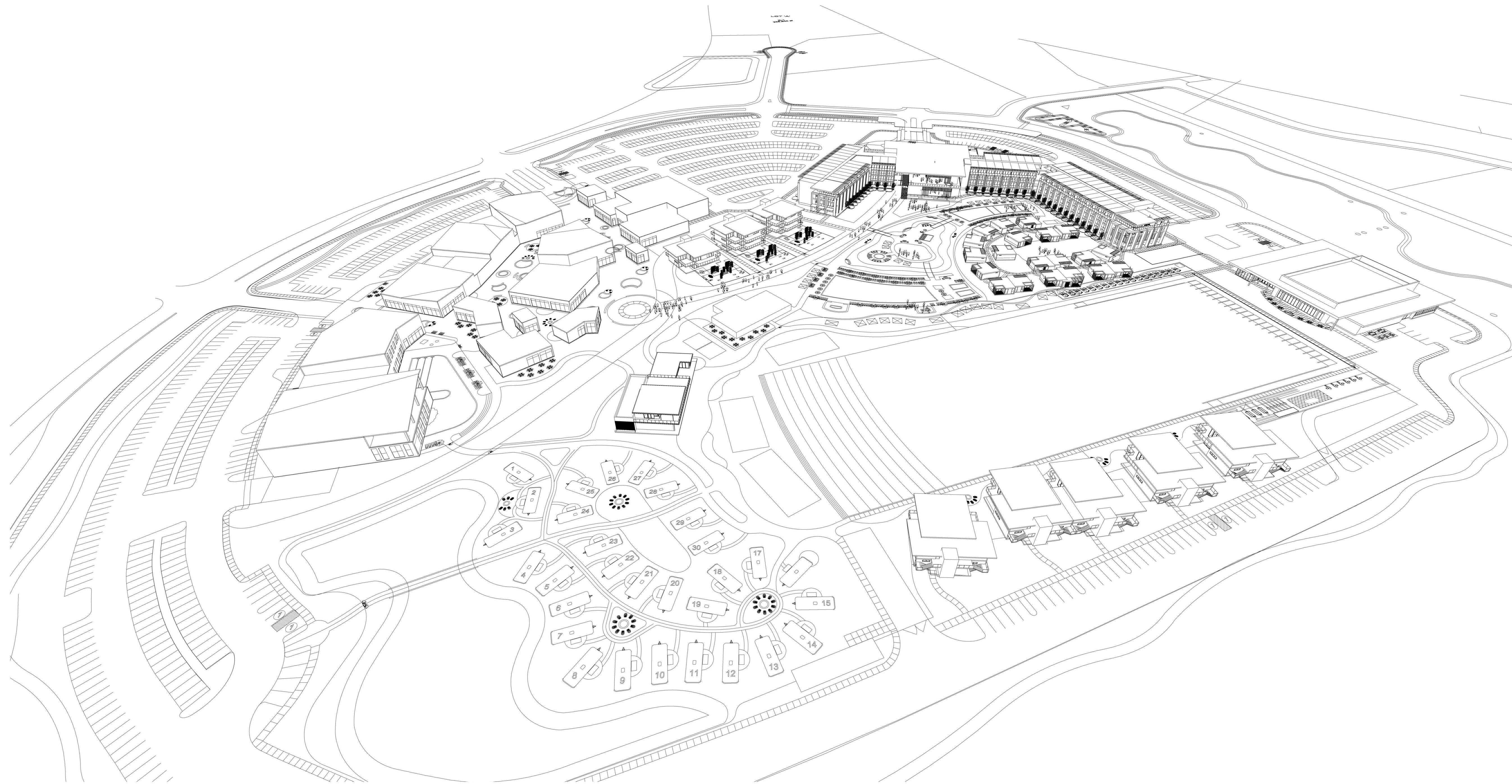


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OSIDE KAMP

04.29.2021 MIXED USE PLAN RESUBMITTAL

OCEANSIDE, CA 92058

CODES AND REGULATIONS

- Title 8: Industrial Relations
- Title 17: Public Health
- Title 19: Public Safety
- Title 20: Public Utilities and Energy
- Title 21: Public Works
- Title 24: California Building Standards Code
 - Part 1: 2019 Building Standards Administrative Code
 - Part 2: 2019 California Building Code
 - Part 3: 2019 California Electrical Code
 - Part 4: 2019 California Mechanical Code
 - Part 5: 2019 California Plumbing Code
 - Part 6: 2019 California Energy Code
 - Part 9: 2019 California Fire Code
 - Part 11: 2019 California Green Building Standards Code
 - Part 12: 2019 California Reference Standards Code
- Title 25: Housing and Community Development
- Title 26: Toxics

Miscellaneous California Codes or Regulations:

- California Occupational Safety and Health Act
- California Environmental Quality Act
- Requirements of the Regional Water Quality Board
- Requirements of the State Fire Marshall & Oceanside Fire Department
- City of Oceanside Ordinance Chapter 30, 31

National Codes or Regulations:

- NFPA National Fire Protection Agency 101 Life Safety Code
- NFPA 13 Automatic Sprinkler Systems 2016 Edition; NFPA 24 Private Fire Mains 2016 Edition
- NFPA 72 National Fire Alarm Code 2016 Edition
- ASHRAE Indoor Air Quality Standard 62-1989
- 2010 ADA Accessibility Guidelines for the Americans with Disabilities Act, Title 24 ADAAG

NFPA 13 Sprinkler systems to be installed in all newly built commercial buildings with a fire area that exceeds 5,000 square feet. See also A1.3 for proposed sprinkler system and location.

RELATED PERMITS OR APPROVALS

San Diego County Regional Water Quality Control Board MS4 Municipal Permit; Airport Land Use Commission Review

Federal Aviation Administration (FAA) Federal Aviation Regulation Part 77 Compliance (Notice of Proposed Construction or Alterations [Form 7460-1])

Caltrans Encroachment Permit; Federal Emergency Management Agency Conditional Letter of Map Revision (CLOMR)

U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, California Department of Fish and Wildlife Concurrence/Permits

VICINITY MAP



PROJECT DATA*

*REFER TO PROJECT BINDER FOR ADDITIONAL DETAIL

PROJECT NAME: OCEASIDE RESORT COMMUNITY PROJECT
 ENTITLEMENT TYPE: MIXED-USE DEVELOPMENT PLAN
 ENTITLEMENT NUMBER: N/A

TENTATIVE TRACT: T19-00004
 DEVELOPMENT PLAN: D19-00019
 CONDITIONAL USE PERMIT: CUP19-00021

PROJECT DESCRIPTION: THE PROJECT PROPOSES A MIX OF COMMERCIAL AND RESIDENTIAL USES. COMMERCIAL USES WOULD BE LOCATED WITHIN THE CENTRAL/SOUTHWESTERN PORTION OF THE SITE, AND ARE PROPOSED TO INCLUDE A 300-KEY RESORT HOTEL, HOTEL CONFERENCE BUILDINGS, A SURF LAGOON AND BEACH CLUB, AND 11 COMMERCIAL BUILDINGS (RETAIL, FITNESS CENTER). APPROXIMATELY 908 PARKING SPACES ARE PROPOSED TO ACCOMMODATE THE COMMERCIAL USES. MULTI-FAMILY RESIDENTIAL USES ARE PROPOSED TO INCLUDE APPROXIMATELY 700 DWELLING UNITS WITHIN THE NORTHERN AND EASTERN PORTIONS OF THE PROJECT SITE. APPROXIMATELY 20 ACRES OF THE SITE WILL BE PRESERVED AS OPEN SPACE.

LEGAL DESCRIPTION: REAL PROPERTY IN THE CITY OF OCEASIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF PARCELS 1, 2, 3, 4, 6, 7 AND 8, LOCATED WITHIN SECTION 18, TOWNSHIP 11 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF OCEASIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

PARCEL 5 = PARCEL 1 OF PARCEL MAP NO. 7726, IN THE CITY OF OCEASIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

APN: 160-270-31-00 (AFFECTS PORTION OF PARCEL 4)
 160-270-79-00 (AFFECTS PORTION OF PARCEL 4)
 160-270-82-00 (AFFECTS PARCEL 6)
 160-280-14-00 (AFFECTS PORTION OF PARCEL 1)
 160-280-48-00 (AFFECTS PARCEL 2)
 160-280-49-00 (AFFECTS PORTION OF PARCEL 7)
 160-280-50-00 (AFFECTS PORTION OF PARCEL 7)
 160-280-51-00 (AFFECTS PORTION OF PARCEL 1)
 160-280-53-00 (AFFECTS PORTION OF PARCEL 3)
 160-280-54-00 (AFFECTS PORTION OF PARCEL 3)
 160-280-55-00 (AFFECTS PORTION OF PARCEL 1)
 160-290-58-00 (AFFECTS PARCEL 5)
 160-290-60-00 (AFFECTS PARCEL 8)
 160-290-63-00 (AFFECTS PORTION OF PARCEL 3)

GENERAL PLAN DESIGNATION: COMMERCIAL
 PROPOSED GP LAND USE: COMMERCIAL, RESIDENTIAL

EXISTING ZONING: COMMUNITY COMMERCIAL
 PROPOSED ZONING: COMMUNITY COMMERCIAL, RESIDENTIAL

SITE AREA: APPROX. 92 ACRES

BUILDING SF & PERCENT OF SITE AREA: SEE A1.1, A1.2

MAX. BUILDING HEIGHT: 50'-0"

SETBACKS: MINIMUM PERIMETER BUILDING/LANDSCAPE SETBACKS PER OCEASIDE MUNICIPAL CODE, ARTICLE 11 C COMMERCIAL DISTRICTS:

15FT FRONT YARD
 SIDE YARD
 15FT CORNER SIDE YARD
 REAR YARD

PROJECT TEAM

BUILDING OWNER: NAME: O'SIDE PARTNERSHIP, LLC
 ADDRESS: P.O. BOX 7295
 RANCHO SANTA FE, CA 92067
 CONTACT: MICHAEL GREHL
 TELEPHONE: 805.220.0847
 EMAIL: MIKEGREHL@N4FL.COM

ARCHITECT: NAME: GENSLER
 ADDRESS: 225 BROADWAY, SUITE 100
 SAN DIEGO, CA 92101
 CONTACT: DIANE OZAKCAY
 TELEPHONE: 619.557.2500
 EMAIL: DIANE_OZAKCAY@GENSLER.COM

GEOTECH: NAME: GEOCON INCORPORATED
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 SAN DIEGO, CA 92121
 CONTACT: DAVE EVANS
 TELEPHONE: 858.558.6900
 EMAIL: EVANS@GEOCONINC.COM

CIVIL: NAME: PROJECT DESIGN CONSULTANTS
 ADDRESS: 701 B ST, SUITE 800
 SAN DIEGO, CA 92101
 CONTACT: GREG SHIELDS
 TELEPHONE: 619.881.2539
 EMAIL: GREG@PROJECTDESIGN.COM

LANDSCAPE: NAME: URBAN ARENA
 ADDRESS: 11300 SORRENTO VALLEY ROAD, SUITE 230
 SAN DIEGO, CA 92121
 CONTACT: KEITH MITTEMMEYER
 TELEPHONE: 858.625.0112
 EMAIL: KEITH@URBANARENA.COM

MEP / ENERGY: NAME: SYSKA HENNESSEY
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 CULVER CITY, CA 90230
 SAN DIEGO, CA 92101
 CONTACT: DAN MARTIN
 TELEPHONE: 310.254.3618
 EMAIL: DMARTIN@SYSKA.COM

WASTE MANAGEMENT: NAME: LERCH BATES
 ADDRESS: 23832 ROCKFIELD BLVD, SUITE 194
 LAKE FOREST, CA 92630
 CONTACT: DAN FREEMAN
 TELEPHONE: 714.848.0721
 EMAIL: DAN.FREEMAN@LERCHBATES.COM

UTILITIES: NAME: NV5
 ADDRESS: 15092 AVENUE OF SCIENCE, SUITE 200
 SAN DIEGO, CA 92128
 CONTACT: GREGG BUTSKO
 TELEPHONE: 858.746.6030
 EMAIL: GREGG.BUTSKO@NV5.COM

SHEET INDEX

GENERAL

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G0.1	SHEET INDEX, PROJECT INFORMATION
G1.0	COLORS & MATERIALS BOARD

LANDSCAPE

L1.0	OVERALL LANDSCAPE CONCEPT PLAN
L1.1	LANDSCAPE CONCEPT PLAN
L2.1	ENLARGED HOTEL POOL / CASITAS / LAZY RIVER
L2.2	ENLARGED LANDSCAPE PLANS - RETAIL
L2.3	ENLARGED LANDSCAPE PLANS - FITNESS / CHILDRENS SPLASH PAD
L2.4	ENLARGED LANDSCAPE PLANS - CARAVAN VILLAGE / CONFERENCE EVENT LAWN
L2.5	ENLARGED LANDSCAPE PLANS - VILLA TOWN HOMES
L3.0	PEDESTRIAN AND BIKE PATH
L4.0	LANDSCAPE DETAILS
L4.1	LANDSCAPE DETAILS
L5.0	OPEN SPACE EXHIBIT
L6.0	FENCE AND WALL PLAN

ARCHITECTURAL

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A1.1	MIXED USE DEVELOPMENT PLAN
A1.2	OVERALL ARCHITECTURAL SITE PLAN - AIRPORT OVERLAY
A1.3	ENLARGED ARCHITECTURAL SITE PLAN
A1.4	FIRE ACCESS PLAN
A2.0	SITE SECTIONS

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RH-A2.2	RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 2
RH-A2.3	RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 3
RH-A2.4	RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 4
RH-A2.5	RESORT HOTEL ENLARGED ROOF PLAN
RH-A3.1	RESORT HOTEL EXTERIOR ELEVATIONS

RESORT AMENITY

RA-A2.1	RESORT AMENITY ENLARGED FLOOR PLAN
RA-A2.2	RESORT AMENITY ENLARGED ROOF PLAN
RA-A3.1	RESORT AMENITY EXTERIOR ELEVATIONS
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C-A2.1	COMMERCIAL ENLARGED FLOOR PLAN, LEVEL 1
C-A2.2	COMMERCIAL ENLARGED FLOOR PLAN, LEVEL 2
C-A3.0	COMMERCIAL ENLARGED FLOOR PLAN, LEVEL 3
C-A3.1	COMMERCIAL ENLARGED FLOOR PLAN & ELEVATIONS
C-A4.0	COMMERCIAL EXTERIOR ELEVATIONS

MECHANICAL

M1.01	MECHANICAL SITE PLAN
M1.02	ENLARGED MECHANICAL PLANS
M1.03	ENLARGED MECHANICAL PLANS
M1.04	ENLARGED MECHANICAL PLANS
M1.05	ENLARGED MECHANICAL PLANS

PLUMBING

P1.01	PLUMBING SITE PLAN
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ELECTRICAL

E1.01	ELECTRICAL SITE LIGHTING PLAN
E1.02	ELECTRICAL POWER SITE PLAN

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 United States

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 Fax 619.557.2520

Date	Description
08.28.2019	MIXED USE PLAN
12.20.2019	MIXED USE PLAN - RESUBMITTAL
03.13.2020	MIXED USE PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE KAMP

Project Number

055.7758.000

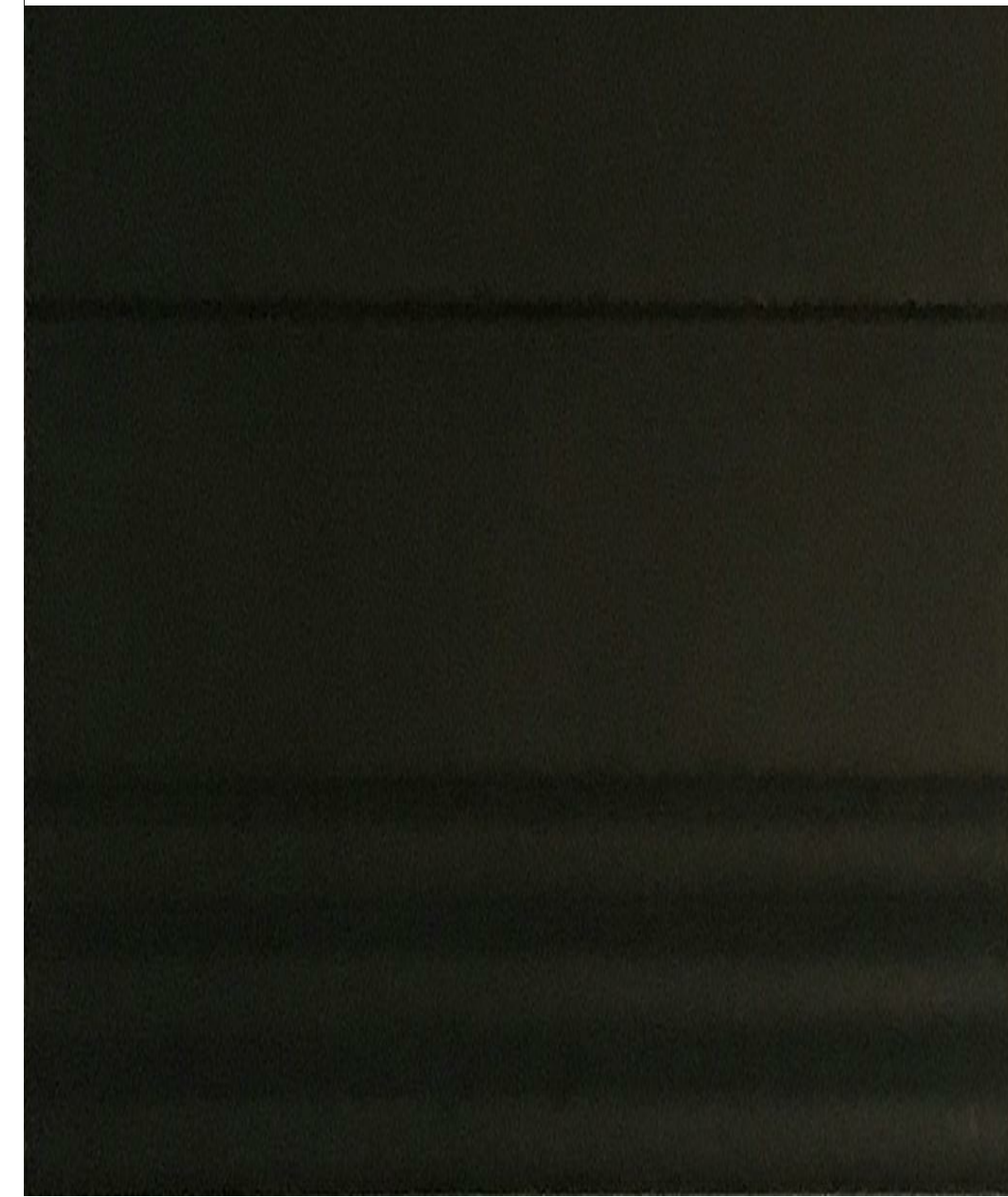
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SHEET INDEX, PROJECT INFORMATION

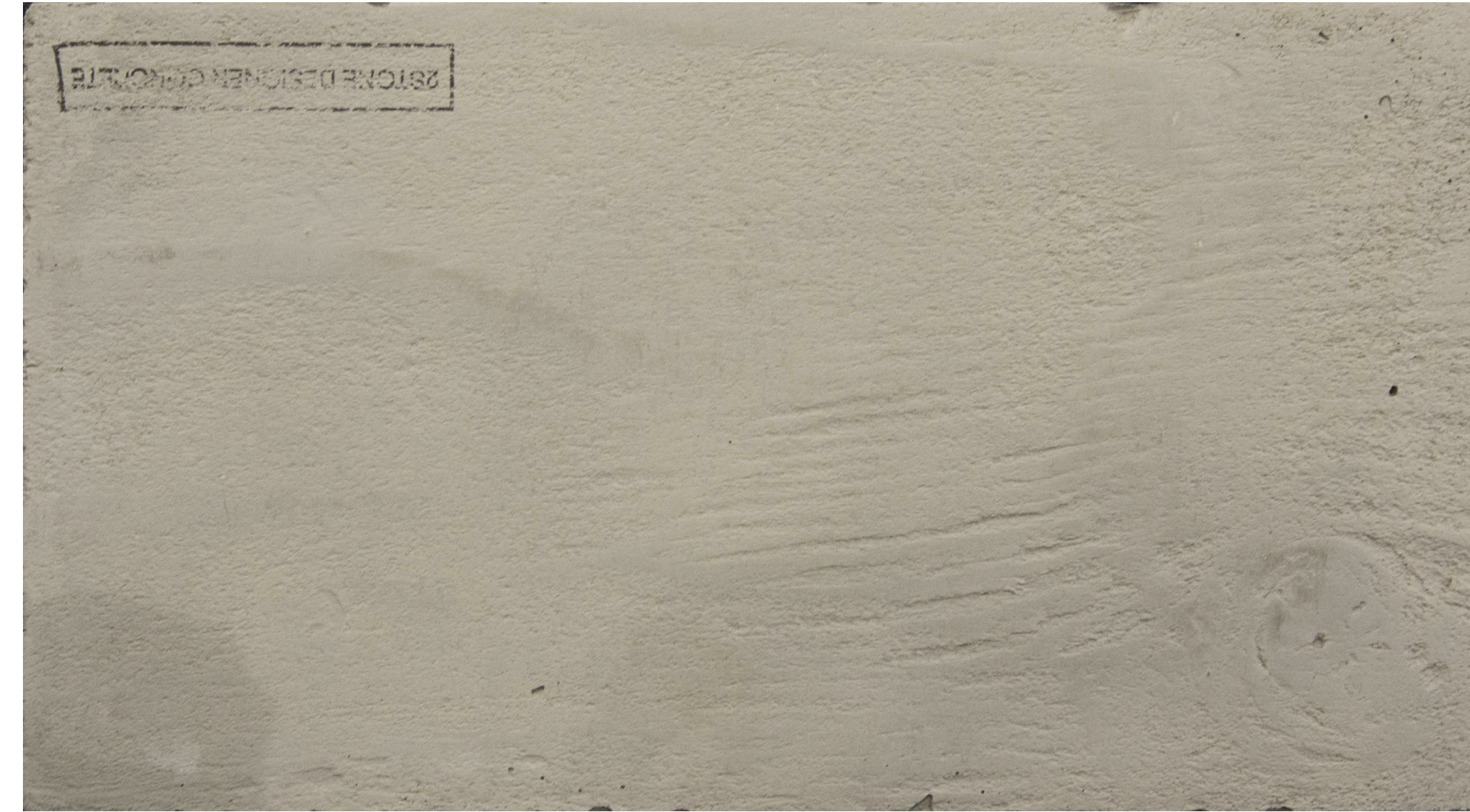
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1" = 20'-0"

