25. All lighting showcasing building architecture shall be shown on the building plans.

27 26. All mechanical rooftop and ground equipment shall be screened from public view as required
28 by the Zoning Ordinance, on all four sides and top. The roof jacks, mechanical equipment,
29 screen and vents shall be painted with non-reflective paint to match the roof. This
information shall be shown on the building plans.

27. Garage will be kept available for parking.

1 **Water Utilities:**

2 **General conditions:**

- 3 28. For developments requiring new water service or increased water service to a property,
4 the landowner must enter into an agreement with the City providing for landowner's
5 assignment of any rights to divert or extract local groundwater supplies for the benefit of
6 the property to receive new or increased water service, in return for water service from the
7 City, upon such terms as may be provided by the Water Utilities Director.
- 8 29. The developer will be responsible for developing all water and sewer utilities necessary
9 to develop the property. Any relocation of water and/or sewer utilities is the responsibility
10 of the developer and shall be done by an approved licensed contractor at the developer's
11 expense.
- 12 30. All Water and Wastewater construction shall conform to the most recent edition of the
13 *Water, Sewer, and Recycled Water Design and Construction Manual* or as approved by
14 the Water Utilities Director.
- 15 31. The property owner shall maintain private water and wastewater utilities located on
16 private property.
- 17 32. Water services and sewer laterals constructed in existing right-of-way locations are to be
18 constructed by an approved and licensed contractor at developer's expense.
- 19 33. Each new residential dwelling unit shall be metered individually.
- 20 34. If fire sprinkler system is required by the Fire Department, then a dual check valve after
21 the water meter must be installed.

22 **The following conditions of approval shall be met prior to the approval of engineering
23 design plans:**

- 24 35. Any water and/or sewer improvements required to develop the proposed property will
25 need to be included in the engineering plans and designed in accordance with the *Water,*
26 *Sewer, and Recycled Water Design and Construction Manual.*
- 27 36. Verify existing water service, water meter size, and location of sewer lateral prior to
28 showing on engineering design plans.
- 29 37. If the existing water service connection is inadequate, then the Owner/Developer will be
required to abandon the existing water service and hire a City-approved licensed
contractor to construct a new one. This shall be shown on the engineering design plans.

1 38. Show any proposed or abandoned water services and sewer laterals on the engineering
2 design plans.

3 39. Provide stationing and offsets for existing and proposed water service connections and
4 sewer laterals on engineering design plans.

5 40. Any unused water services or sewer laterals by the proposed development or
6 redevelopment, shall be abandoned in accordance with Water Utilities requirements.

7 **The following conditions of approval shall be met prior to building permit issuance:**

8 41. Show location and size of existing and/or proposed water meter(s) on site plan of building
9 plans.

10 42. Show location and size of existing and/or proposed sewer laterals from property line to
11 existing dwelling unit.

12 43. Show proposed size and location of private sub-meter for each residential unit on building
13 plans. Location of private sub-meters are to be located such that they can be read and
14 maintained without entering the premises.

15 44. Provide table of fixture count and flow calculations per the latest adopted California
16 Plumbing Code to size water meter and service lines on building plans.

17 45. If a larger water meter is required, then the incremental increase in water and sewer buy-
18 in fees between the existing and proposed meter sizes will be charged.

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1 46. Water and Wastewater Buy-in fees and the San Diego County Water Authority Fees are
2 to be paid to the City at the time of Building Permit issuance per City Code Section 32B.7.

3 PASSED AND ADOPTED Resolution No. 2019-P07 on March 25, 2019 by the following
4 vote, to wit:

5 AYES:

6 NAYS:

7 ABSENT:

8 ABSTAIN:

9
10 Kyle Krahel, Chairperson
Oceanside Planning Commission

11 ATTEST:

12
13
14 Jeff Hunt, Secretary

15 I, JEFF HUNT, Secretary of the Oceanside Planning Commission, hereby certify that this is a true
16 and correct copy of Resolution No. 2019-P07.

17 Dated: March 25, 2019

18
19 Applicant accepts and agrees with all conditions of approval and acknowledges impact fees may
20 be required as stated herein:

21
22 Applicant/Representative Date

[illegible]

- International Foot or Metric
- Light Pole
- Fence (as Noted)
- Storm Drain
- Concrete Area
- Building Area
- Sign Post
- Plan Option
- Storm Sewer
- Storm Line
- Underground Electric
- Water Line
- Gas Line
- Street Light Pole
- Street Manhole
- Storm Drain Manhole
- Utility Hand Hole
- Tree as Noted
- 4" PVC Duct as

Granted to: Tract 2743
Purpose : Easement
Recorded : April 1, 1992
Effects : 4 Feet along the

Resolution No. R91-294a Dated October 23, 1991
Granted to: Lot 8 Tract 2743
Purpose : Vacation of Public Street Right of Way
Recorded : December 30, 1991 No. 91-877342
Effects : 10 Feet adjacent to Lot 9

That there is reserved and excepted from this vacation an easement and right to construct, maintain, operate, replace, enlarge, remove and renew water pipelines, sanitary sewers, storm drains, and public utility conduits, wires, cables, poles and appurtenant structures, in upon, over, under and acrossed the right of way vacated herein, including the right of ingress and egress.