G0.1



DARK METAL



CONCRETE



STUCCO



WOOD 1



WOOD 2



WOOD 3



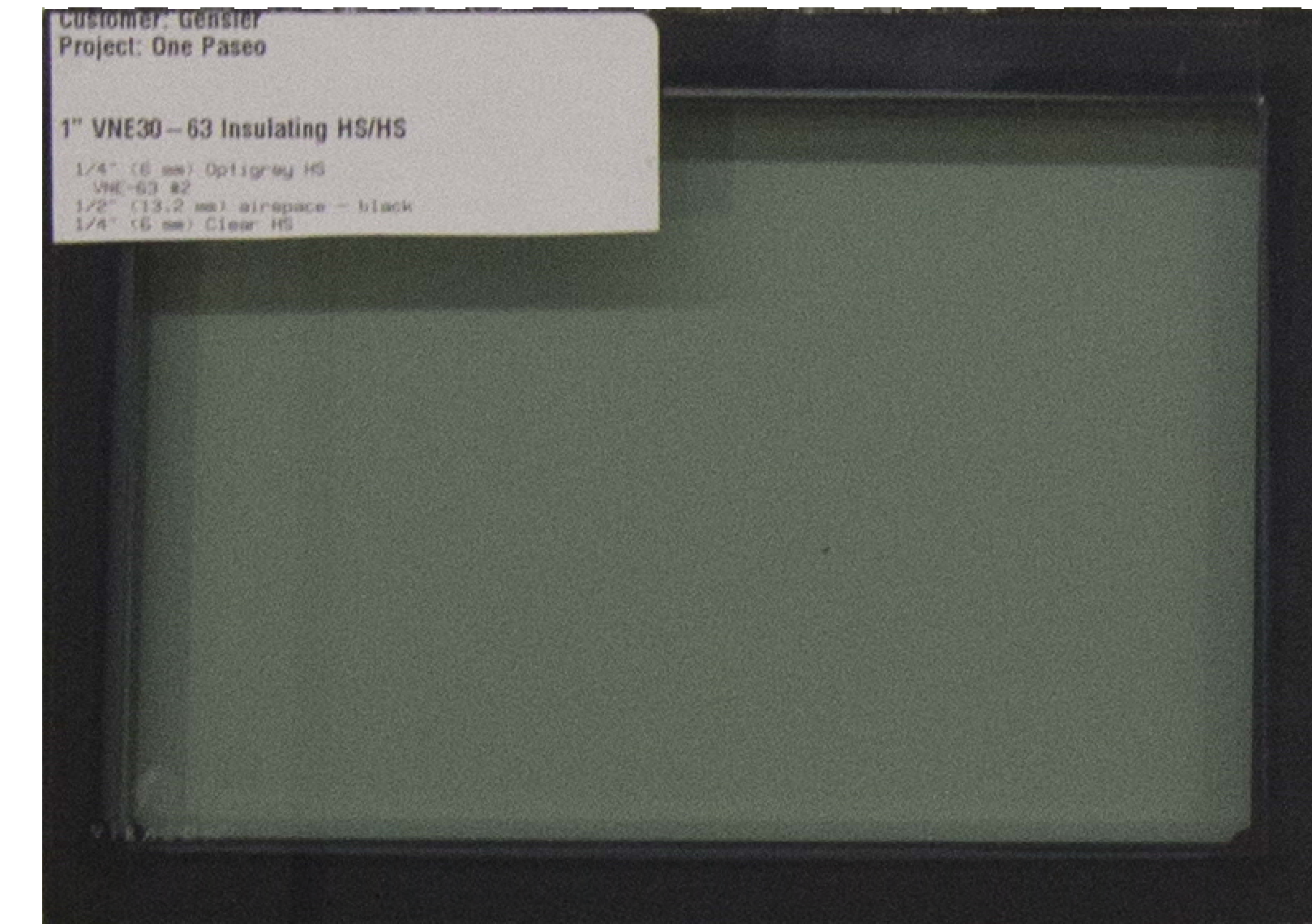
WOOD 4



PLASTER



GLASS 1



GLASS 2

Gensler

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United States

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Date	Description
08.28.2019	MIXED USE PLAN
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Description

COLORS & MATERIALS BOARD

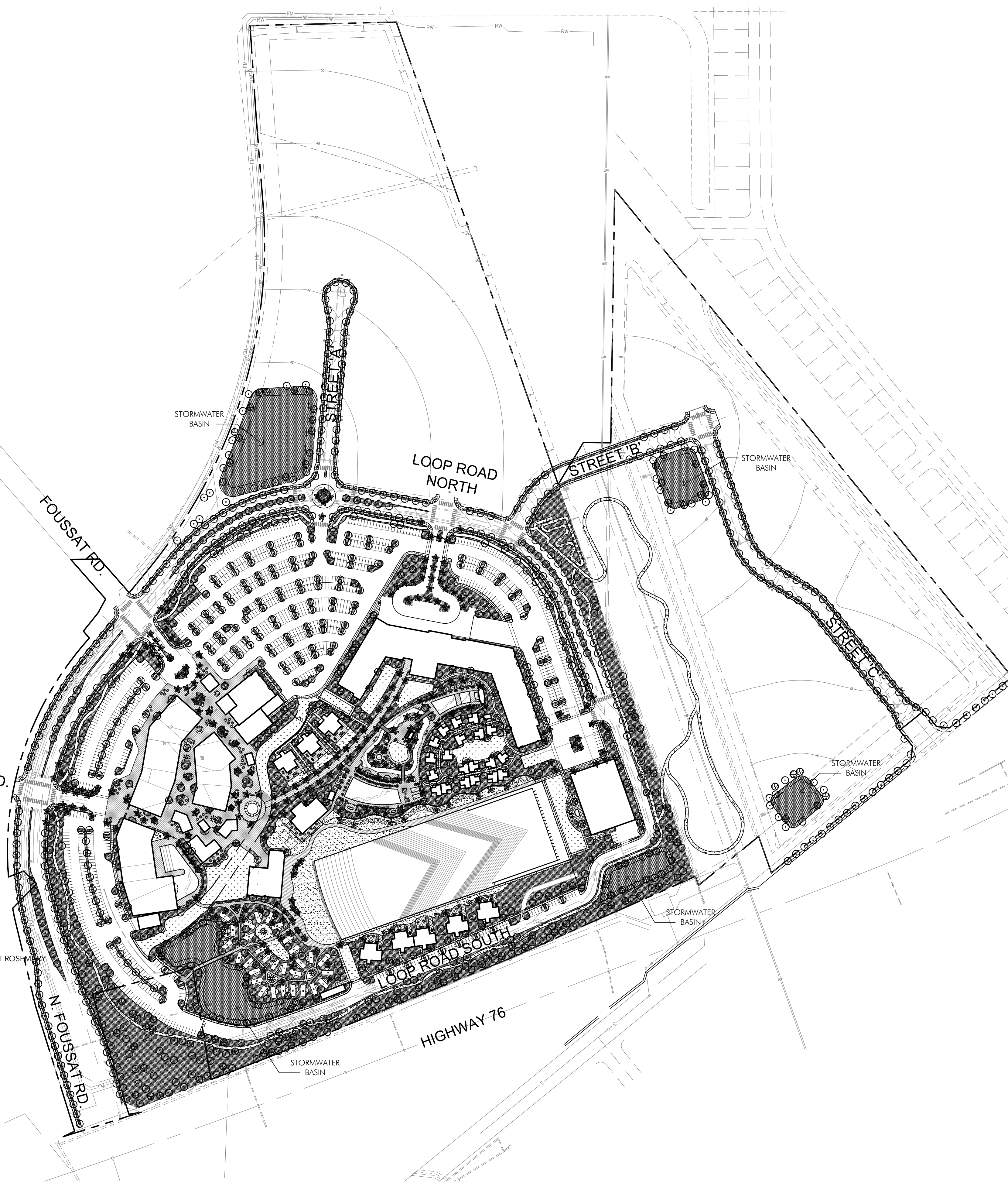
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NOT TO SCALE

G1.0

CONCEPT PLANT SCHEDULE

- STREET TREES**
 ARBUTUS UNEDO / STRAWBERRY TREE
 PISTACIA CHINENSIS / CHINESE PISTACHE
 TABEBUIA IMPETIGINOSA / PINK TRUMPET TREE
 WASHINGTONIA ROBUSTA / MEXICAN FAN PALM
- EVERGREEN TREES**
 BRACHYCHITON ACERIFOLIUS / FLAME TREE
 EUCALYPTUS SIDEROXYLON / RED IRONBARK
 FICUS RUBIGINOSA / RUSTYLEAF FIG
 GEIJERA PARVIFLORA / AUSTRALIAN WILLOW
 LAURUS NOBILIS / SWEET BAY
 LOPHOSTEMON CONFERTUS / BRISBANE BOX
 MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA
 METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE
 PINUS CANARIENSIS / CANARY ISLAND PINE
 PINUS TORREYANA / TORREY PINE
 PODOCARPUS MACROPHYLLUS / YEW PINE
 QUERCUS VIRGINIANA / SOUTHERN LIVE OAK
 RHUS LANCEA / AFRICAN SUMAC
 SPATHODEA CAMPANULATA / AFRICAN TULIP TREE
- DECIDUOUS TREES**
 ALNUS RHOMBIFOLIA / WHITE ALDER
 CHILOPSIS LINEARIS / DESERT WILLOW
 JACARANDA MIMOSIFOLIA / JACARANDA
 KOELREUTERIA BIPINNATA / CHINESE FLAME TREE
 PISTACIA CHINENSIS / CHINESE PISTACHE MULTI-TRUNK
 PLATANUS RACEMOSA / CALIFORNIA SYCAMORE
 PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE
 TIPUANA TIPU / TIPU TREE
 ULMUS PARVIFOLIA / CHINESE ELM
- ACCENT TREES**
 ALOE BARBADENSIS / BARBADOS ALOE
 ARBUTUS X 'MARINA' / ARBUTUS STANDARD
 BAMBUSA SPECIES
 CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE
 CERCIODIUM X 'DESERT MUSEUM' / THORNLESS PALO VERDE
 CERCIUS CANADENSIS 'FOREST PANSY' TM / FOREST PANSY REDBUD
 ERYTHRINA SPECIES / CORAL TREE
 LAGERSTROEMIA INDICA / CRAPE MYRTLE
 OLEA EUROPAEA 'SWAN HILL' TM / SWAN HILL OLIVE
 QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK
 TABEBUIA IMPETIGINOSA / PINK TRUMPET TREE
- PALMS**
 ARCHONTOPHOENIX CUNNINGHAMIANA / PICCAEEN PALM
 BRAHEA EDULIS / GUADALUPE PALM
 HOWEA FORSTERIANA / KENTIA PALM
 PHOENIX DACTYLIFERA 'MEDJOL' / DATE PALM
 PHOENIX RECLINATA / SENEGAL DATE PALM
 SYAGRUS ROMANOFFIANA / QUEEN PALM
 TRACHYCARPUS FORTUNEI / WINDMILL PALM
 WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM
 WASHINGTONIA ROBUSTA / MEXICAN FAN PALM
- SHRUBS & GROUNDCOVERS**
 AEONIUM SPECIES / AEONIUM
 AGAVE SPECIES / NCN
 ALOE SPECIES / NCN
 ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE
 BOUGAINVILLEA SPP. / BOUGAINVILLEA
 BULBINE FRUTESCENS / STALKED BULBINE
 CALANDRINIA SPECTABILIS / PINK CALANDRINIA
 CALLIANDRA HAEMATOCEPHALA / PINK POWDER PUFF
 CAREX PENDULA / HANGING SEDGE
 CAREX SPP. / CAREX
 CARISSA MACROCARPA 'GREEN CARPET' / GREEN CARPET NATAL PLUM
 CARISSA MACROCARPA 'TUTTLE' / TUTTLE NATAL PLUM
 CHONDROPETALUM TECTORUM 'EL CAMPO' / CAPE RUSH
 DASYLIRON LONGISSIMUM / TOOTHLESS DESERT SPOON
 DASYLIRON WHEELERI / GREY DESERT SPOON
 DIETES GRANDIFLORA / WILD IRIS
 DYMONDIA MARGARETAE / DYMONDIA
 ECHEVERIA X 'SAHARA' / SAHARA ECHEVERIA
 ECHINOCACTUS GRISONII / GOLDEN BARREL CACTUS
 ERIOGONUM FASCICULATUM / COMMON BUCKWHEAT
 EUPHORBIA CHARACIAS WULFENII / EVERGREEN SPURGE
 FESTUCA OVINA GLAUCA / BLUE SHEEP FESCUE
 FURCRAEA FOETIDA 'MEDIOPICTA' / MAURITIUS HEMP
 HESPERALOE PARVIFLORA / RED YUCCA
 KALANCHOE BEHARENSIS / FELT PLANT
 LEUCADENDRON X 'SAFARI SUNSET' / CONEBUSH
 LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE
 LIGUSTRUM TEXANUM / TEXAS PRIVET
 LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH
 MISCANTHUS SINENSIS / EULALIA GRASS
 MUHLENBERGIA SPECIES / NCN
 MYOPORUM SPECIES / MYOPORUM
 OPUNTIA BASILARIS 'BABY RITA' / BEAVERTAIL PRICKLYPEAR
 PACHYCEREUS PRINGLEI / CARDON
 PHILODENDRON SPECIES / PHILODENDRON
 PHORMIUM SPECIES / NCN
 PITTOSPORUM SPECIES / NCN
 RHAPHIOLEPS SPECIES / INDIAN HAWTHORN
 ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY
 SALVIA CLEVELANDII / CLEVELAND SAGE
 SEDUM SPP. / SEDUM
 SENECIO MANDRALISCAE / BLUE FINGER
 SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS
 STRELITZIA REGINAE / BIRD OF PARADISE
 TRADESCANTIA PALLIDA 'PURPLE HEART' / PURPLE QUEEN SPIDERWORT
 WESTRINGIA FRUTICOSA / COAST ROSEMARY
 YUCCA SPECIES / NCN
- STORMWATER BASINS**
 ABUTILON PALMERY / INDIAN MALLOW
 HETEROMELES ARBUTIFOLIA / TOYON
 IVA HAYESIANA / SAN DIEGO POVERTY WEED
 JUNCUS MEXICANUS / MEXICAN RUSH
 JUNCUS PATENS / CALIFORNIA GRAY RUSH
 LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE
 LEYMUS TRITICOIDES / WILD RYE
 MALOSMA LAURINA / LAUREL SUMAC
 MUHLENBERGIA RIGENS / DEER GRASS
- TURF**
 CYNODON DACTYLON 'TIFGREEN' / BERMUDA GRASS



- GENERAL NOTES**
- A. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
 - B. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF OCEANSIDE REQUIREMENTS.
 - C. ALL REQUIRED PRIVATE AND PUBLIC RIGHT OF WAY LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER OR AS STATED IN ANY LEGAL DOCUMENT SUCH AS BUT NOT LIMITED TO A LEASE AGREEMENT. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF OCEANSIDE REQUIREMENTS.
 - D. ALL PEDESTRIAN PAVING (BOTH DECORATIVE AND STANDARD) SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE AMERICAN DISABILITY ACT.

- IRRIGATION NOTES**
- A. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES AND WATER CONSERVATION ORDINANCE.

- PLANTING NOTES**
- A. THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER. LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES.
 - B. ALL STREET TREES ARE TO BE CHOSEN FROM THE CURRENT APPROVED CITY OF OCEANSIDE STREET TREE LIST AND BE A MINIMUM 24" BOX IN SIZE.
 - C. THE CURRENT GENERAL NOTES BELOW REFER TO THE PLACEMENT OF TREES AND THEIR DISTANCES FROM HARDSCAPE AND OTHER UTILITIES/STRUCTURES. PLEASE SHOW THE CITY OF OCEANSIDE'S CURRENT TREE PLANTING DISTANCES/ SPACING ON THE CLP AND SPACE PROPOSED TREES ACCORDINGLY.

- STREET TREES AND OTHER TREES SHALL BE SPACED**
1. 8 FEET (PREVIOUSLY 3 FEET) FROM TRANSFORMERS, CABLE AND PULL BOXES.
 2. 5 FEET FROM MAILBOXES.
 3. 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
 4. 10 FEET FROM CENTERLINE (PREVIOUSLY 7 FEET) OF ALL UTILITY LINES (WITHOUT EASEMENTS) SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTORS, AIR RELIEF VALVES AND GAS)
 5. 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
 6. 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE)
 7. 10 FEET FROM CENTERLINE (PREVIOUSLY 7 FEET) OF ALL UTILITY LINES (WITHOUT EASEMENTS) SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTORS, AIR RELIEF VALVES AND GAS)
 8. 15 FEET (MINIMUM) FROM STREETLIGHTS, OTHER UTILITY POLES, (DETERMINED BY SPECIFICATIONS)
 9. STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO THE CITY ENGINEER'S APPROVAL.
 10. LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY TRAFFIC ENGINEER. A MINIMUM OF TWENTY-FIVE FEET (25') FROM STREET INTERSECTION OR AS APPROVED BY THE TRAFFIC ENGINEER.
 11. MINIMUM FIFTEEN FEET (15') STREETLIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY SPECIFICATIONS.
 12. SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.
 13. WHEN IN R.O.W. 24" BOX MIN. SIZE TO BE INSTALLED PER CITY OF OCEANSIDE STANDARD DRAWING NO. 211A
 14. WASHINGTONIA ROBUSTA, IF USED A SHADE TREE SHALL BE USED ALONG WITH THE MEXICAN FAN PALM.

- D. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES WHERE A PAVING SURFACE IS LOCATED WITHIN 6 FEET OF A TREE TRUNK ON SITE (PRIVATE AND WITHIN 10 FEET OF A TREE TRUNK IN THE RIGHT-OF-WAY (PUBLIC). ROOT BARRIERS SHALL EXTEND 5 FEET IN EACH DIRECTION FROM THE CENTERLINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 10 FEET. ROOT BARRIERS SHALL BE A MINIMUM 24 INCHES IN DEPTH. INSTALLING A ROOT BARRIER AROUND THE TREE'S ROOT BALL IS UNACCEPTABLE.
- E. ANY EXPOSED WALLS OR RETAINING WALLS ALONG THE PROJECT FRONTAGE FACING HIGHWAY 76 AND NORTH FOUSSAT RD. SHALL REQUIRE SOME VINE SPECIES TO PROTECT THEM FROM FUTURE GRAFFITI.

- FIRE NOTES**
- A. LANDSCAPE IMPROVEMENT PLAN SET AND INSTALLATION ARE REQUIRED TO IMPLEMENT APPROVED FIRE DEPT. REGULATIONS, CODES AND STANDARDS AT THE TIME OF PROJECT APPROVAL.
 - B. ALL FIRE HYDRANTS, DOUBLE CHECK DETECTORS, POST INDICATING VALVES, AND FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED WITH A 3 FOOT CLEARANCE AROUND ALL FIRE APPARATUS.
 - C. ALL TREES AT MATURITY SHALL MEET A HORIZONTAL CLEARANCE ALONG ALL ROADWAYS FROM CURB TO CURB. HORIZONTAL ROADWAY CLEARANCE FOR A ONE-STORY BUILDING IS 28-FEET WIDE.
 - D. ALL TREES AT MATURITY SHALL MEET A VERTICAL CLEARANCE OF 14-FEET FROM THE TOP OF THE ROADWAY TO THE LOWEST BRANCHES.

TREE SURVEY NOTE

- A. THERE ARE NO EXISTING TREES ON SITE.

GRADING AND DRAINAGE NOTE

- A. REFER TO CIVIL'S CONCEPTUAL GRADING AND UTILITY PLAN FOR GRADES AND DRAINAGE INFORMATION.



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 United States

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 Fax 619.557.2520



11300 Sorrento Valley Road, Suite 230
 San Diego, CA 92121
 858 625 0112

Date	Description
08.28.2019	MIXED USE PLAN
12.20.2019	MIXED USE PLAN - RESUBMITTAL
03.13.2020	MIXED USE PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

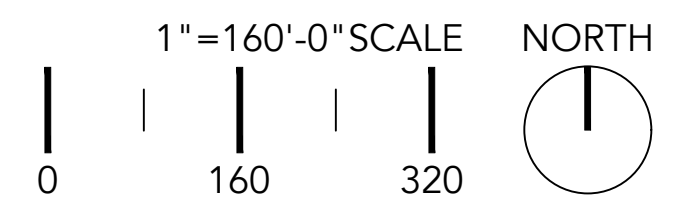
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Project Name
KAMP

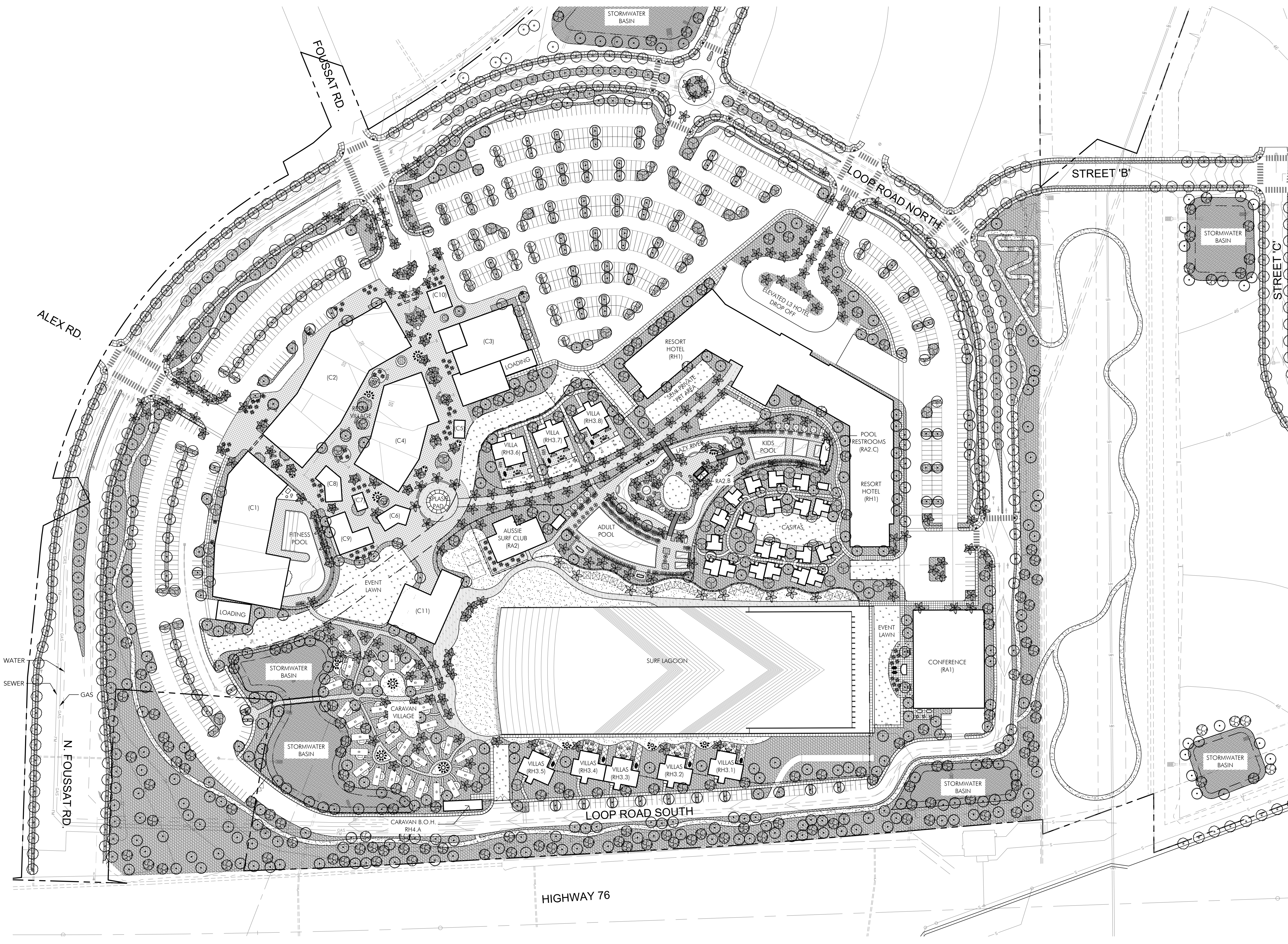
Project Number
19-133

Description
OVERALL LANDSCAPE CONCEPT PLAN

Scale



L1.0



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San Diego, CA 92121
858 625 0112

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

KAMP

Project Number

19-133

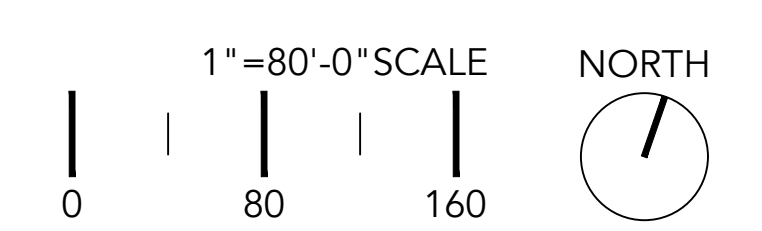
Description

**LANDSCAPE CONCEPT
PLAN**

Scale

01 ENLARGED SITE PLAN

SCALE: 1" = 80'-0"



L1.1

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REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	SURF LAGOON	
2	POOL	
3	CHILDREN'S SPLASH PAD	
4	CABANAS	
5	MONUMENT SIGNAGE	
6	CLIMBING ROCK	
7	MIXED USE BIKE TRAIL	
8	FIRE FEATURES	
9	WATER FEATURE	
10	SEAT WALL	
11	SPA WALL	
12	RAISED PLANTERS	
13	5'-6" GLASS FENCE	A/L4.0
14	5'-6" GLASS GATE	A/L4.0
15	3'-6" GUARD RAIL	C/L4.0
16	6'-0" TUBE STEEL FENCE	B/L4.0
17	6'-0" TUBE STEEL GATE	B/L4.0
18	VEHICULAR GATE	A/L4.1
19	PRIVATE PATIO	
20	SITE FURNITURE	
21	PEDESTRIAN BRIDGE	
22	BOARDWALK	
23	MOBILITY HUB	
24	BIKE RACK	
25	LAWN	
26	EVENT LAWN	
27	FITNESS TURF	
28	TURF BLOCK IN FIRE LANE	
29	SEMI PRIVATE PET AREA	
30	BEACH SAND	
31	BEACH ENTRY	
32	SAND VOLLEYBALL COURTS	
33	ENHANCED PAVING- COLOR TO BE DETERMINED	
34	STANDARD PIP CONCRETE- COLOR TO BE DETERMINED	
35	TERRACE SEATING	
36	DECK PATIO	
37	FIRE PLACE PATIO	

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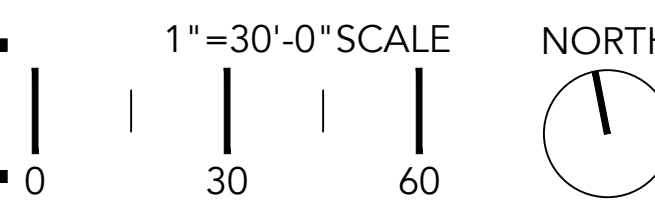
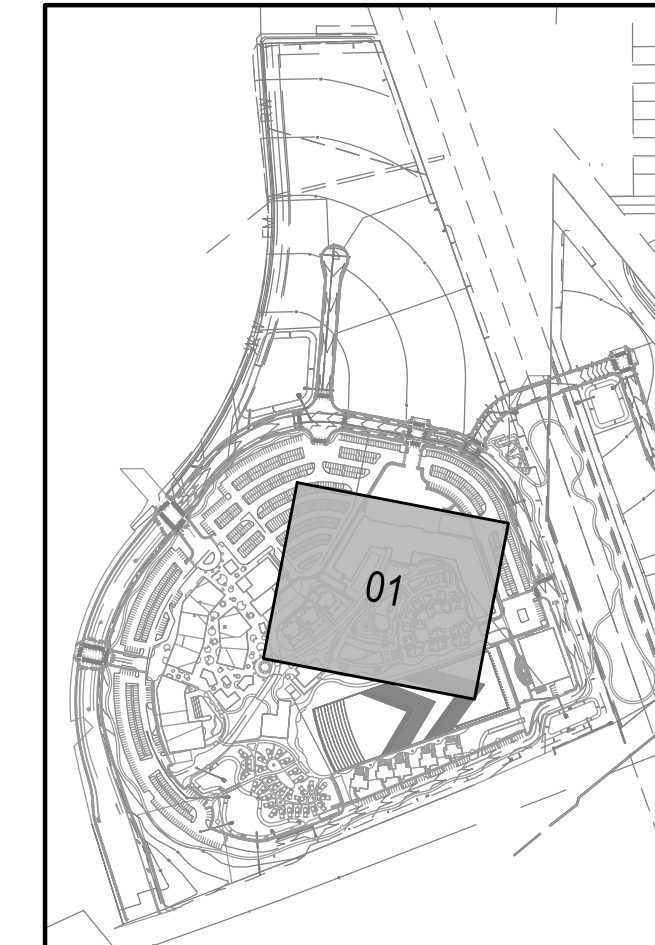
Project Name
KAMP

Project Number
19-133

Description
HOTEL_POOL_CASITAS_LAZY RIVER

Scale

KEYMAP



01 ENLARGED LANDSCAPE PLANS - HOTEL POOL, CASITAS, LAZY RIVER
 SCALE: 1" = 30'-0"

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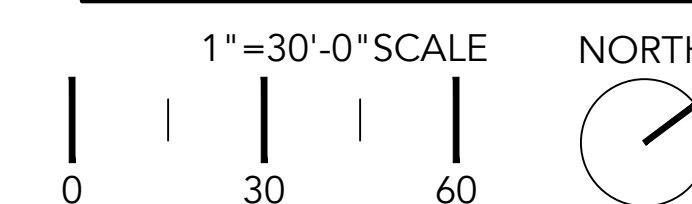
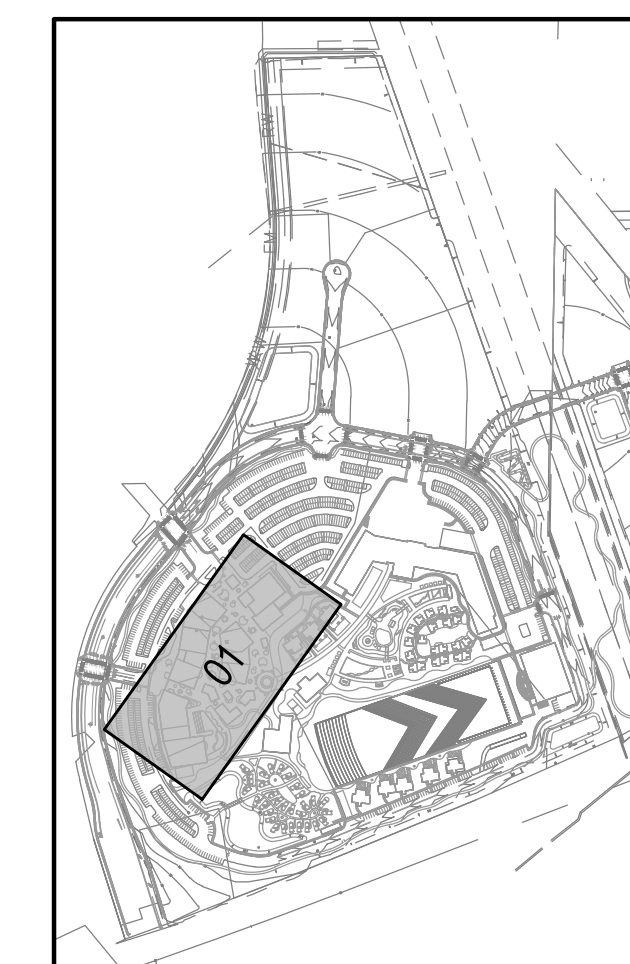
01 ENLARGED PLAN - RETAIL

SCALE: 1" = 30'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION
1	SURF LAGOON		20	SITE FURNITURE
2	POOL		21	PEDESTRIAN BRIDGE
3	CHILDREN'S SPLASH PAD		22	BOARDWALK
4	CABANAS		23	MOBILITY HUB
5	MONUMENT SIGNAGE		24	BIKE RACK
6	CLIMBING ROCK		25	LAWN
7	MIXED USE BIKE TRAIL		26	EVENT LAWN
8	FIRE FEATURES		27	FITNESS TURF
9	WATER FEATURE		28	TURF BLOCK IN FIRE LANE
10	SEAT WALL		29	SEMI PRIVATE PET AREA
11	SPA WALL		30	BEACH SAND
12	RAISED PLANTERS		31	BEACH ENTRY
13	5'-6" GLASS FENCE	A/L4.0	32	SAND VOLLEYBALL COURTS
14	5'-6" GLASS GATE	A/L4.0	33	ENHANCED PAVING- COLOR TO BE DETERMINED
15	3'-6" GUARD RAIL	C/L4.0	34	STANDARD PIP CONCRETE- COLOR TO BE DETERMINED
16	6'-0" TUBE STEEL FENCE	B/L4.0	35	TERRACE SEATING
17	6'-0" TUBE STEEL GATE	B/L4.0	36	DECK PATIO
18	VEHICULAR GATE	A/L4.1	37	FIRE PLACE PATIO
19	PRIVATE PATIO			

KEYMAP



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Description

ENLARGED LANDSCAPE PLANS
RETAIL

Scale

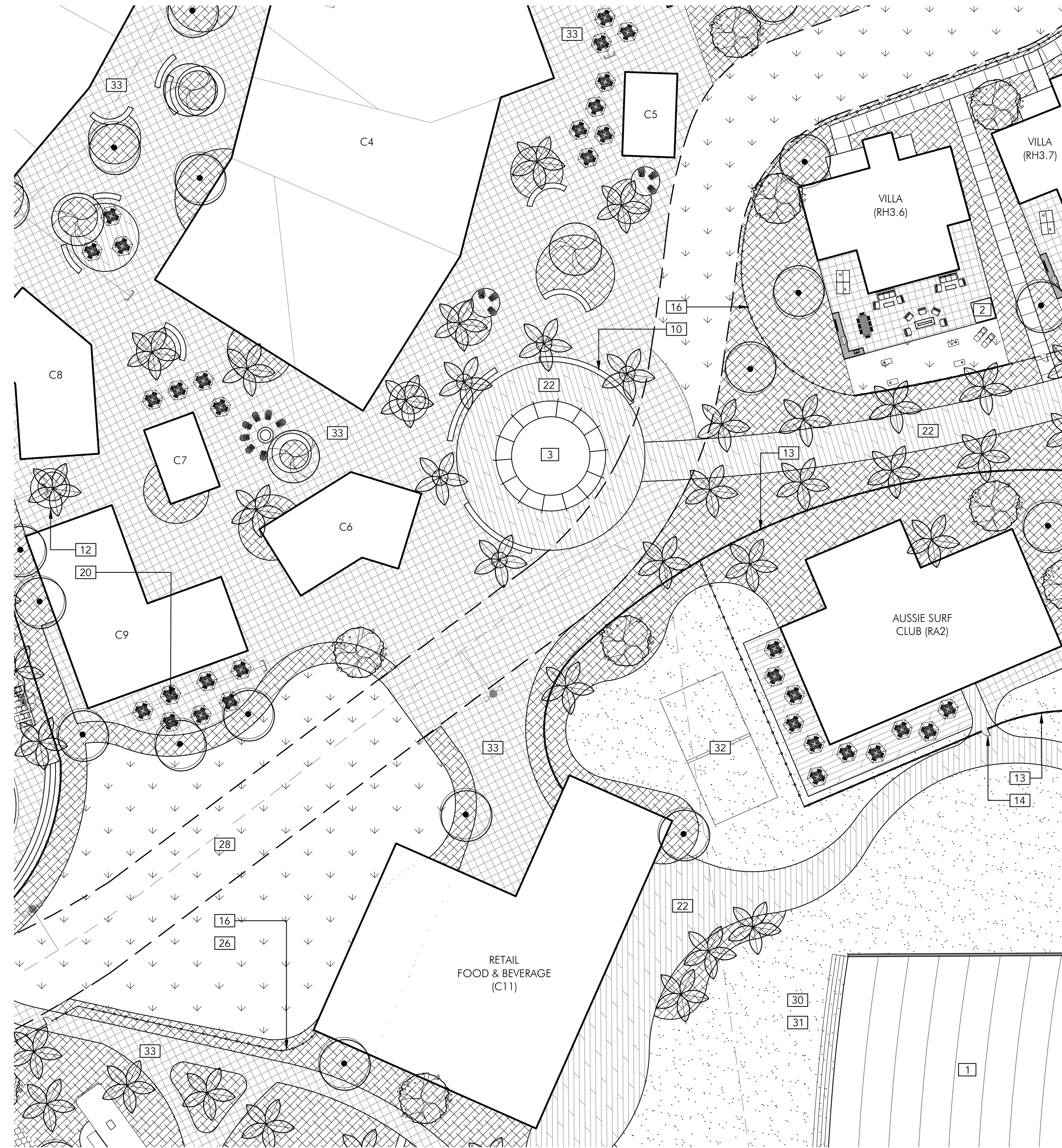
L2.2



01 ENLARGED PLAN
SCALE: 1" = 30'-0"

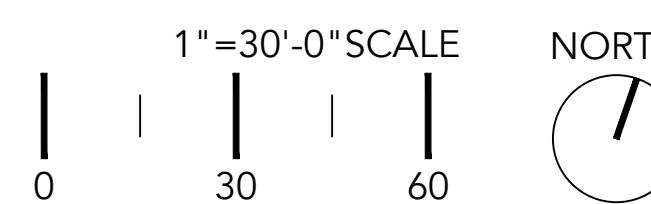
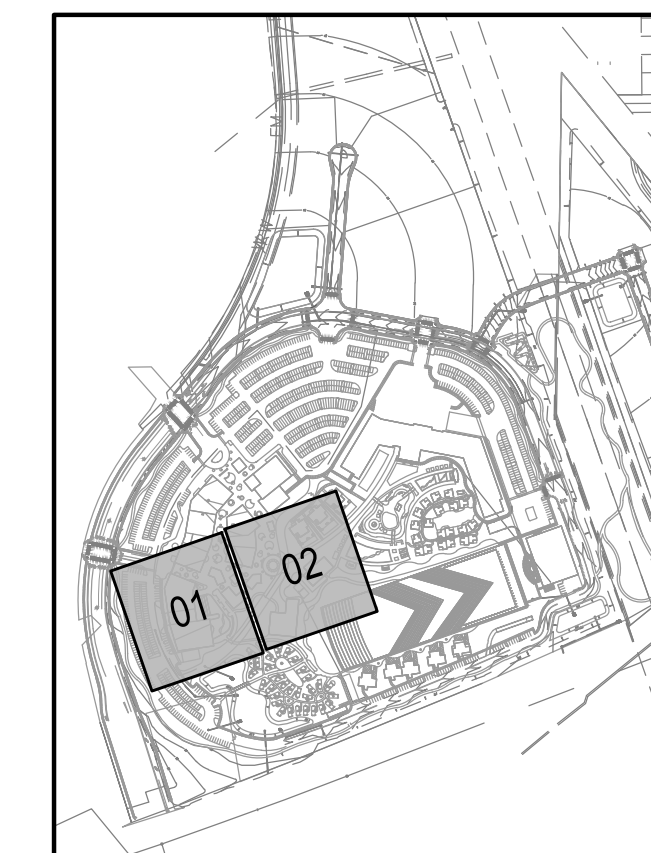
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION
1	SURF LAGOON		19	PRIVATE PATIO
2	POOL		20	SITE FURNITURE
3	CHILDREN'S SPLASH PAD		21	PEDESTRIAN BRIDGE
4	CABANAS		22	BOARDWALK
5	MONUMENT SIGNAGE		23	MOBILITY HUB
6	CLIMBING ROCK		24	BIKE RACK
7	MIXED USE BIKE TRAIL		25	LAWN
8	FIRE FEATURES		26	EVENT LAWN
9	WATER FEATURE		27	FITNESS TURF
10	SEAT WALL		28	TURF BLOCK IN FIRE LANE
11	SPA WALL		29	SEMI PRIVATE PET AREA
12	RAISED PLANTERS		30	BEACH SAND
13	5'-6" GLASS FENCE	A/L4.0	31	BEACH ENTRY
14	5'-6" GLASS GATE	A/L4.0	32	SAND VOLLEYBALL COURTS
15	3'-6" GUARD RAIL	C/L4.0	33	ENHANCED PAVING- COLOR TO BE DETERMINED
16	6'-0" TUBE STEEL FENCE	B/L4.0	34	STANDARD PIP CONCRETE- COLOR TO BE DETERMINED
17	6'-0" TUBE STEEL GATE	B/L4.0	35	TERRACE SEATING
18	VEHICULAR GATE	A/L4.1	36	DECK PATIO
19	PRIVATE PATIO		37	FIRE PLACE PATIO