Level, Description
Lot 9 in S. Melo Terraces, in the City of Oceanside, County of San Diego, State of California, according to Map thereof No. 2743, filed in the office of the County Recorder of San Diego County, January 24, 1951, together with that portion of Northwesterly 10 feet of Brocadeville adjacent to Lot 9, as vacated and described in an instrument recorded December 30, 1951 as Instrument No. 91-677342 of Official Records.

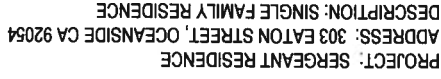
City of Oceanside benchmark being a 2" brass disk stamped "CLSB-140 L3 6215", on top of northwesterly curb of Kelly Street +/- 240' easterly of Horna Street elevation of 80.24' feet NAVD88 year October 2013 adjustment.

This Topographic Map was prepared by me, or under my direction, in conformance with the Professional Land Surveyor's Act

BRANDON S. ALLEN
LS/RCE NO.

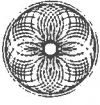
Sheet No. 1 of 1

PM:	BA	Draft:	BA
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A-1.0

1	ARCHITECTURAL SITE PLAN
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andrew carlos architect



PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISIONS
DATE: 10/17/2018
BY: [Signature]

DEMOLITION PLAN

SHEET NUMBER

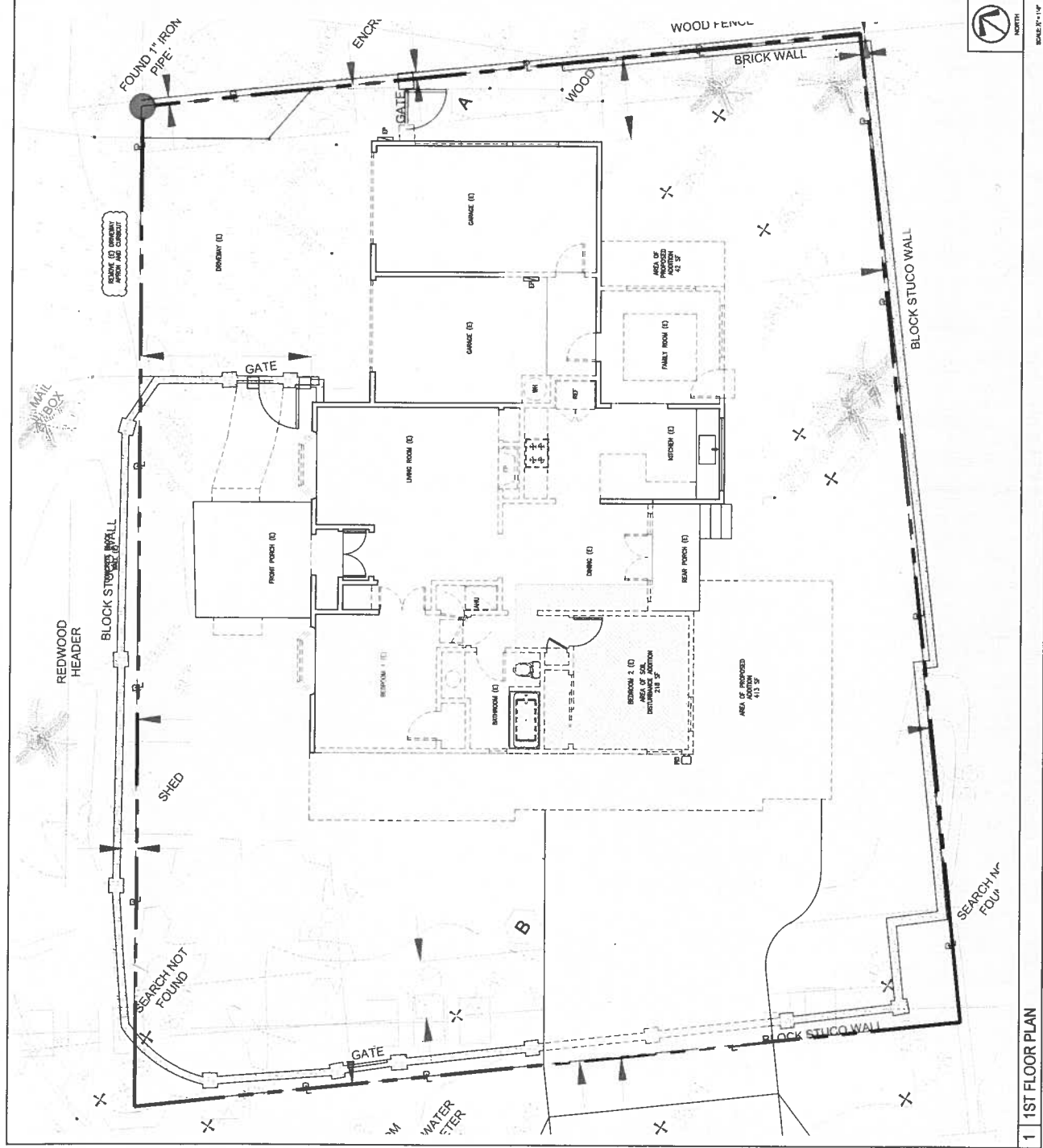
A-2.0

KEYNOTES

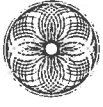
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