02 ENLARGED PLAN
SCALE: 1" = 30'-0"

KEYMAP



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Project Number

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Description

ENLARGED LANDSCAPE PLANS
FITNESS_CHILDRENS SPLASH PAD

Scale

L2.3



01 ENLARGED PLAN - CARAVAN VILLAGE

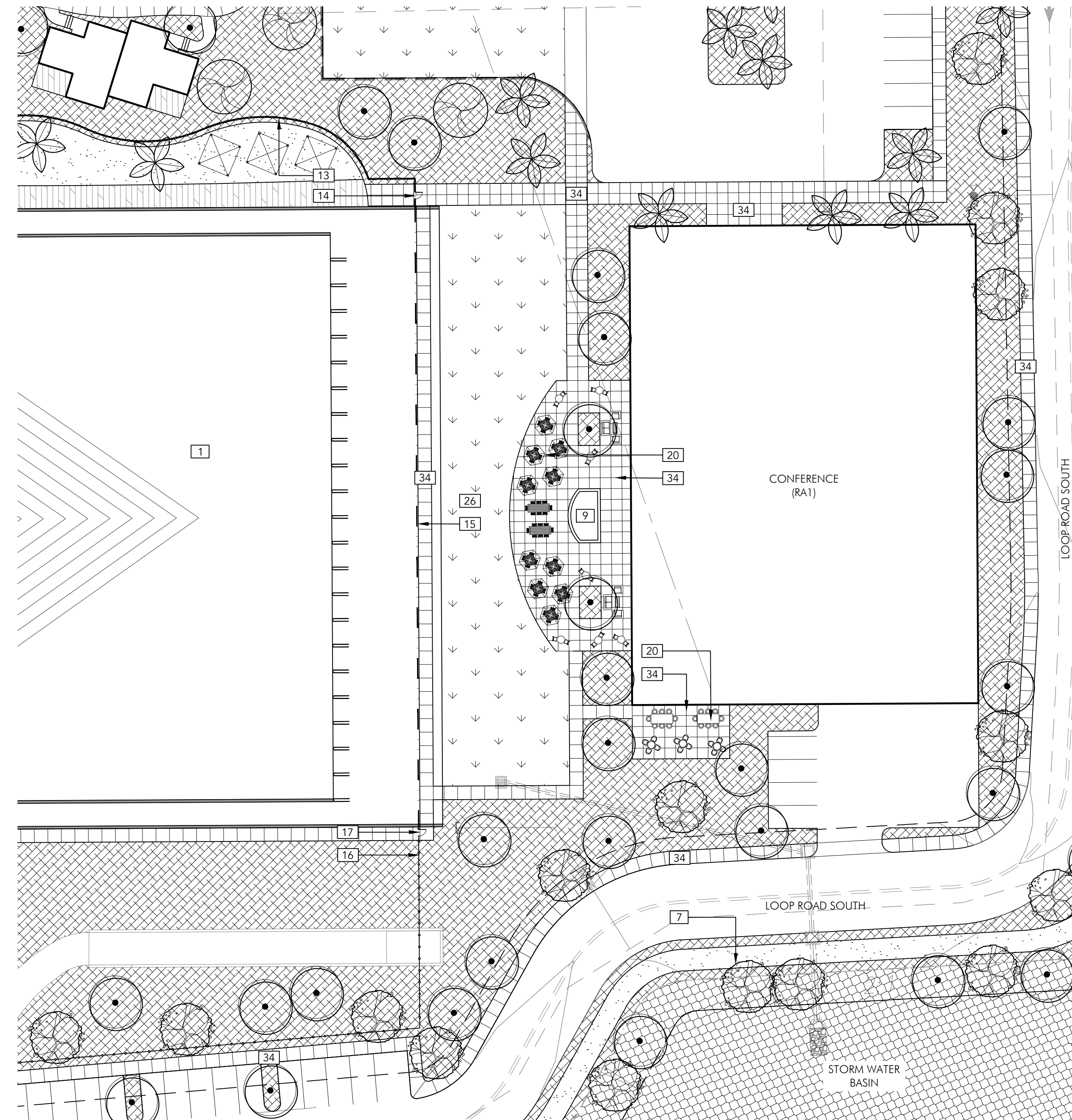
SCALE: 1" = 30'-0"

REFERENCE NOTES SCHEDULE

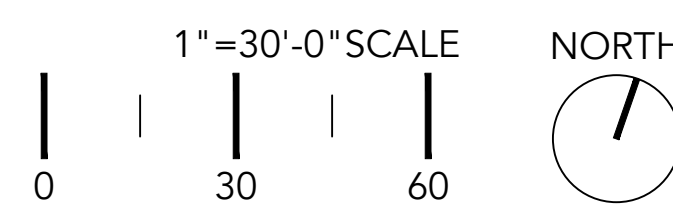
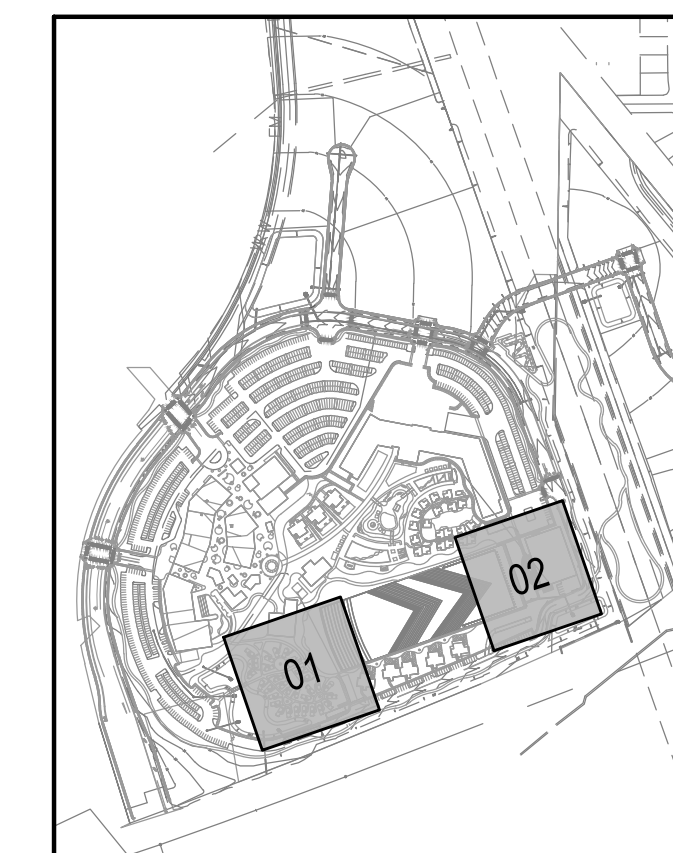
SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION
1	SURF LAGOON		20	SITE FURNITURE
2	POOL		21	PEDESTRIAN BRIDGE
3	CHILDREN'S SPLASH PAD		22	BOARDWALK
4	CABANAS		23	MOBILITY HUB
5	MONUMENT SIGNAGE		24	BIKE RACK
6	CLIMBING ROCK		25	LAWN
7	MIXED USE BIKE TRAIL		26	EVENT LAWN
8	FIRE FEATURES		27	FITNESS TURF
9	WATER FEATURE		28	TURF BLOCK IN FIRE LANE
10	SEAT WALL		29	SEMI PRIVATE PET AREA
11	SPA WALL		30	BEACH SAND
12	RAISED PLANTERS		31	BEACH ENTRY
13	5'-6" GLASS FENCE	A/L4.0	32	SAND VOLLEYBALL COURTS
14	5'-6" GLASS GATE	A/L4.0	33	ENHANCED PAVING- COLOR TO BE DETERMINED
15	3'-6" GUARD RAIL	C/L4.0	34	STANDARD PIP CONCRETE- COLOR TO BE DETERMINED
16	6'-0" TUBE STEEL FENCE	B/L4.0	35	TERRACE SEATING
17	6'-0" TUBE STEEL GATE	B/L4.0	36	DECK PATIO
18	VEHICULAR GATE	A/L4.1	37	FIRE PLACE PATIO
19	PRIVATE PATIO			

02 ENLARGED PLAN - CONFERENCE ROOM EVENT LAWN

SCALE: 1" = 30'-0"



KEYMAP



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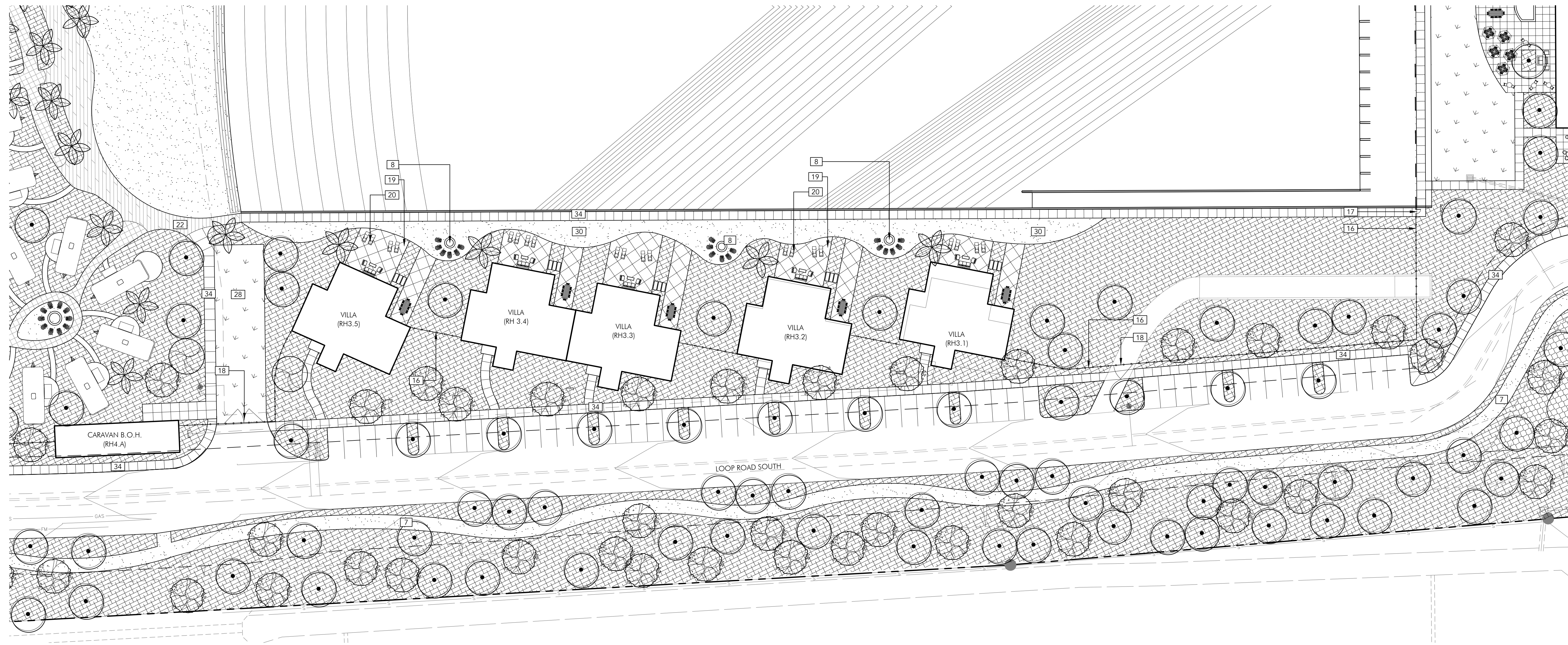
Description

ENLARGED LANDSCAPE PLANS
CARAVAN VILLAGE_CONF EVENT LAWN

Scale

L2.4

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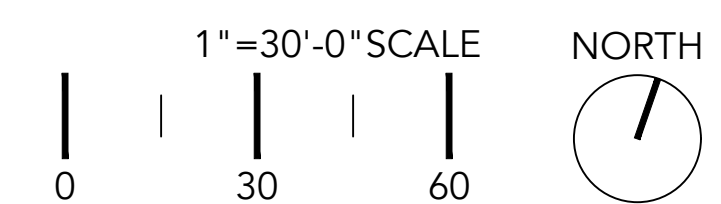
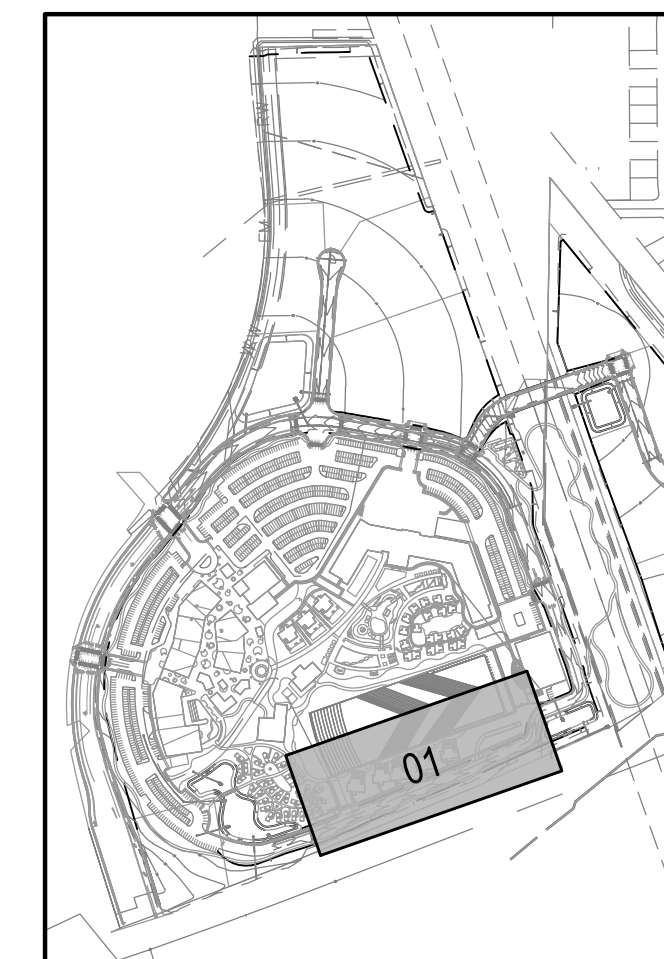
01 ENLARGED PLAN - VILLA TOWN HOMES

SCALE: 1" = 30'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION
1	SURF LAGOON		20	SITE FURNITURE
2	POOL		21	PEDESTRIAN BRIDGE
3	CHILDREN'S SPLASH PAD		22	BOARDWALK
4	CABANAS		23	MOBILITY HUB
5	MONUMENT SIGNAGE		24	BIKE RACK
6	CLIMBING ROCK		25	LAWN
7	MIXED USE BIKE TRAIL		26	EVENT LAWN
8	FIRE FEATURES		27	FITNESS TURF
9	WATER FEATURE		28	TURF BLOCK IN FIRE LANE
10	SEAT WALL		29	SEMI PRIVATE PET AREA
11	SPA WALL		30	BEACH SAND
12	RAISED PLANTERS		31	BEACH ENTRY
13	5'-6" GLASS FENCE	A/L4.0	32	SAND VOLLEYBALL COURTS
14	5'-6" GLASS GATE	A/L4.0	33	ENHANCED PAVING- COLOR TO BE DETERMINED
15	3'-6" GUARD RAIL	C/L4.0	34	STANDARD PIP CONCRETE- COLOR TO BE DETERMINED
16	6'-0" TUBE STEEL FENCE	B/L4.0	35	TERRACE SEATING
17	6'-0" TUBE STEEL GATE	B/L4.0	36	DECK PATIO
18	VEHICULAR GATE	A/L4.1	37	FIRE PLACE PATIO
19	PRIVATE PATIO			

KEYMAP



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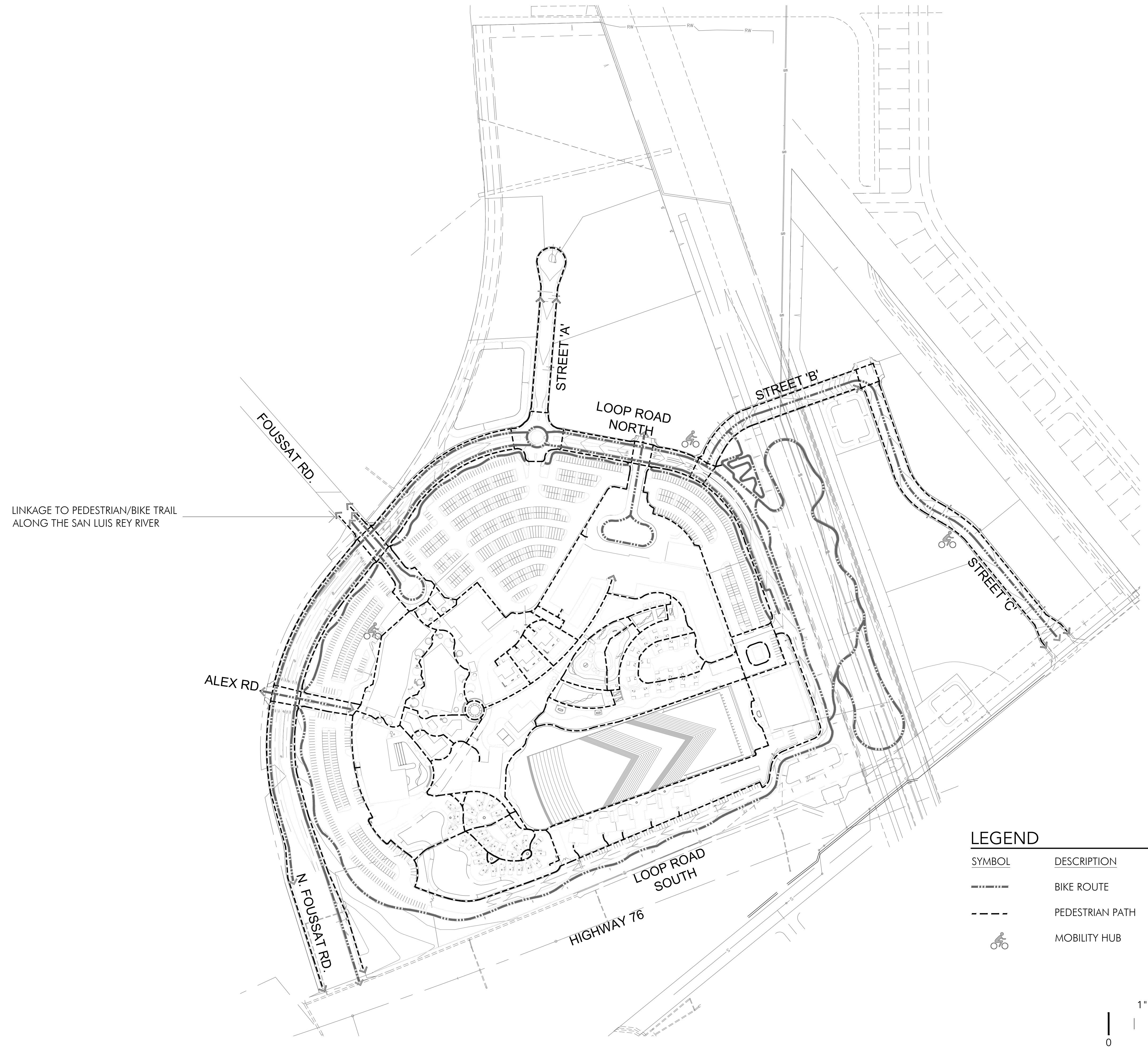
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ENLARGED LANDSCAPE PLANS
VILLA TOWN HOMES

Scale

L2.5

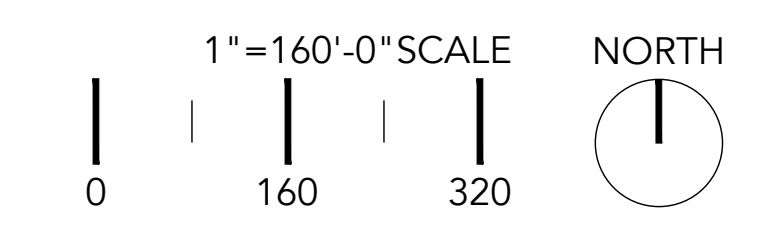
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LINKAGE TO PEDESTRIAN/BIKE TRAIL ALONG THE SAN LUIS REY RIVER

LEGEND

SYMBOL	DESCRIPTION
	BIKE ROUTE
	PEDESTRIAN PATH
	MOBILITY HUB



1 OVERALL SITE PLAN - PEDESTRIAN AND BIKE PATH

SCALE: 1" = 160'-0"

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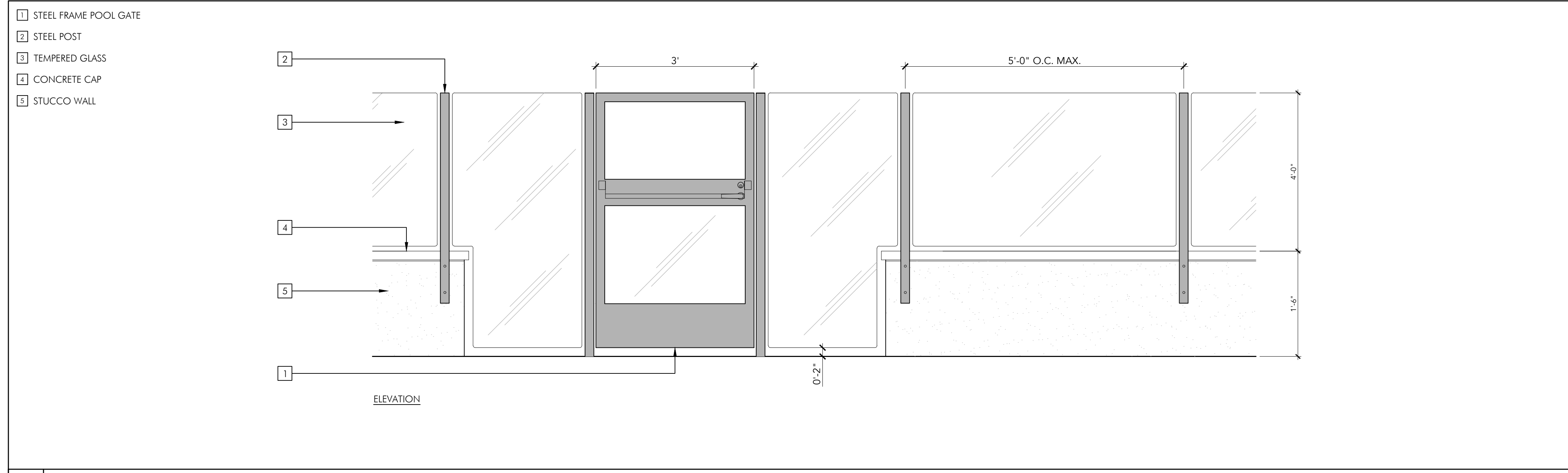
Description

PEDESTRIAN AND BIKE PATH

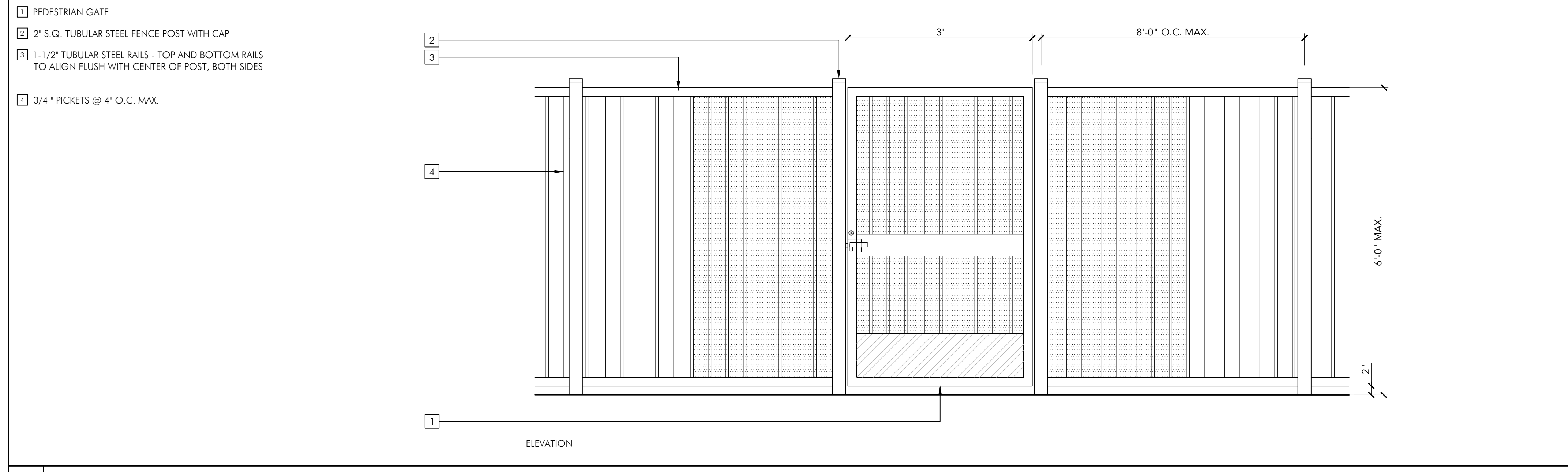
Scale

L3.0

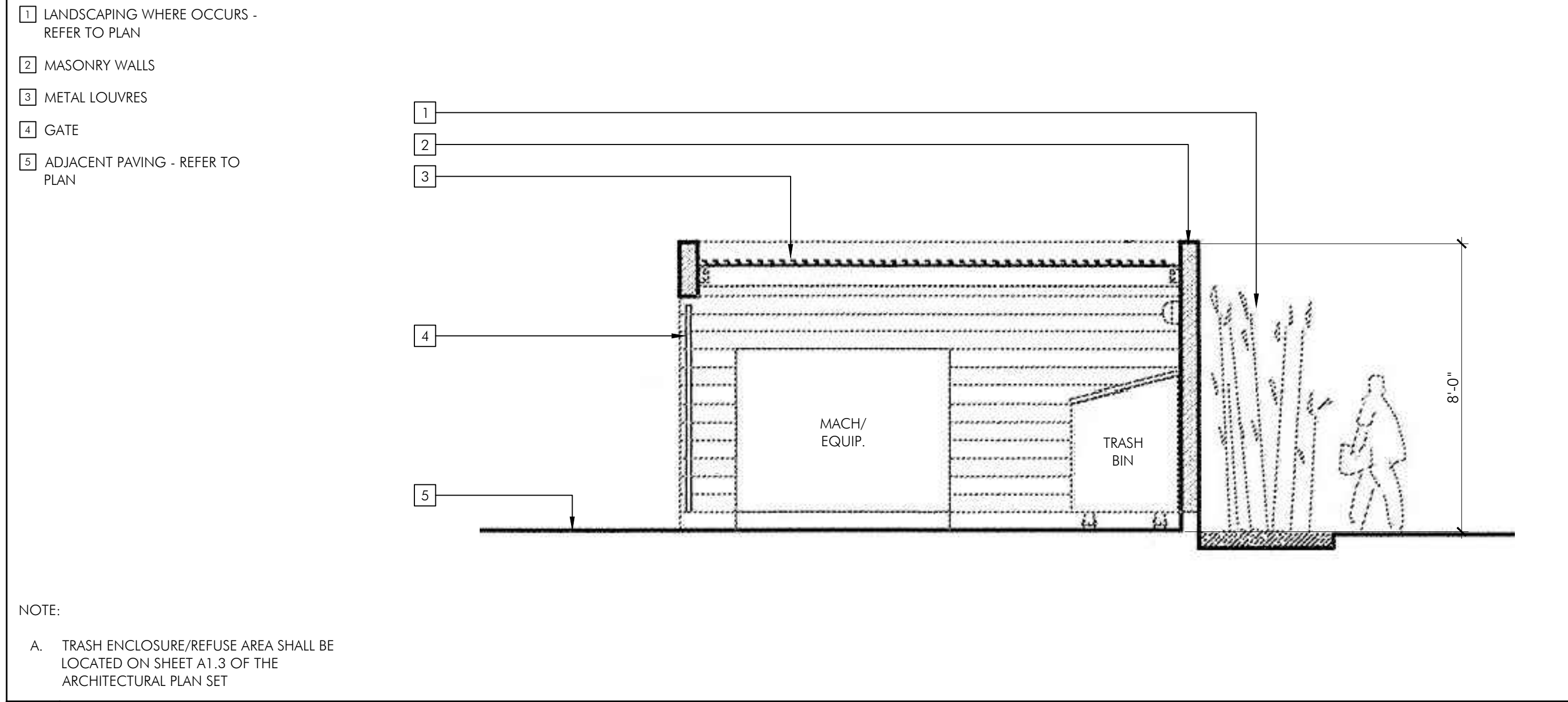
©2015 Gensler



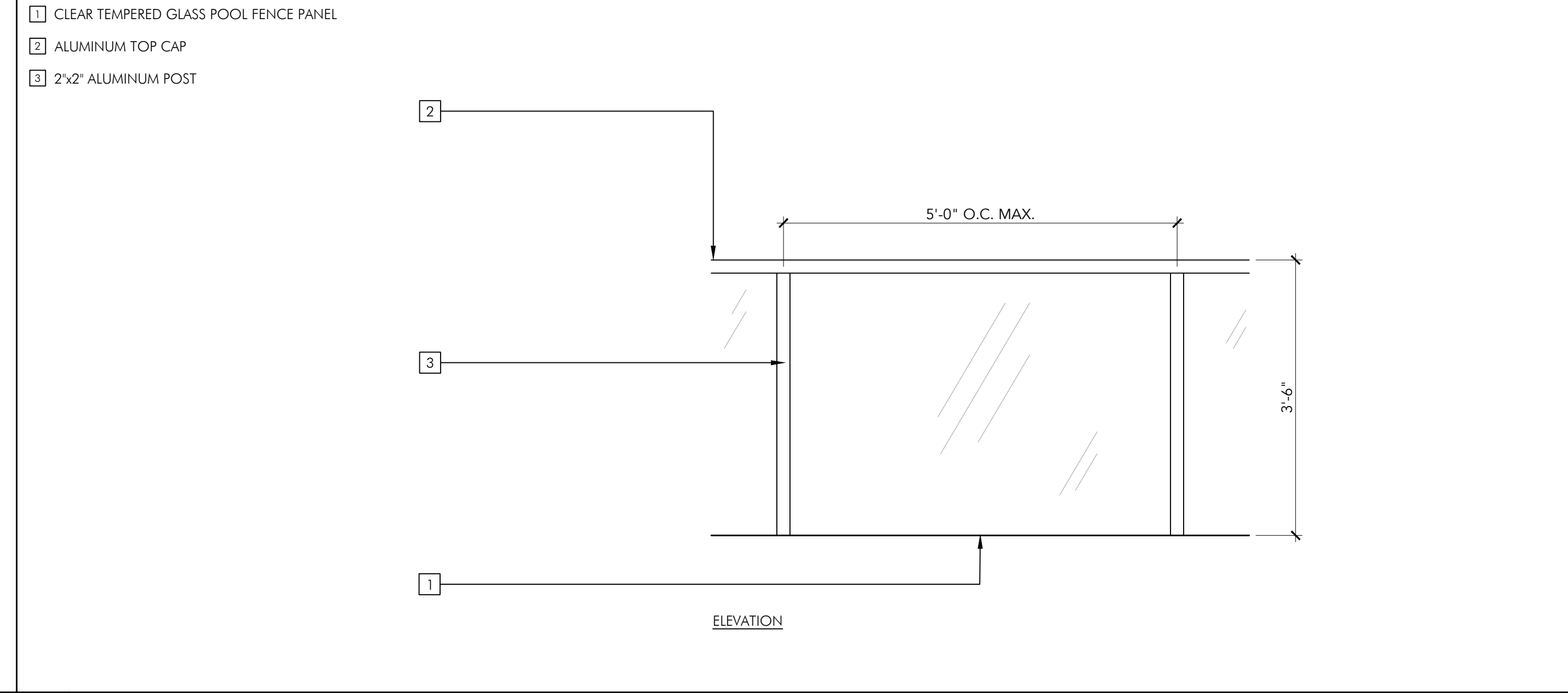
A GLASS FENCE & GATE P-19-133-01-01 3/4" = 1'-0"



B TUBE STEEL FENCE & GATE P-19-133-01-06 3/4" = 1'-0"



D TRASH ENCLOSURE P-19-133-01-08 1/4" = 1'-0"



C GUARD RAIL P-19-133-01-02 3/4" = 1'-0"

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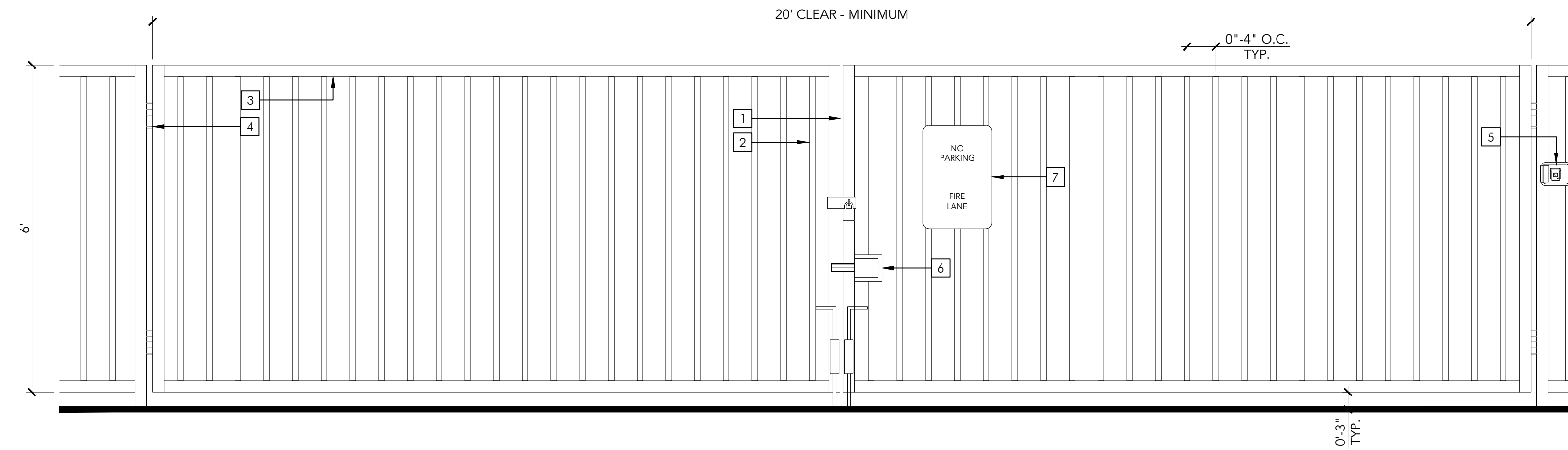
Project Number

Description
 LANDSCAPE DETAILS

Scale

L4.0

- 1 2" SQ. X 3/16" HSS TUBULAR STEEL POST
- 2 5/8" SQ. X 1/4 GA. TUBULAR STEEL PICKETS
- 3 2" SQ. X 3/16" HSS TUBULAR STEEL TOP AND BOTTOM RAILS
- 4 GATE HINGES - TO BE SELF-CLOSING - LOCATION AND TYPE PER CONTRACTOR
- 5 KNOX BOX - BY OTHERS
- 6 LOCKABLE GATE LATCH AND KNOX BOX TO MEET CITY FIRE DEPARTMENT REQUIREMENTS - PER CONTRACTOR
- 7 FIRE LANE SIGN- LETTERING TO BE RED ON WHITE REFLECTIVE BACKGROUND WITH LETTERS 1" IN HEIGHT



A VEHICULAR GATE

3/4" = 1'-0"

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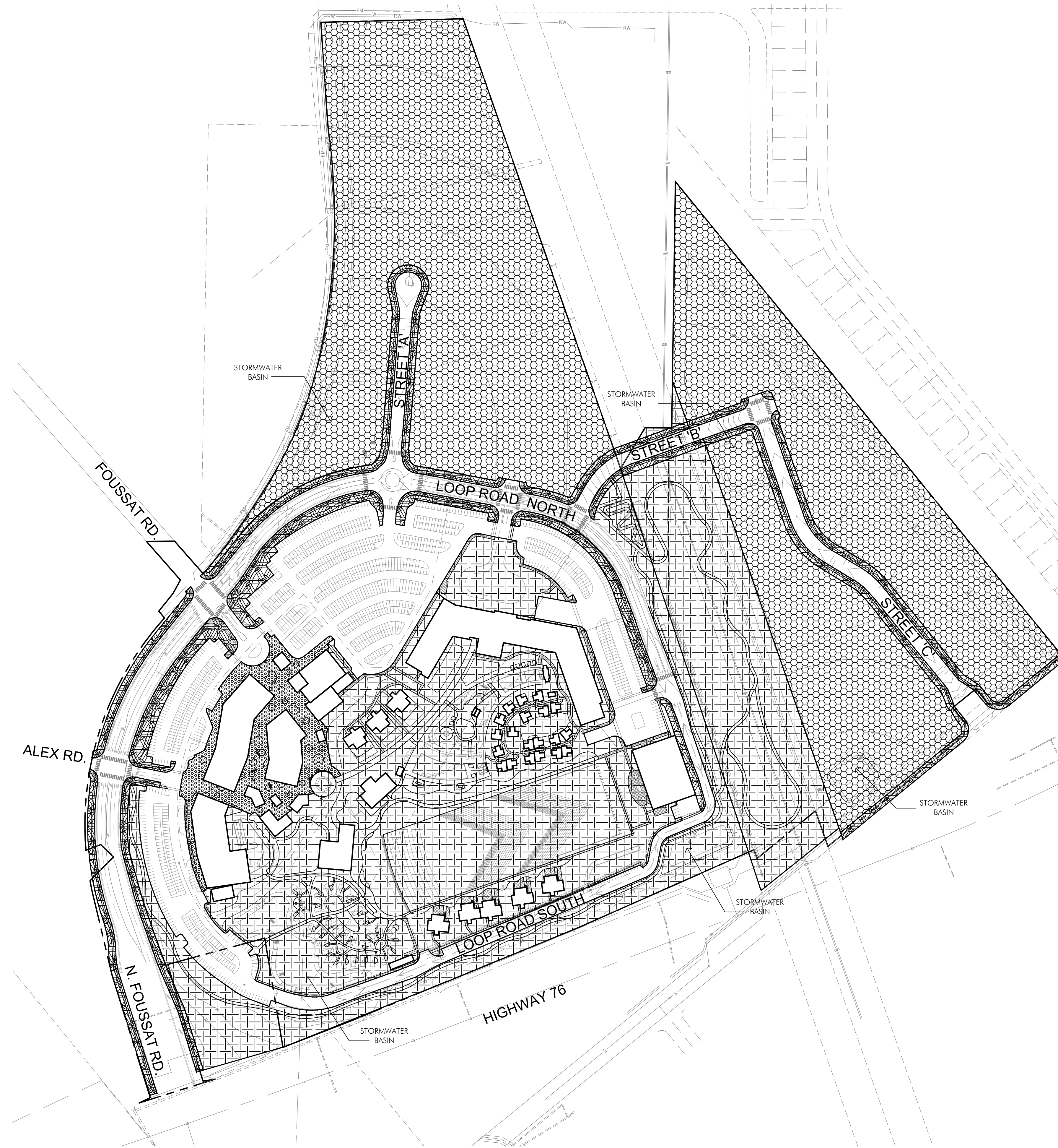
Description

LANDSCAPE DETAILS

Scale

L4.1

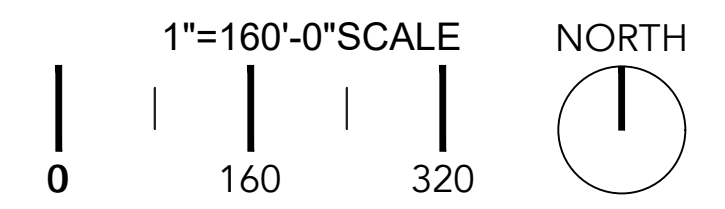
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LEGEND

SYMBOL	DESCRIPTION
	STREET AND DRIVE LANDSCAPING
	STOREFRONT LANDSCAPING
	OPEN SPACE LANDSCAPING
	RESIDENTIAL OPEN SPACE (RESIDENTIAL SITE TO BE 15% LANDSCAPING MAX.)
*TOTAL USABLE OPEN SPACE- 639,190 SF (14.7 AC) (HARDSCAPE, LAWN, POOLS)	
*TOTAL OPEN SPACE- 1,842,055 SF (32.2 AC) (USABLE SPACE + PLANTING AREA, BASINS, ETC)	

1 OVERALL SITE PLAN
SCALE: 1" = 160'-0"



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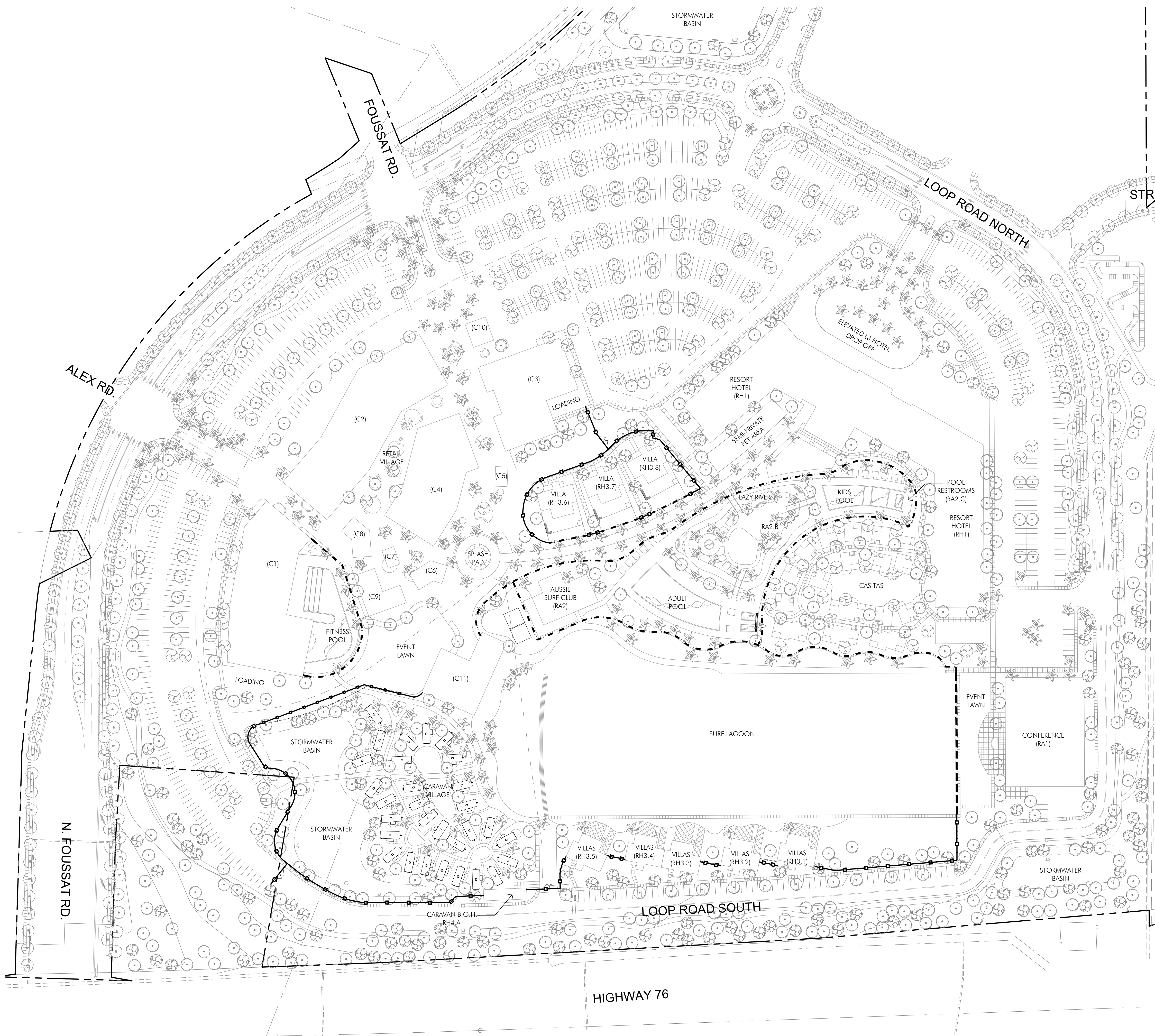
OPENSACE EXHIBIT