3. THE CONTRACTOR SHALL CHECK THE EXISTING FOUNDATION ONLY AND TAKE PREVENTIVE MEASURES WHERE AND IF EXISTING FOUNDATIONS MAY INCLUDE EXISTING FOUNDATIONS, EXISTING FOUNDATIONS, AND SO ON TO CORRECT THEM.
4. THE CONTRACTOR SHALL CHECK THE EXISTING FOUNDATION ONLY AND TAKE PREVENTIVE MEASURES WHERE AND IF EXISTING FOUNDATIONS MAY INCLUDE EXISTING FOUNDATIONS, EXISTING FOUNDATIONS, AND SO ON TO CORRECT THEM.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.
10. THE CONTRACTOR SHALL VERIFY ALL EXISTING FOUNDATIONS WITHIN THE 2013 C.D. ZONING AND APPLICABLE CODES AND REGULATIONS OF WALLS, ROOF, OR FOUNDATIONS WHERE AFFECTED BY DEMOLITION ACTIVITIES.

LEGEND

- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED



1 1ST FLOOR PLAN



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carlos
architect



PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISED
DATE
BY

1ST FLOOR PLAN

SHEET NUMBER

A-2.1

KEYNOTES

LEGEND

- EXISTING WALLS
- NEW WALLS
- AREA OF ADDITION





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andrewcarlosarchitect.com



PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISIONS
DATE
BY
DATE

2ND FLOOR PLAN

SHEET NUMBER

A-2.2

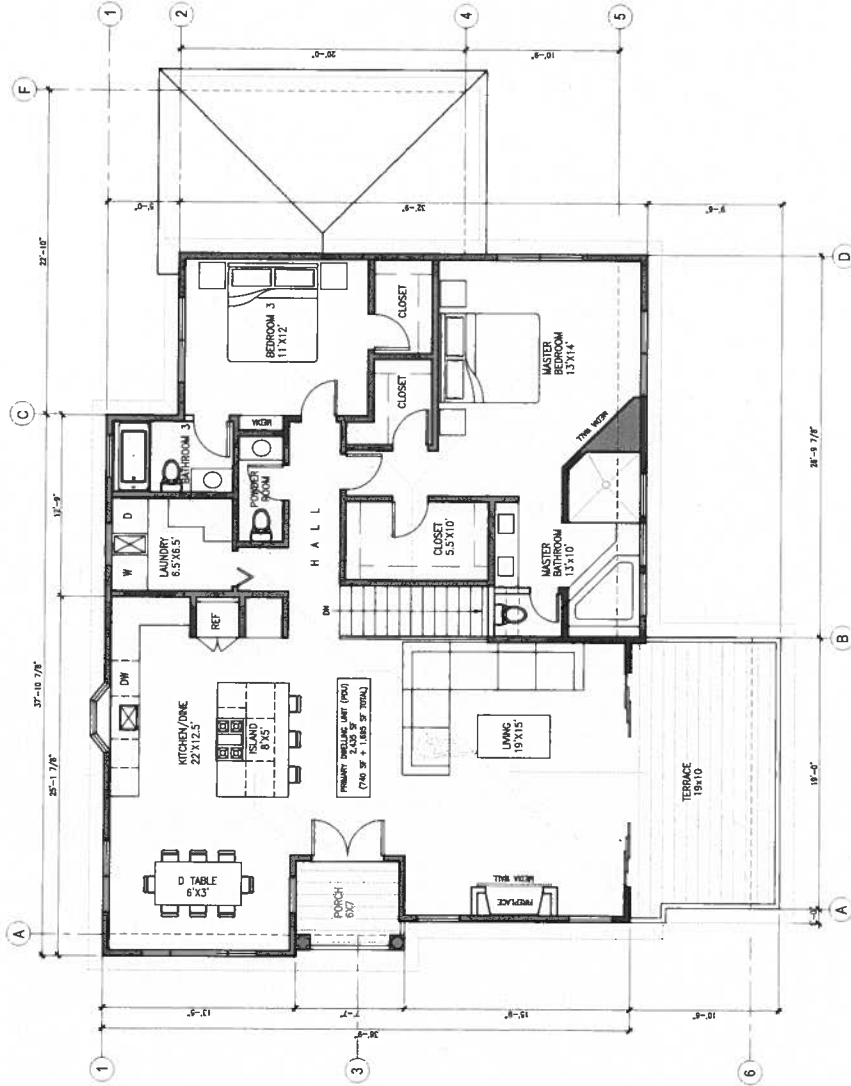
KEYNOTES

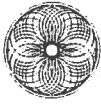
LEGEND

EXISTING WALLS
NEW WALLS



SCALE: 3/8" = 1'-0"





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carlos
architect



PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92064
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISED
DATE: 10/17/2018
BY: [Signature]

ROOF PLAN

SHEET NUMBER

A-2.3

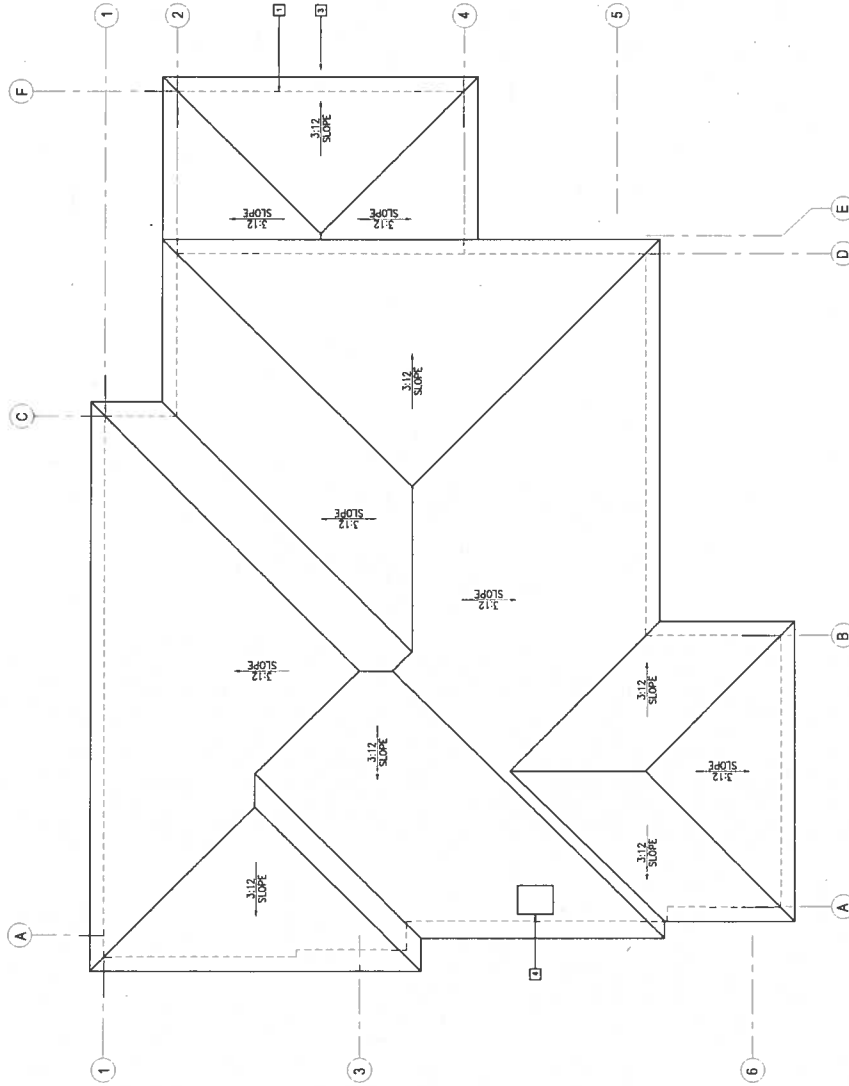


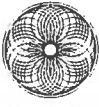
SCALE: 1/4" = 1'-0"

1 ROOF PLAN

KEYNOTES

- 1 LINE OF BUILDING FOOTPRINT BELOW
- 2 LINES OF OPEN TRELLIS BELOW
- 3 EXISTING 1ST FLOOR GARAGE ROOF
- 4 CHIMNEY WITH RECOMMEND CAP AND SHANK INSULATOR





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architect



PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISIONS
DATE: 05/02/18
BY: JLC