Scale

L5.0



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04.29.2021	MIXED USE PLAN - RESUBMITTAL



LEGEND

SYMBOL	DESCRIPTION	DETAIL
	5-6" TUBULAR STEEL	B, SHEET L4.0
	3-6" GLASS GUARDRAIL	C, SHEET L4.0
	6-0" GLASS FENCE	A, SHEET L4.0

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CONSTRUCTION**

Project Name

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Project Number

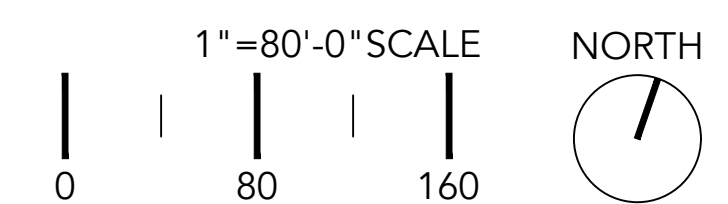
19-133

Description

FENCE AND WALL PLAN

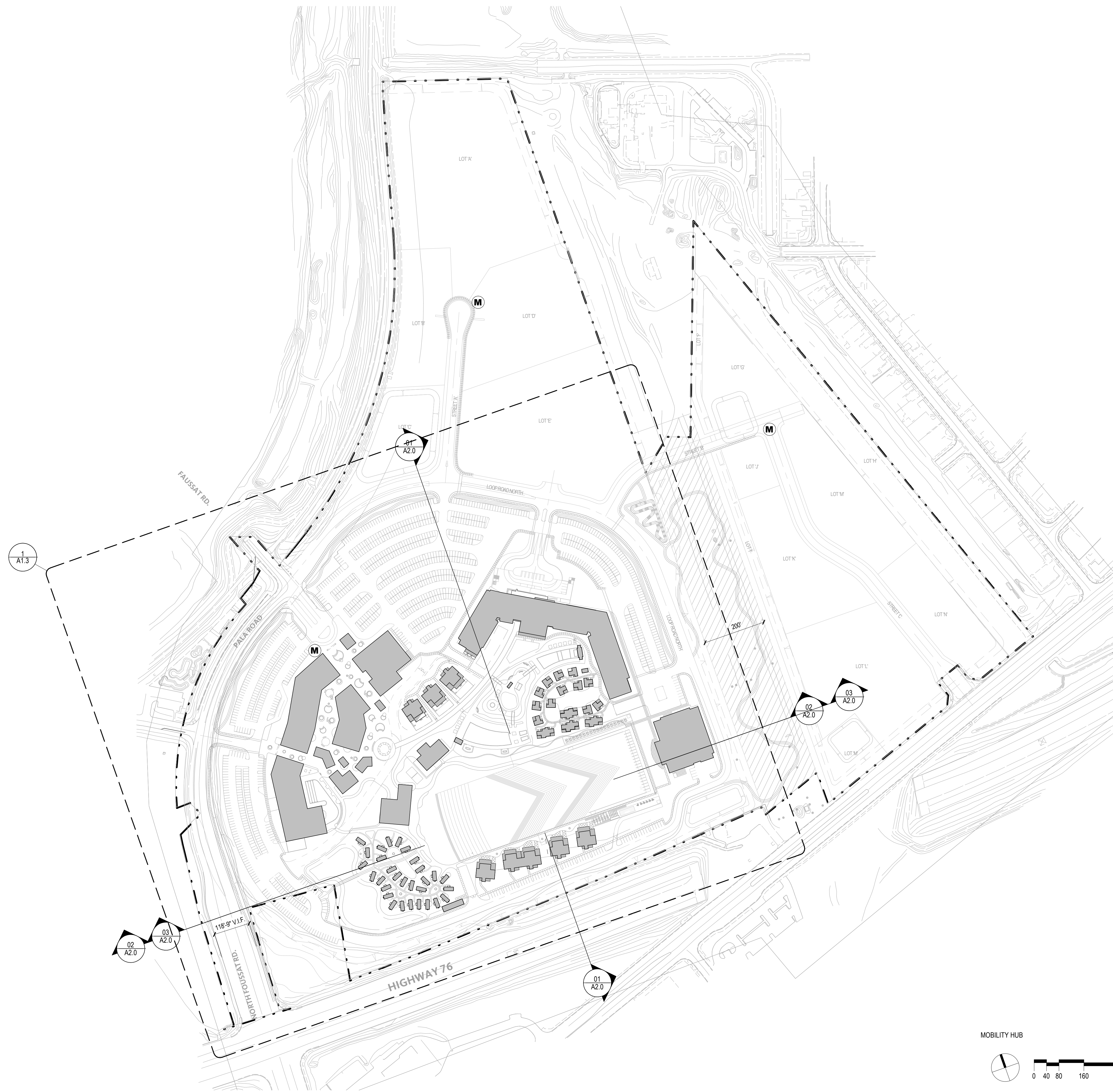
Scale

01 ENLARGED SITE PLAN
SCALE: 1" = 80'-0"

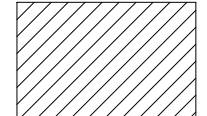
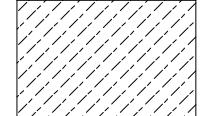








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LEGEND

-  SDGE EASEMENT
REF. C SHEETS
-  POOL, LAZY RIVER, WAVE
LAGOON
-
-  MOBILITY HUB
-  ACCESS POINT TO PUBLIC
RIGHT OF WAY
-  ACCESSIBLE PATH OF
TRAVEL
-  ACCESS POINT TO PUBLIC
RIGHT OF WAY
-  LOADING BERTH
-  REFUSE AREA

Gensler

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Date	Description
08.28.2019	MIXED USE PLAN
12.20.2019	MIXED USE PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
OSIDE KAMP

Project Number
055.7758.000

Description
**OVERALL ARCHITECTURAL SITE
PLAN**

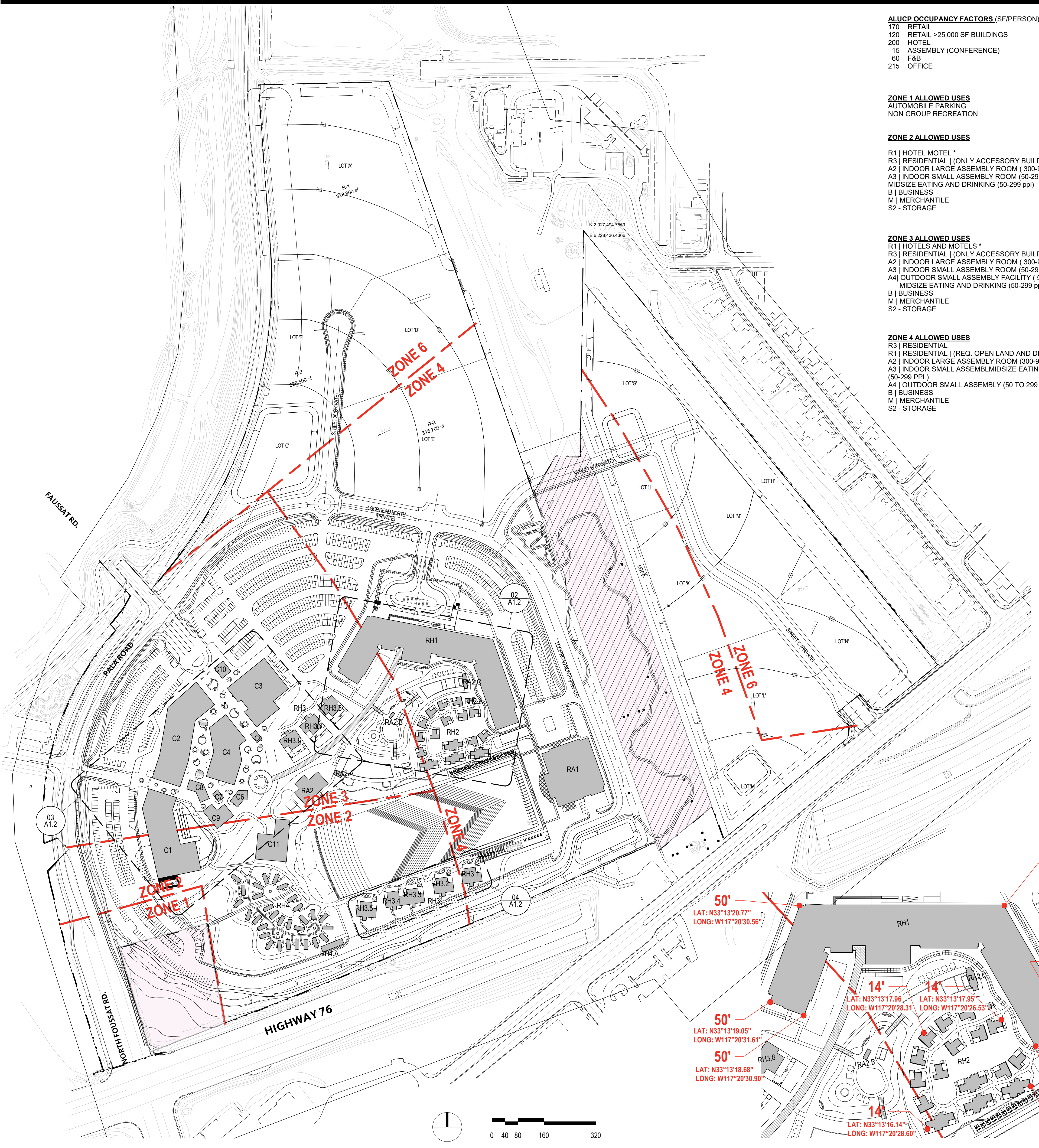
Scale
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01 OVERALL SITE PLAN
SCALE: 1" = 160'-0"

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ALUCC OCCUPANCY FACTORS (SF/PERSON)

170	RETAIL
120	RETAIL >25,000 SF BUILDINGS
200	HOTEL
15	ASSEMBLY (CONFERENCE)
60	F&B
215	OFFICE

ZONE 1 ALLOWED USES
 AUTOMOBILE PARKING
 NON GROUP RECREATION

ZONE 2 ALLOWED USES
 R1 | HOTEL/MOTEL *
 R3 | RESIDENTIAL | (ONLY ACCESSORY BUILDINGS)
 A2 | INDOOR LARGE ASSEMBLY ROOM (300-900 PPL) *
 A3 | INDOOR SMALL ASSEMBLY ROOM (50-299 PPL) *
 M | MIDDLE EATING AND DRINKING (50-299 PPL) *
 B | BUSINESS
 M | MERCHANTILE
 S2 - STORAGE

ZONE 3 ALLOWED USES
 R1 | HOTELS AND MOTELS *
 R3 | RESIDENTIAL | (REQ. OPEN LAND AND DENSITY LIMIT)
 A2 | INDOOR LARGE ASSEMBLY ROOM (300-900 PPL) *
 A3 | INDOOR SMALL ASSEMBLY ROOM (50-299 PPL) *
 A4 | OUTDOOR SMALL ASSEMBLY FACILITY (50-299 PPL) *
 M | MIDDLE EATING AND DRINKING (50-299 PPL) *
 B | BUSINESS
 M | MERCHANTILE
 S2 - STORAGE

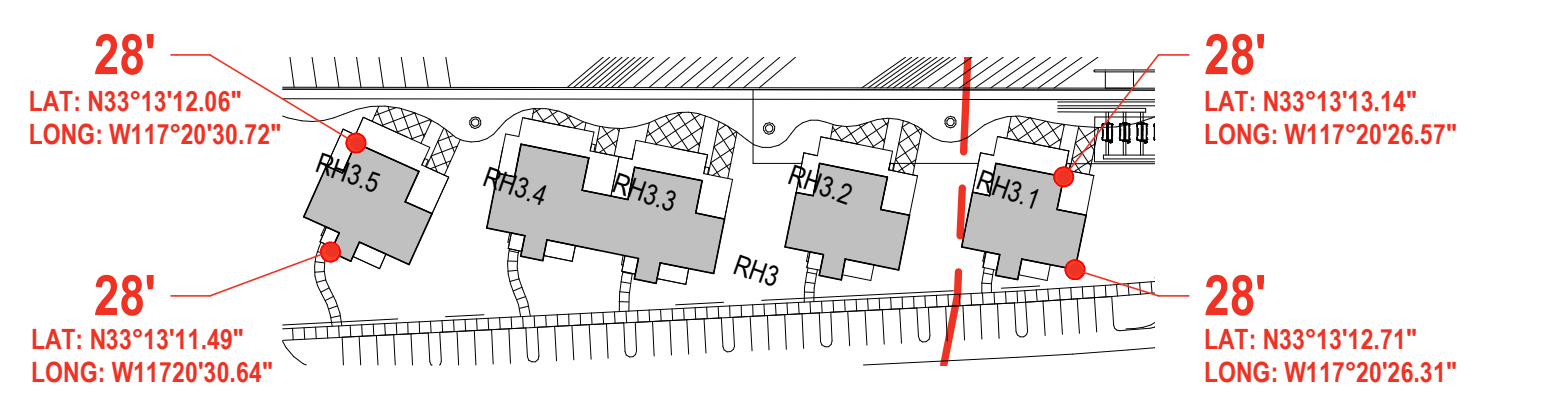
ZONE 4 ALLOWED USES
 R3 | RESIDENTIAL
 R1 | RESIDENTIAL | (REQ. OPEN LAND AND DENSITY LIMIT)
 A2 | INDOOR LARGE ASSEMBLY ROOM (300-999 PPL) *
 A3 | INDOOR SMALL ASSEMBLY ROOM (50-299 PPL) *
 A4 | OUTDOOR SMALL ASSEMBLY (50 TO 299 PPL) *
 B | BUSINESS
 M | MERCHANTILE
 S2 - STORAGE

	Zone 1	Zone 2	Zone 3	Zone 4 Resort Hotel	Zone 4 Residential	Zone 6 Residential
Site SF	117,247	460,405	696,653	770,281	255,913	1,167,562
Site Acreage	2.69	10.57	15.99	17.68	5.87	26.80
Max. Allowable Lot Coverage	N/A	50%	60%	70%	70%	100%
Max. Allowable Lot Coverage (SF)	-	230,203	417,992	539,197	179,139	1,167,562
Proposed Lot Coverage (SF)	-	46,500	113,550	103,550	179,139	-
Proposed Lot Coverage (%)	-	10%	16%	13%	70%	-
Max. Intensity Factor (ppf/gross acre)	N/A	60	100	100	100	No Limit
Allowable Site Density	-	634	1,599	1,768	587	-
Max. Intensity Factor (ppf/gross acre) With Risk Reduction Policy Objectives	N/A	90	200	200	200	No Limit
Allowable Site Density with Risk Reduction Policy Objectives	-	951	3,199	3,537	1,175	-
Proposed Site Density	-	493	1,252	1,649	585	-
DELTA Proposed: Allowable	-	141	347	119	7	-
	Compatible	Compatible	Compatible	Assumes 15% of proposed 700 dwelling units * 5ppf/DU	Assumes 84% of proposed 700 dwelling units * 5ppf/DU	

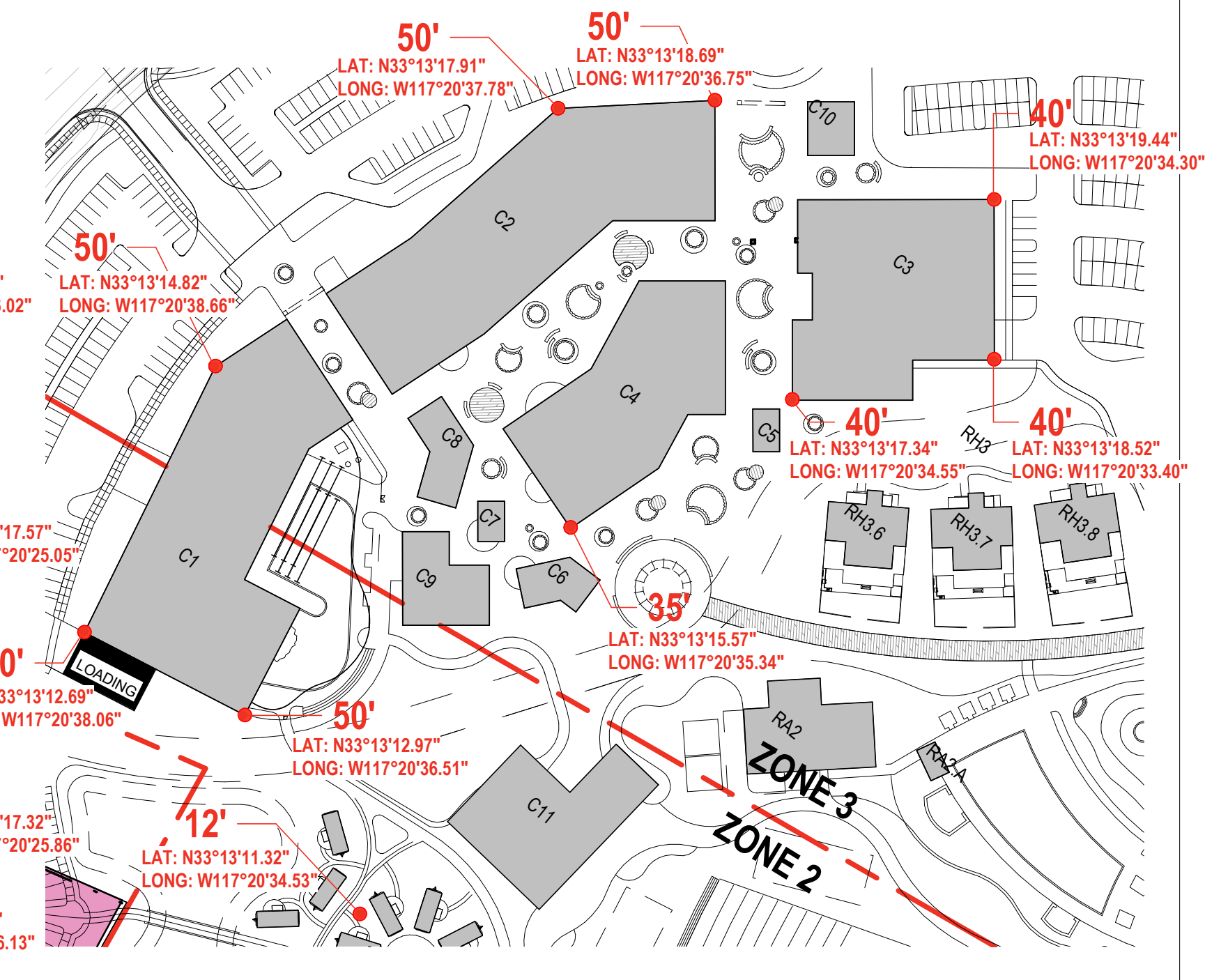
	Zone 1	Zone 2	Zone 3	Zone 4 Commercial	Zone 4 Residential	Zone 6 Residential
Commercial C1		19,000	19,000			
Commercial C2			36,000			
Commercial C3			18,000			
Commercial C4			21,000			
Commercial C5			700			
Commercial C6			2,000			
Commercial C7			700			
Commercial C8			2,500			
Commercial C9			4,000			
Commercial C10			1,500			
Commercial C11		10,000				
SUBTOTAL		29,000	105,400			
COMMERCIAL SITE DENSITY		242	878.33			
Hotel RH1			44,000	193,000		
(Casitas) Hotel RH2			600	11,600		
BOH Building RH2.A				200		
(Villas) Hotel RH3		21,000	21,000	5,250		
(Airstream) Hotel RH4		13,000				
BOH Building RH4.A		1,500				
		35,500	65,600	210,050		
RESORT HOTEL SITE DENSITY		246	328	1,049.25		
Conference RA1				18,000		
Aussie Surf Club RA2			8,000			
BOH Building RA2.A			800			
BOH Building RA2.B			200			
BOH Building RA2.C				500		
				9,000		
RESORT AMENITY SITE DENSITY		6	46	600		

Occupancy Factors (ALUCC)

Retail	170
Retail >25,000 SF Buildings	120
Hotel	200
Assembly (Conference)	15
F&B	60
Office	215
Low-Hazard Storage	0



04 VILLAS
SCALE: 1" = 100'-0"



01 OVERALL SITE PLAN - AIRPORT OVERLAY
SCALE: 1" = 160'-0"

02 HOTEL/CASITAS
SCALE: 1" = 100'-0"

03 RETAIL
SCALE: 1" = 100'-0"

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

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Project Name

OSIDE KAMP

Project Number

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Description

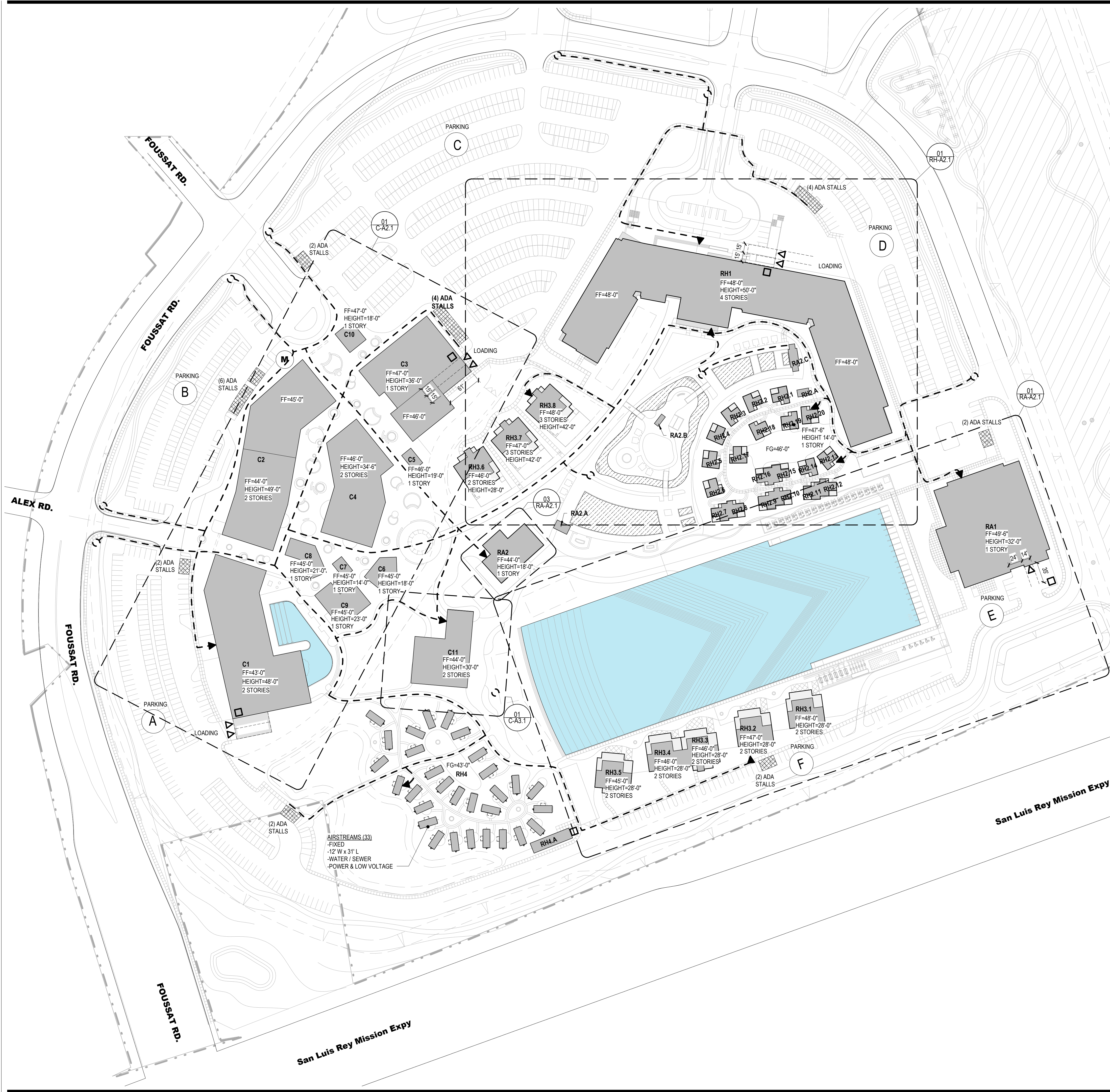
OVERALL ARCHITECTURAL SITE PLAN - AIRPORT OVERLAY

Scale

As indicated

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LEGEND

- SDGE EASEMENT
REF. C SHEETS
- POOL, LAZY RIVER, WAVE
LAGOON
- PROPERTY LINE
- MOBILITY HUB
- ACCESS POINT TO PUBLIC
RIGHT OF WAY
- ACCESSIBLE PATH OF
TRAVEL
- ACCESS POINT TO PUBLIC
RIGHT OF WAY
- LOADING BERTH
- REFUSE AREA

PARKING ANALYSIS

Date	Description
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COMMERCIAL	Area nsf	Area Ratio	# of building 1 parking stalls	Stall Required	Stall Provided*	Notes
Commercial Total	120,000			250	400	
Retail	100,000			300	67	
Office	20,000				67	
SUBTOTAL				467	467	

RESORT HOTEL	# Keys	Room Ratio	Parking stall factor	Stall Required	Stall Provided*
HOTEL ROOMS	232	77%	1.2	278.4	24
VILLAS	18	6%	1.2	21.6	
CASTLES	20	7%	1.2	24	
AURSTREAM VILLAGE	30	10%	1.2	36	
SUBTOTAL	300	100%		360	360

SURF LAGOON	Users	Parking stall factor	Stall Required	Stall Provided*
Wave Pool	12	0.75	9	
Non-Group Recreation	36	0.75	27	
SUBTOTAL			36	36

Vehicular Total Required	Vehicular Not Required	Total Stalls
863	192	1,055

Accessible Parking (ADA 2010 Table 208.2)	17 stalls	4 Vans	21	24
Clean Air/Van Pool (Cal Green 5.106.5.2)			85	85
Parking Dimension (OSO 3109)	90 deg, 8'-6" x 18'-0" / parallel 8'-0" x 22'-0"			
Parking Aisle Width (OSO 3111)	Parking Aisles 24' wide / Fire Access Aisles 28' wide			

Bicycle Parking	Bicycle Short-Term (OSO 3108/CalGreen)	Bicycle Long-Term / Commercial (OSO 3108/CalGreen)	Bicycle Long-Term / Hotel (CBC A4.1-6.9.3) 1/25,000 sf
	53	53	14

Loading Berth per OSO 3122	Commercial Area / G 1 / spaces 50,001 and over	Hotel / G 1 / spaces 50,001 and over
	3	4
	3	3

PARKING	Stalls	Commercial	Resort	Not Required
Lot A	212	152	36	24
Lot B	133	100	-	33
Lot C	484	215	142	127
Lot D	170	-	170	-
Lot E	4	-	-	4
Lot F	52	-	12	40
TOTALS	1,055	467	360	228

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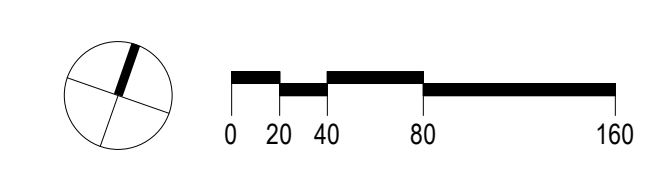
Project Name
OSIDE KAMP

Project Number
055.7758.000

Description
ENLARGED ARCHITECTURAL SITE PLAN

Scale
As indicated

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LEGEND

TABLE C102.1 REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS			
FIRE FLOW REQUIREMENT (GPM)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS** (ft)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD, FRONTAGE TO HYDRANT** (ft)
1,750 or less	2	450	225
2,000-2,250	2	400	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more	200	120

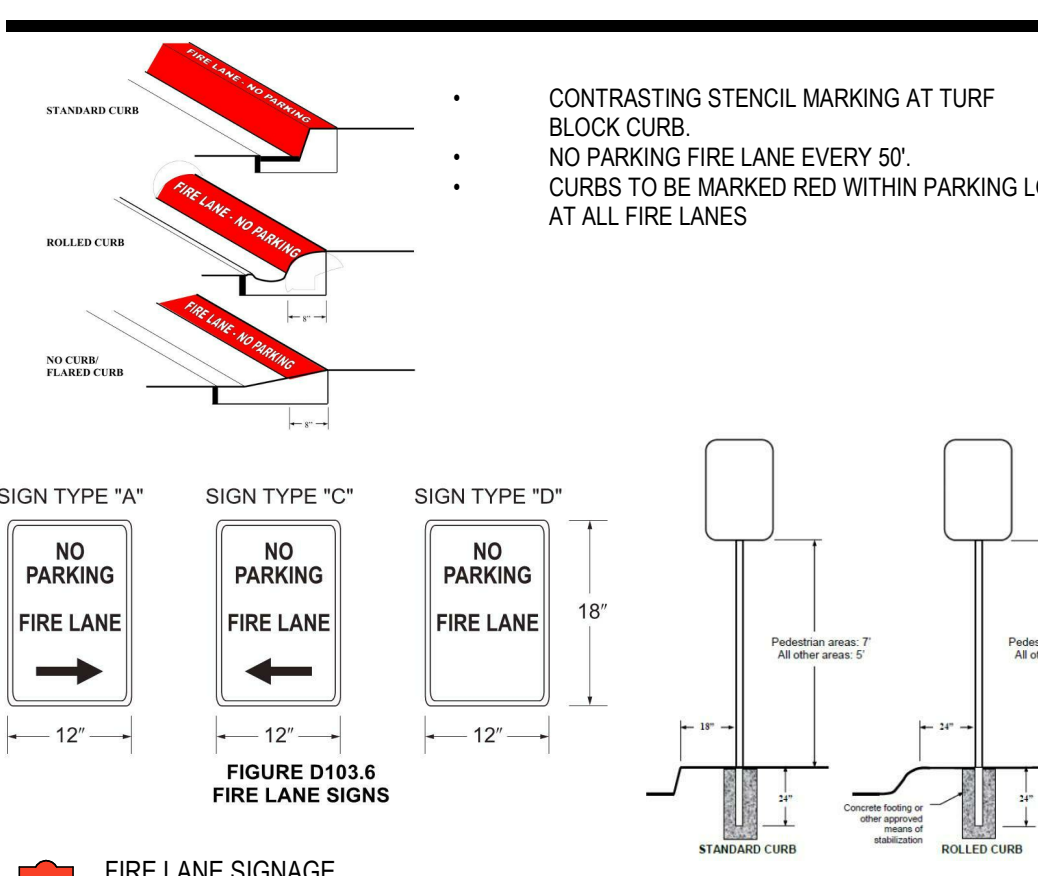
For SI: 1 inch = 25.4 mm, 1 gallon per minute = 3.785 L/m.
 * Reduce by 100 feet for dead-end streets or roads.
 ** Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where aerial ladders are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
 *** Where new water mains are installed along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing to be not less than 1,000 feet to provide for transportation hoses.
 **** Reduce by 50 feet for dead-end streets or roads.
 ***** One hydrant for each 1,000 gallons per minute or fraction thereof.
 A 25-percent spacing increase shall be permitted when the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.1.1 of the California Fire Code.
 A 25-percent spacing increase shall be permitted when the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.1.2 of the California Fire Code or Section 903.6 of the California Fire Code.

FIRE FLOW:
 CFC 2016 table B105.1(2) with 25% sprinkler reduction
 C1 4.125 GPM/4hrs / 4 Hydrants
 C2 4.215 GPM/4hrs / 4 Hydrants
 C3 3.000 GPM/3hrs / 3 Hydrants
 C4 2.625 GPM/3hrs / 3 Hydrants
 C5 6.7, 8, 10 1.125GPM/2hr / 1 Hydrant
 C9 1.315 GPM/2hr / 1 Hydrant
 RH1 6.000 GPM/4hr / 6 Hydrants
 RH2 combined 2.250 GPM/2hr / 2 Hydrants
 RH3 each 1.125GPM/2hr or combined 3.000 GPM/3hrs / 1 Hydrant
 RH4 combined 3.000 GPM/3hr / 3 Hydrants
 RA1 2.915 GPM/2hrs / 3 Hydrants
 RA2 1.125GPM/2hr / 1 Hydrant
 RA4 1.500 GPM/2hr / 1 Hydrant
 RA4 a-c each 1.125GPM/2hr / 1 Hydrant

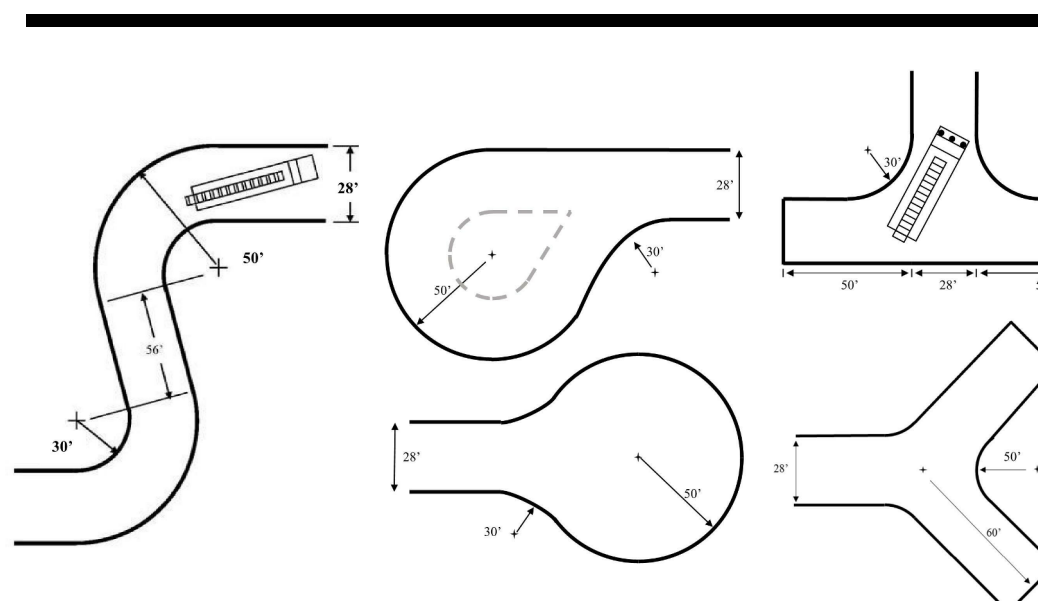
Hydrant Identification/Markings:
 1. Public hydrants shall be painted yellow and private hydrants shall be painted red.
 2. Blue reflective pavement markers (blue dots) shall be used to identify fire hydrant locations. Blue reflective markers used for any other purpose shall be removed.

Fire Access Roadway Identification:
 Fire lane identification will be required when it is necessary to restrict parking of vehicles in order to maintain the required width of fire access roadways for emergency vehicle use. Refer to Attachment 9.
 1. Areas designated by the Oceanside Fire Department as fire lanes must be marked with red curbs meeting the specifications in Attachment 9.

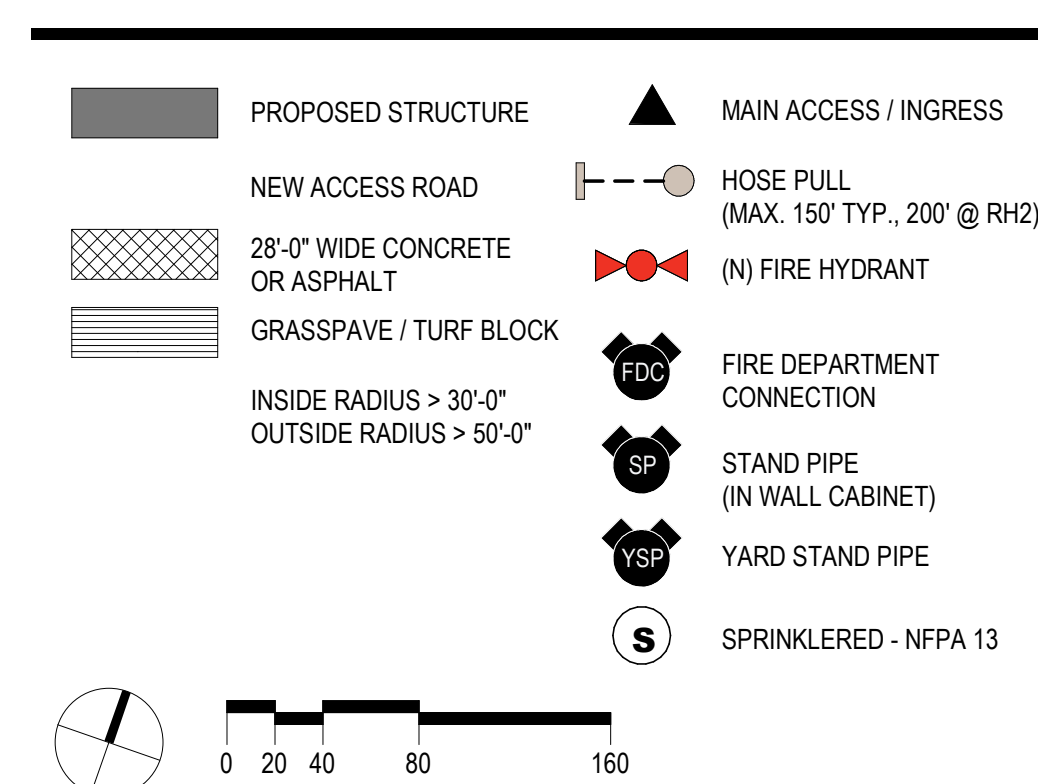
FIRE ACCESS MARKINGS



FIRE ACCESS ROADS & TURNING



LEGEND



BUILDING IDENTIFIER	FINISH FLOOR ELEVATION	HEIGHT	NUMBER OF FLOORS
C1	43' - 0"	48' - 0"	2
C2	44' - 0" to 45' - 0"	49' - 0"	2
C3	46' - 0" to 47' - 0"	36' - 0"	1
C4	46' - 0"	34' - 6"	2
C5	46' - 0"	19' - 0"	1
C6	45' - 0"	18' - 0"	1
C7	45' - 0"	14' - 0"	1
C8	45' - 0"	21' - 0"	1
C9	45' - 0"	23' - 0"	1
C10	47' - 0"	18' - 0"	1
C11	44' - 0"	30' - 0"	2

BUILDING IDENTIFIER	FINISH FLOOR ELEVATION	HEIGHT	NUMBER OF FLOORS
RH1	48' - 0"	50' - 0"	4
RH2	47' - 6"	14' - 0"	1
RH3.1	48' - 0"	28' - 0"	2
RH3.2	47' - 0"	28' - 0"	2
RH3.3	46' - 0"	28' - 0"	2
RH3.4	46' - 0"	28' - 0"	2
RH3.5	45' - 0"	28' - 0"	2
RH3.6	46' - 0"	28' - 0"	2
RH3.7	47' - 0"	42' - 0"	3
RH3.8	48' - 0"	42' - 0"	3
RA1	49' - 6"	32' - 0"	1
RA2	44' - 0"	18' - 0"	1

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Project Name
OSIDE KAMP

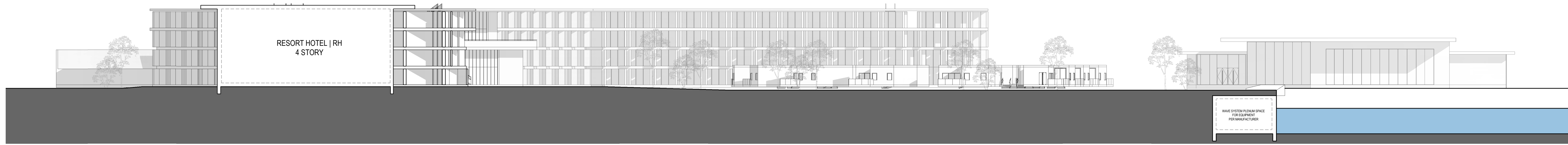
Project Number
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Description
FIRE ACCESS PLAN