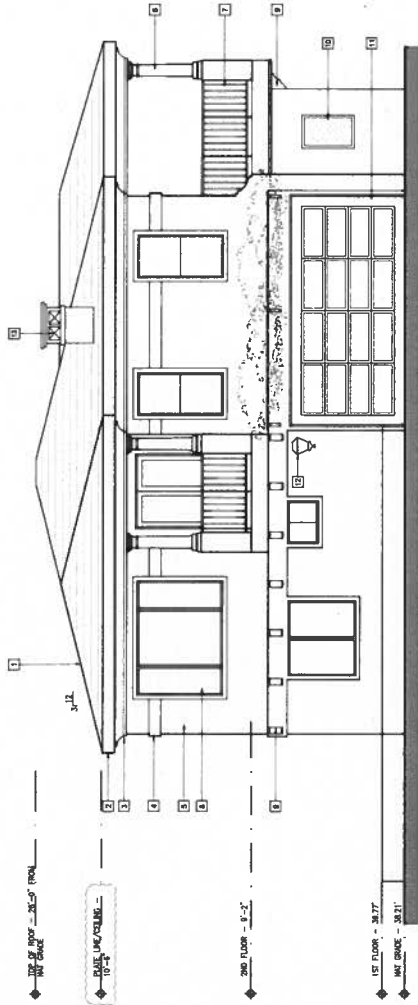
EXTERIOR
ELEVATIONS
WEST & SOUTH

SHEET NUMBER

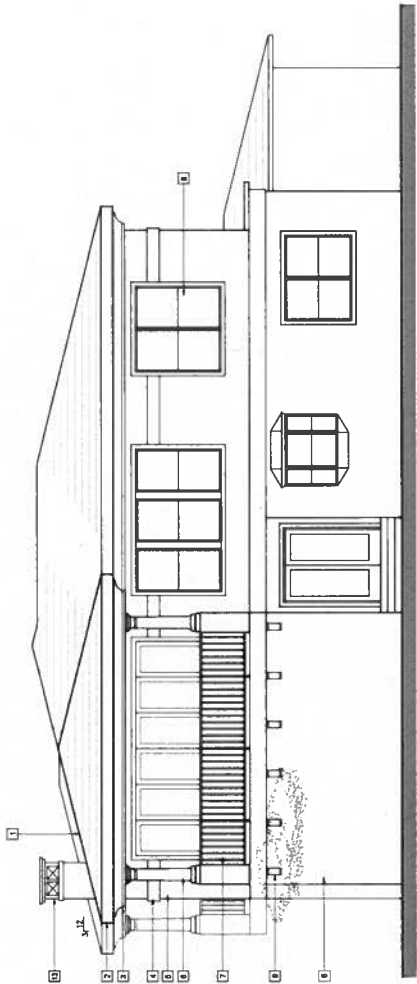
A-3.0

KEYNOTES

- 1 LIGHTWEIGHT CONCRETE ROOF TILES - EAGLE BRAND - COLOR: CONCORD BLEND
- 2 SMOOTH STUCCO FINISH
- 3 DECORATIVE CONTINUOUS CORNICE
- 4 DECORATIVE TRIM
- 5 PAINTED SMOOTH STUCCO FINISH - COLOR: MUDSIL SERVA SANDICE
- 6 PAINTED SMOOTH STUCCO FINISH - COLOR: MUDSIL TIGER COLUMB
- 7 COLOR MTL LAMINATE - COLOR: LIGHT BLUE
- 8 WINDOW WITH CLEAR GLAZING - COLOR: WHITE WARE
- 9 DECORATIVE CORNICE
- 10 DECORATIVE BRICK FINISH - CONCORDS STONE TONE BRICK IN
- 11 WOOD SHED ROOF PANEL GARAGE DOOR WHITE GALVALUM 300 SERIES 4-4 PATTERN
- 12 WOOD SHED ROOF PANEL GARAGE DOOR WHITE GALVALUM 300 SERIES 4-4 PATTERN
- 13 EXTERIOR LIGHT FIXTURE
- 14 CHIMNEY WITH DECORATIVE CAP AND SHING ANGLESTOP COLOR: PAVIA GREEN



1 | WEST ELEVATION



2 | SOUTH ELEVATION



A-3.1

SCALE: 100 = 100%

SCALE 100-150



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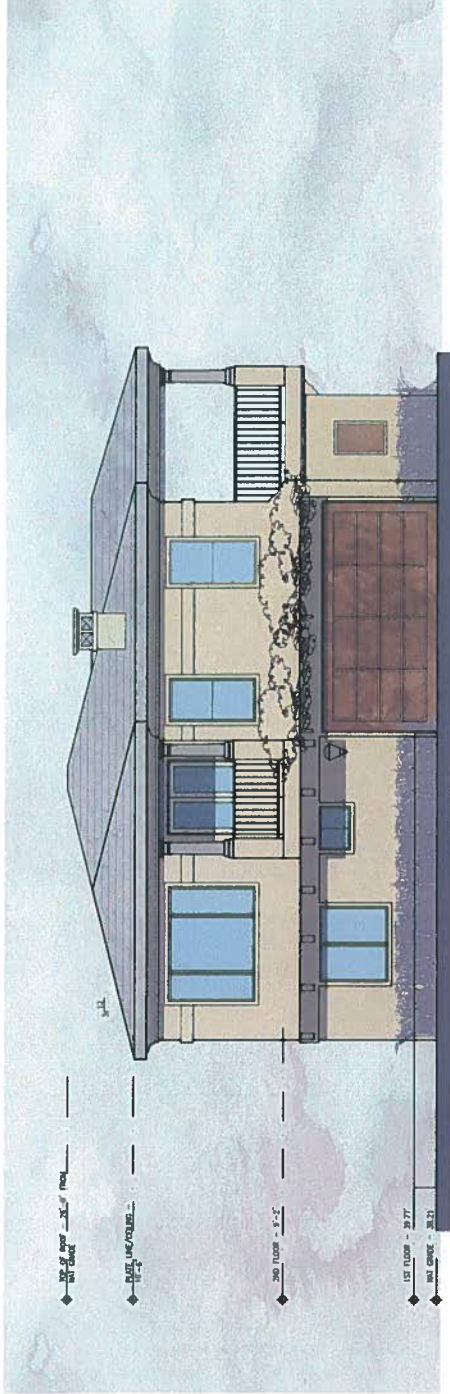
PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

REVISIONS

EXTERIOR
COLOR
ELEVATIONS
WEST & SOUTH

SHEET NUMBER

A-3.2



1 | WEST ELEVATION

SCALE: 1/4" = 1'-0"



2 | SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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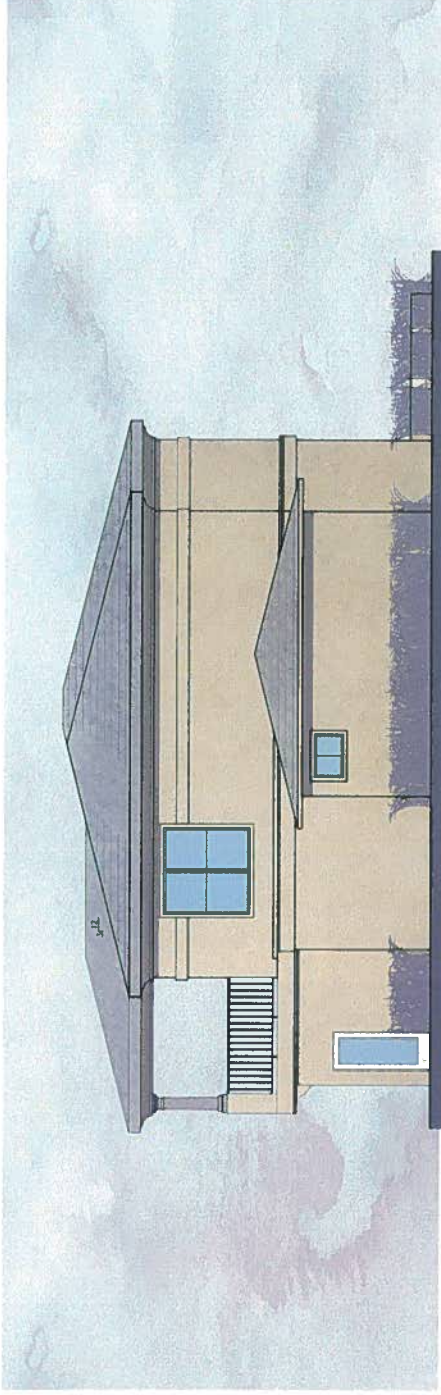
PROJECT: SERGEANT RESIDENCE
ADDRESS: 303 EATON STREET, OCEANSIDE CA 92054
DESCRIPTION: SINGLE FAMILY RESIDENCE

PERMANENT

EXTERIOR
COLOR
ELEVATIONS
EAST & NORTH

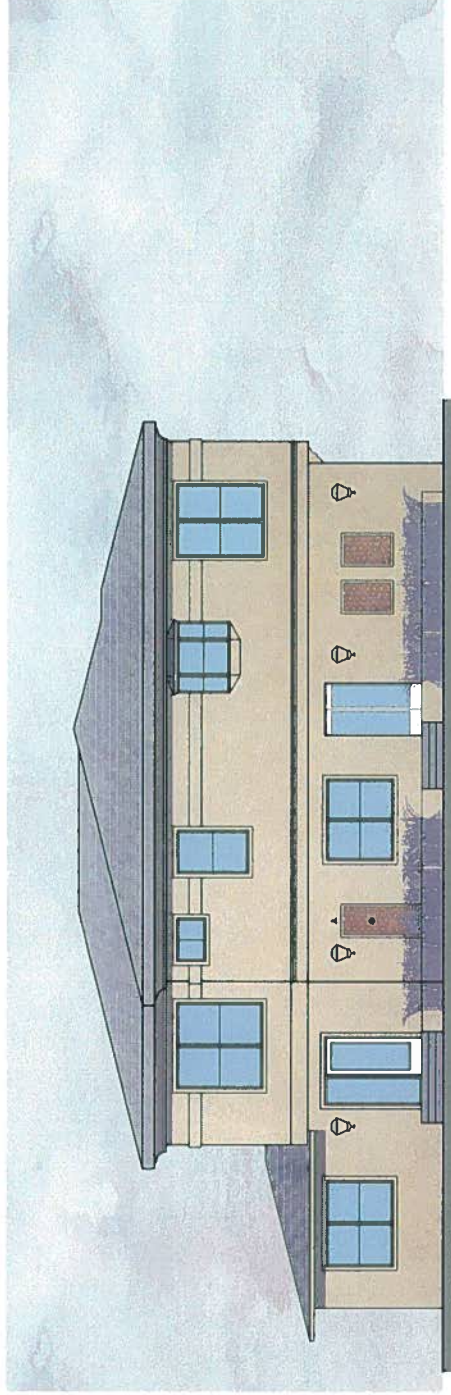
SHEET NUMBER

A-3.3



1 | EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 | NORTH ELEVATION

SCALE: 1/8" = 1'-0"

Sergeant Residence – 303 Eaton Street

(RC18-000008)

Project Color and Materials

WALLS & TRIM: Merlex Stucco
Santa Barbara Finish
Color: Sierra Sunrise



P-278
SIERRA SUNRISE (A Base)



Santa Barbara
Finish

ROOF: Eagle Roofing Products Lightweight
Concrete Tile



4602 Concord Blend - Blend of Charcoal, Tan
TE-14 Ref. 15 A.Ref. 17 Emi. 92 A.Emi. 92 SRI 14 ASPI 15 CIRC 0918-0107

BRICK: Coronado Stone – Sicilian Brick –
Ferrara Blend



Sicilian Brick - Ferrara Blend



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Sergeant Residence – 303 Eaton Street

(RC18-000008)

Project Color and Materials

GARAGE DOOR: Wayne – Dalton Series 300
Raised Panel Wood Garage Door



COLUMNS: CDI Design Precast Concrete
Tuscan Columns – Color: Limestone

GUARDRAIL: Fabricated Steel Rail
Color: Satin Black



ca

carlos architects, inc.

RECEIVED

JUN 14 2018

RC 18-00008

 CITY OF OCEANSIDE DEVELOPMENT SERVICES Application for Discretionary Permit Development Services Department / Planning Division (760) 435-3520 Oceanside Civic Center 300 North Coast Highway Oceanside, California 92054-2885				STAFF USE ONLY	
				ACCEPTED	BY
Please Print or Type All Information				HEARING	
PART I – APPLICANT INFORMATION				GPA	
1. APPLICANT Robert & Sharon Sergeant		2. STATUS Homeowner		MASTER/SP.PLAN	
3. ADDRESS 303 Eaton Street, Oceanside CA 92054		4. PHONE/FAX/E-mail 609-760-0900		ZONE CH.	
5. APPLICANT'S REPRESENTATIVE (or person to be contacted for information during processing) Andrew Carlos AIA				TENT. MAP	
				PAR. MAP	
				DEV. PL.	
6. ADDRESS 3327 Adams St. Carlsbad CA 92008		7. PHONE/FAX/E-mail 760-579-3996		C.U.P.	
PART II – PROPERTY DESCRIPTION				VARIANCE	
8. LOCATION 303 Eaton Street Oceanside CA 92054				COASTAL	
9. SIZE 5,837 SF (.13 ACRES)				O.H.P.A.C.	
10. GENERAL PLAN Res-Low Density	11. ZONING R3	12. LAND USE Single Family Res	13. ASSESSOR'S PARCEL NUMBER 155-034-09-00		
14. LATITUDE 33.169801			15. LONGITUDE -117.389303		
PART III – PROJECT DESCRIPTION					
16. GENERAL PROJECT DESCRIPTION PROPOSED 2 STORY ADDITION TO EXISTING SINGLE FAMILY PRIMARY DWELLING UNIT AND ADDITION OF AN ATTACHED ACCESSORY DWELLING UNIT. EXISTING PDU AREA: 996SF HABITABLE AND 487SF GARAGE PROPOSED: 1,695 SF PDU 775 SF ADU 550 SF GARAGE					
17. PROPOSED GENERAL PLAN NO Change proposed	18. PROPOSED ZONING NO Change proposed	19. PROPOSED LAND USE NO Change proposed	20. NO. UNITS One (1+1)	21. DENSITY Single Family (Low)	
22. BUILDING SIZE 1,695 PDU 775 ADU 550 GAR	23. PARKING SPACES 2 covered - no add parking required per SB1089	24. % LANDSCAPE n/a	25. % LOT COVERAGE or FAR 42% proposed - 45% permitted		
PART IV – ATTACHMENTS					
☒ 26. DESCRIPTION/JUSTIFICATION	☒ 27. LEGAL DESCRIPTION	☒ 28. TITLE REPORT			
☒ 29. NOTIFICATION MAP & LABELS	☒ 30. ENVIRONMENTAL INFO FORM	☒ 31. PLOT PLANS			
☒ 32. FLOOR PLANS AND ELEVATIONS	☐ 33. CERTIFICATION OF POSTING	☐ 34. OTHER (See attachment for required reports)			
PART V – SIGNATURES					
SIGNATURES FROM ALL OWNERS OF THE SUBJECT PROPERTY ARE NECESSARY BEFORE THE APPLICATION CAN BE ACCEPTED. IN THE CASE OF PARTNERSHIPS OR CORPORATIONS, THE GENERAL PARTNER OR CORPORATION OFFICER SO AUTHORIZED MAY SIGN. (ATTACH ADDITIONAL PAGES AS NECESSARY).					
35. APPLICANT OR REPRESENTATIVE (Print): Andrew Carlos AIA		36. DATE	37. OWNER (Print) Robert or Sharon Sergeant		38. DATE
Sign:		Sign:			
- I DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. FURTHER, I UNDERSTANDING THAT SUBMITTING FALSE STATEMENTS OR INFORMATION IN THIS APPLICATION MAY CONSTITUTE FRAUD, PUNISHABLE IN CIVIL AND CRIMINAL PROCEEDINGS. - I HAVE READ AND AGREE TO ABIDE BY THE CITY OF OCEANSIDE DEVELOPMENT SERVICES DEPARTMENT AND ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT POLICY NO. 2011-01/POLICY AND PROCEDURE FOR DEVELOPMENT DEPOSIT ACCOUNT ADMINISTRATION.					



Sergeant Residence 303 Eaton Street
Project description and Justification
Date: 17 October 2018

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The proposed project proposes the expansion and remodel of an existing single story, single family home to include an expanded primary dwelling unit (PDU) and proposed attached accessory dwelling unit (ADU).

The scope of work for the PDU will include the addition of a new oversized 2-car garage accessed from Broadway Street as well as remodel of 1st floor living space and new 2nd floor. The existing two car garage accessed from Eaton Street will be converted to an attached ADU.

The architectural style of the project can be described as "Tuscan" which is characterized by the use of hip roof forms, projecting balconies; wood trellis' and painted stucco finished exterior walls. Contributing details include, roof cornices, surrounding window and door moulding and decorative metal railing.

The project is within the Appeal Jurisdiction of the California Coastal Commission and subject to Chapter 3 policies of the Coastal Act related to public access and recreation.

The project is located in the coastal zone and requires that proof must be submitted in support of the following statements:

(a) That the project conforms to the Local Coastal Plan, including the policies of that Plan.

The project conforms to the Local Coastal Plan and Policies in the following ways:

1. **Public Access:** The proposed project does not interfere with the public's right of access to the sea, use of dry sand and rocky coastal beaches since the project is not located adjacent to any coastal land, waterways or environmentally sensitive areas. The project is located in an established residential tract bound by Eaton Street to the north, Broadway Street to the west and developed single family residential properties to the south and east.
2. **Recreation:** The project is not located in a coastal area suited for water-oriented recreational activities and has no negative impact to article 3 of the Coastal Act.
3. **Marine Environment:** The project is not located in a marine environment and has no negative impact to article 4 of the Coastal Act.
4. **Land Resources:** The project is not located in an environmentally sensitive habitat and has no negative impact to article 5 of the Coastal Act.
5. **Development:** The proposed residential project is situated in an existing developed area capable of supporting the proposed development with adequate public service, access and utilities.
6. **Industrial Development:** This article does not apply since the proposed project is a residential and not an industrial development.



Sergeant Residence 303 Eaton Street
Project description and Justification
Date: 17 October 2018

andrew carlos | architect

(b) That all development within the appeal area conforms to the public access and recreation policies of Chapter 3 of the Coastal Act.

This statement (b) does not apply since the project is not located in an appealable area of the Coastal Zone.

The proposed project should be approved since it is an allowed use within the applicable zone and will provide much needed additional housing to the community. The project objective is consistent with the City municipal code and State policies regarding accessory dwelling units.

The design of the project will complement the existing primary dwelling unit and the surrounding neighborhood. The project will have no negative impact to the adjacent residential inhabitants, the community or the city in general. The project will have no significant impact to the coast the ocean or and coastal lands or recreational areas.

ON-SITE SIGNAGE

"NOTICE OF PROJECT APPLICATION"

CERTIFICATE OF POSTING

I certify that the "Notice of Project Application" has been posted at a conspicuous location on the site on 303 Eaton Street

Date: 10-2-18

Signature: 

Print Name: Andrew Carlos AIA

Project Name: Sergeant Residence

Project Number: RRP 18-00008

Location: 303 Eaton Street

Return to: Robert Dmohowski – Planner



**CITY OF OCEANSIDE
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION
300 N. COAST HWY
OCEANSIDE CA 92054**

EXHIBIT "A"

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Lot 9 in St. Malo Terrace, in the City of Oceanside, County of San Diego, State of California, according to Map thereof No. 2743, filed in the office of the County Recorder of San Diego County, January 24, 1951, together with that portion of the Northeasterly 10 feet of Broadway Adjacent to Lot 9, as vacated and described in an instrument recorded December 30, 1991 as Instrument No. 91-677342 of Official Records.

APN: 155-034-09-00



NOTICE OF EXEMPTION

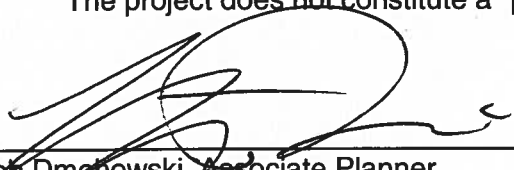
City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** Robert Sergeant
2. **ADDRESS:** 303 Eaton Street, Oceanside, CA 92054
3. **PHONE NUMBER:** (760) 579-3996; Applicant Rep.- Andrew Carlos, AIA
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Rob Dmohowski, Associate Planner
6. **PROJECT TITLE:** Sergeant Residence
7. **DESCRIPTION:** A request for approval of Regular Coastal Permit (RC18-00008) to construct and addition and remodel an existing 1,453 square-foot single-family residence, including a second story addition and an accessory dwelling unit, located at 303 Eaton Street. The project site is zoned R-1 (Single-Family Residential) and is situated within the South Oceanside Neighborhood Planning Area and the Appealable Area of the Coastal Zone.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Therefore, the Environmental Coordinator has determined that further environmental evaluation is not required because:

- ☒ The project is categorically exempt, Class 1, "Existing Facilities," Section 15301; or,
- ☐ The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA (Section 15061(b)(3)); or,
- ☐ The project is statutorily exempt, Section _____, _____ ; or,
- ☐ The project does not constitute a "project" as defined by CEQA (Section 15378).


Rob Dmohowski, Associate Planner

Date: March 25, 2019

cc: ☒ Project file ☒ Counter file ☐ Library
Posting: ☐ County Clerk \$50.00 Admin. Fee