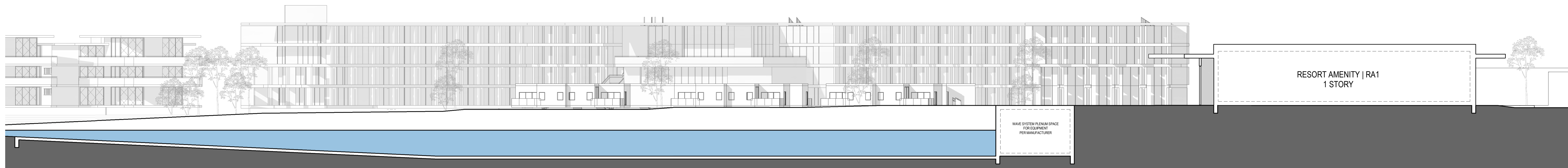
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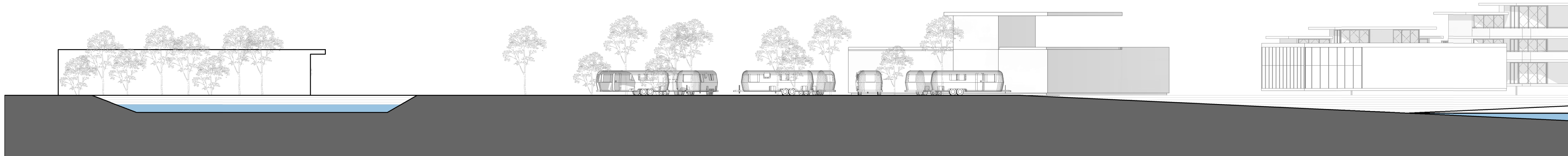
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01 SITE SECTION - NORTH TO SOUTH @ RESORT HOTEL
SCALE: 1" = 30'-0"



02 SITE SECTION - WEST TO EAST @ RESORT AMENITY
SCALE: 1" = 30'-0"



03 SITE SECTION - WEST TO EAST @ COMMERCIAL
SCALE: 1" = 30'-0"

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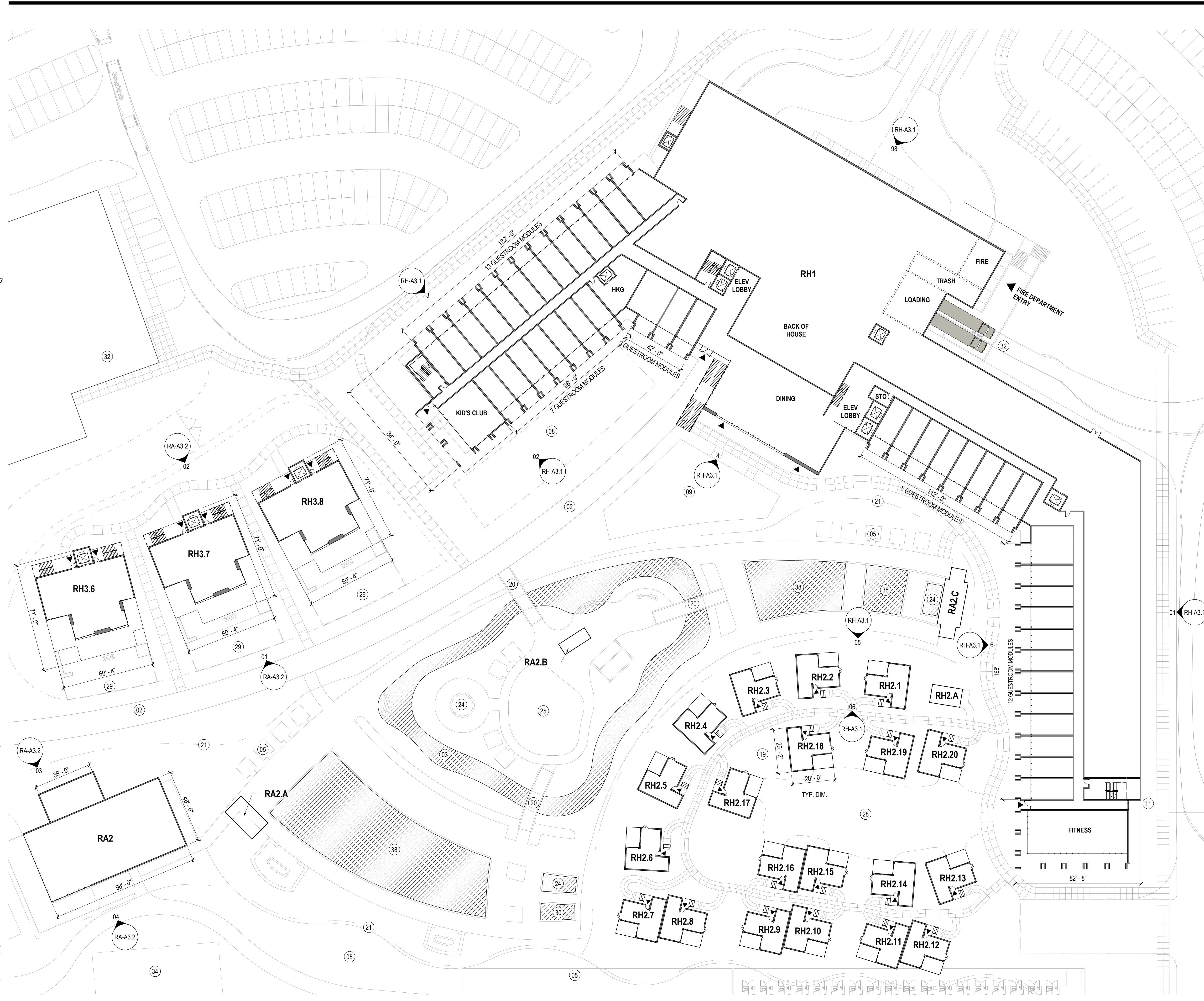
Project Number
055.7758.000

Description
SITE SECTIONS

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SHEET NOTES

- 01 SURF LAGOON
- 02 BOARDWALK
- 03 LAZY RIVER
- 04 FAMILY POOL
- 05 PRIVATE CABANA
- 07 CHILDRENS WATER FEATURE
- 08 ACTIVE LAWN
- 09 EVENT LAWN
- 11 10'-6" TALL MECHANICAL EQUIPMENT ENCLOSURE
- 19 20 TOTAL CASITAS (STAND ALONE HOTEL UNITS)
- 20 PEDESTRIAN BRIDGE
- 21 POOL FENCE
- 22 PEDESTRIAN CONNECTION TO RESIDENTIAL NEIGHBORHOOD
- 24 SPA
- 25 YOGA LAWN
- 28 CASITAS LAWN
- 29 PRIVATE LAWN
- 30 PLUNGE
- 32 LOADING
- 34 REMOVABLE BLEACHERS
- 38 POOL

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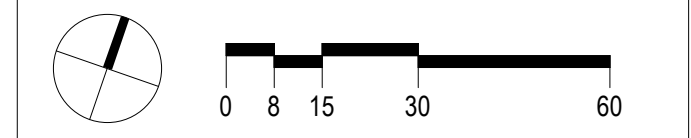
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LEGEND

- ROOF AREA
- POOL
- BUILDING ENTRANCE

Hotel	RH1	232
Casitas	RH2	20
Villas (UNIT count)	RH3	18
Airstreams	RH4	30
HOTEL KEYS		300



Seal / Signature

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Project Name
OSIDE KAMP

Project Number
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Description
RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 1

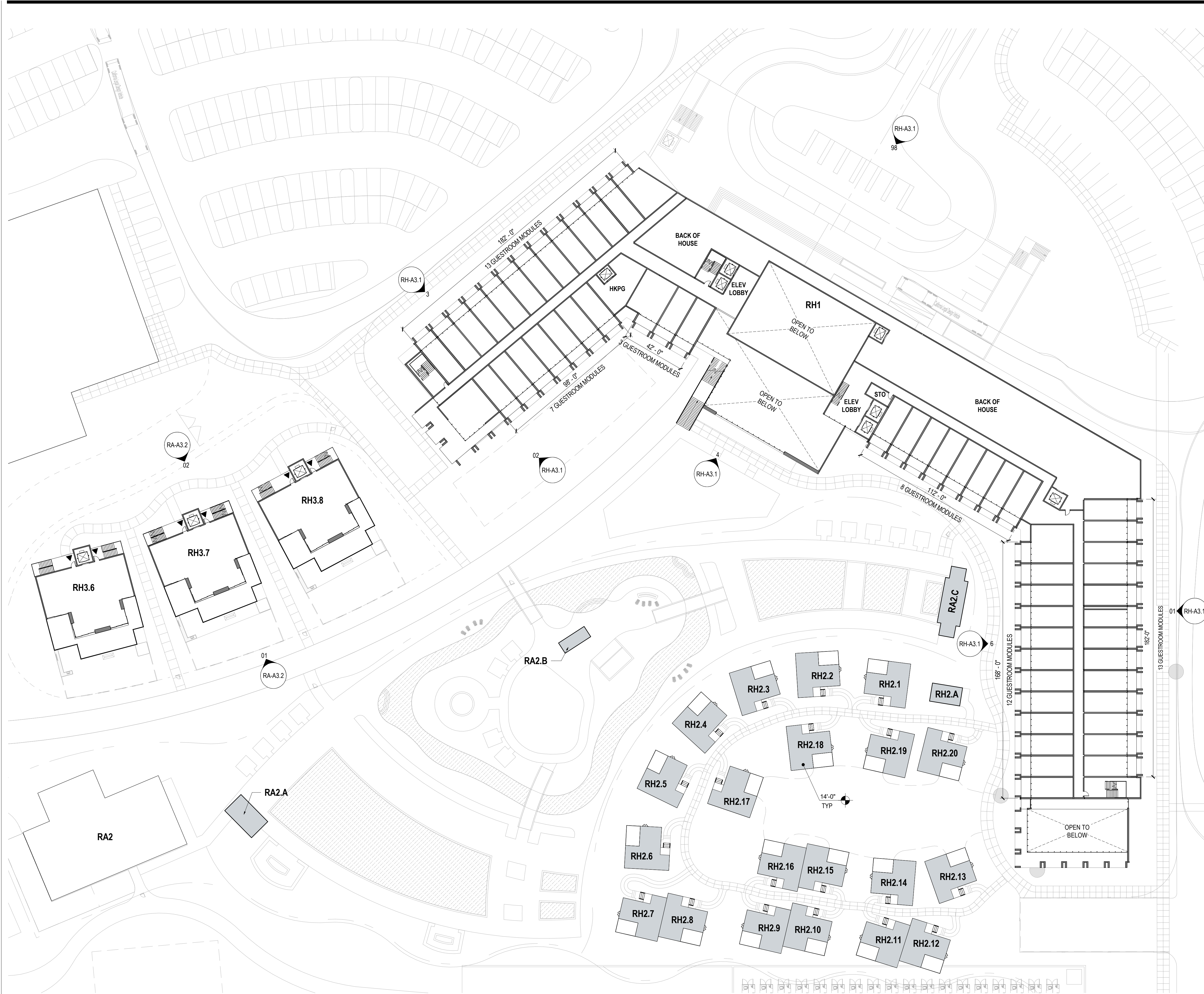
Scale
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RH-A2.1

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01 RESORT HOTEL ENLARGED PLAN - RH1 - LEVEL 1
SCALE: 1" = 30'-0"

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SHEET NOTES


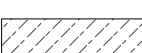

16 NO STAIR/ELEVATOR ACCESS AT LEVEL 02

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

LEGEND

-  ROOF AREA
-  POOL
-  BUILDING ENTRANCE

Seal / Signature

NOT FOR CONSTRUCTION

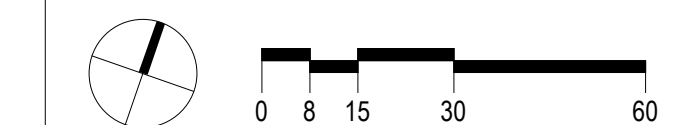
Project Name
OSIDE KAMP

Project Number
055.7758.000

Description
RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 2

Scale
As indicated

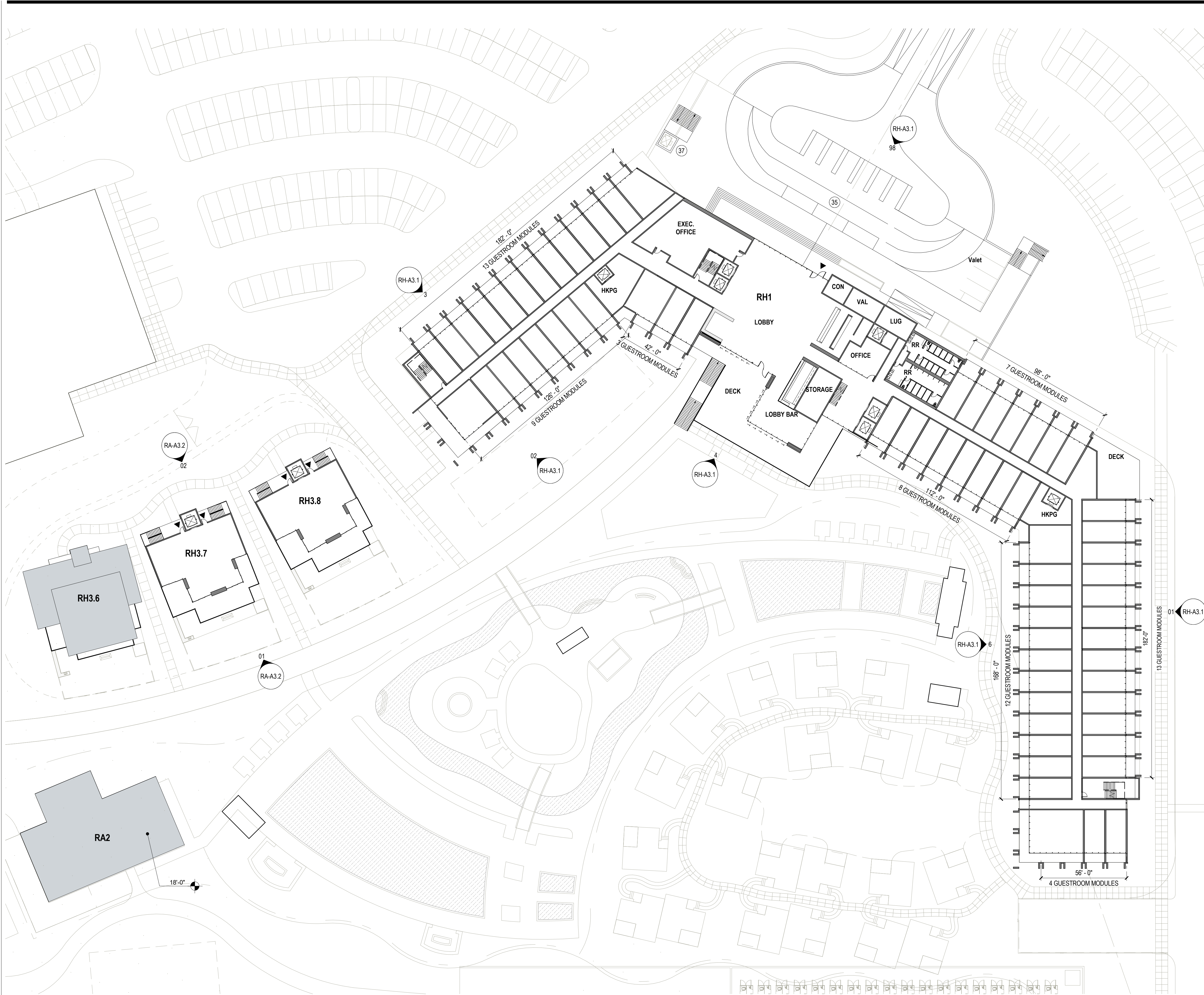
Hotel	RH1	232
Casitas	RH2	20
Villas (UNIT count)	RH3	18
Airstreams	RH4	30
HOTEL KEYS		300



02 (HOTEL) LEVEL 02
SCALE: 1" = 30'-0"

RH-A2.2

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SHEET NOTES

- 35 DROP-OFF
- 37 SHUTTLE ELEVATOR

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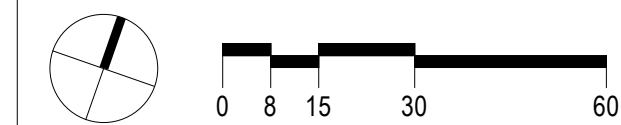
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LEGEND

- ROOF AREA
- POOL
- BUILDING ENTRANCE

Hotel	RH1	232
Casitas	RH2	20
Villas (UNIT count)	RH3	18
Airstreams	RH4	30
HOTEL KEYS		300



Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
OSIDE KAMP

Project Number
055.7758.000

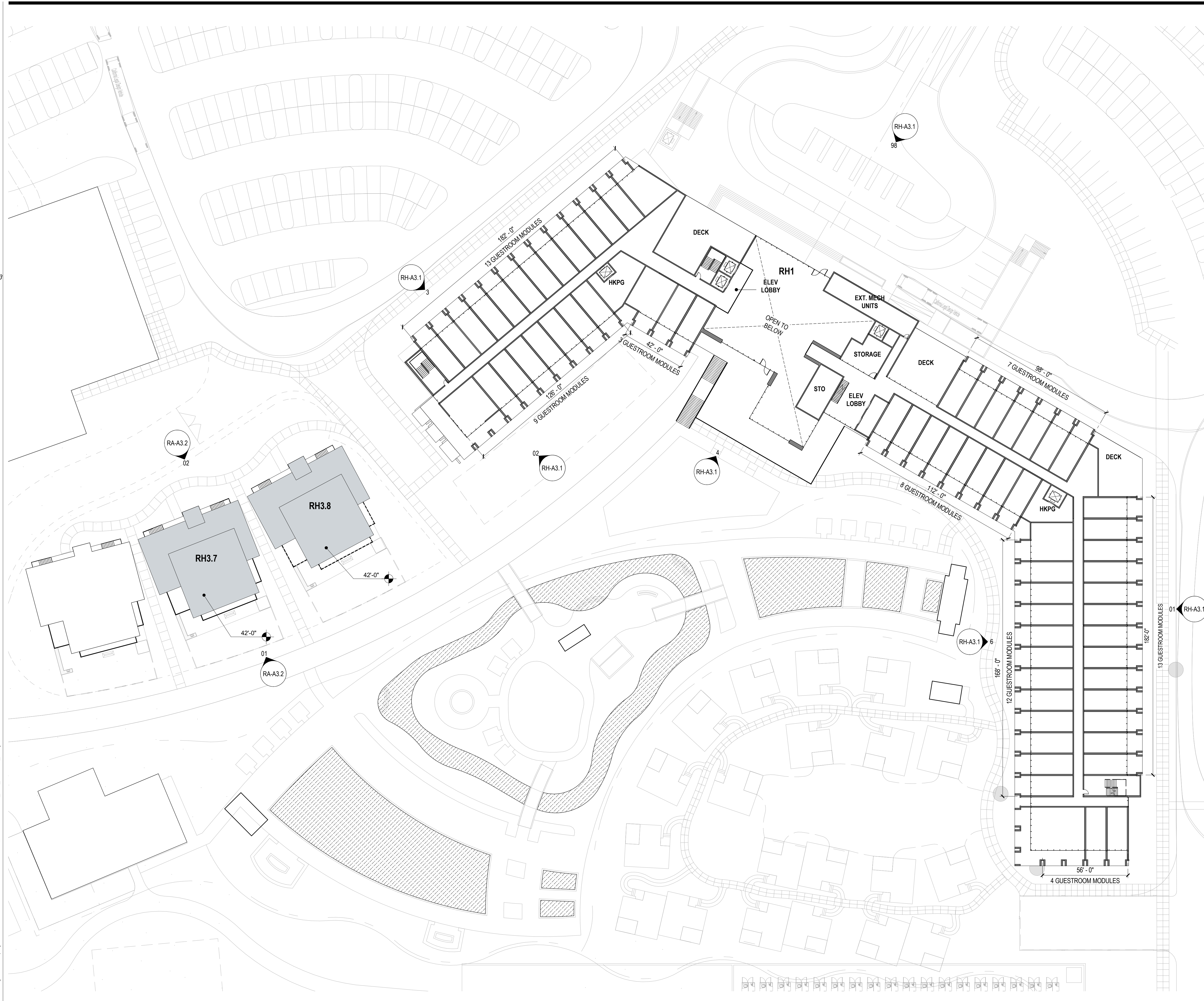
Description
**RESORT HOTEL ENLARGED FLOOR
PLAN, LEVEL 3**

Scale
As indicated

01 RESORT HOTEL ENLARGED PLAN LEVEL 3
SCALE: 1" = 30'-0"

RH-A2.3

12/19/2019 12:03:56 PM \\gensler-ar\projects\Revit\user\hodes\272655.7755.000_Dsue_CENTRAL_A20_Matthew_comp.rvt






SHEET NOTES

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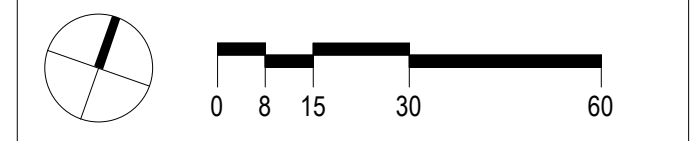
225 Broadway
Suite 1600
San Diego, CA 92101
United States
Tel 619.557.2500
Fax 619.557.2520

Date	Description
08.28.2019	MIXED USE PLAN
12.20.2019	MIXED USE PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

LEGEND

-  ROOF AREA
-  POOL
-  BUILDING ENTRANCE

Hotel	RH1	232
Casitas	RH2	20
Villas (UNIT count)	RH3	18
Airstreams	RH4	30
HOTEL KEYS		300



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Project Number
055.7758.000

Description
RESORT HOTEL ENLARGED FLOOR PLAN, LEVEL 4

Scale
As indicated

01 RESORT HOTEL ENLARGED PLAN LEVEL 4
SCALE: 1" = 30'-0"

RH-A2.4

SHEET NOTES




Gensler

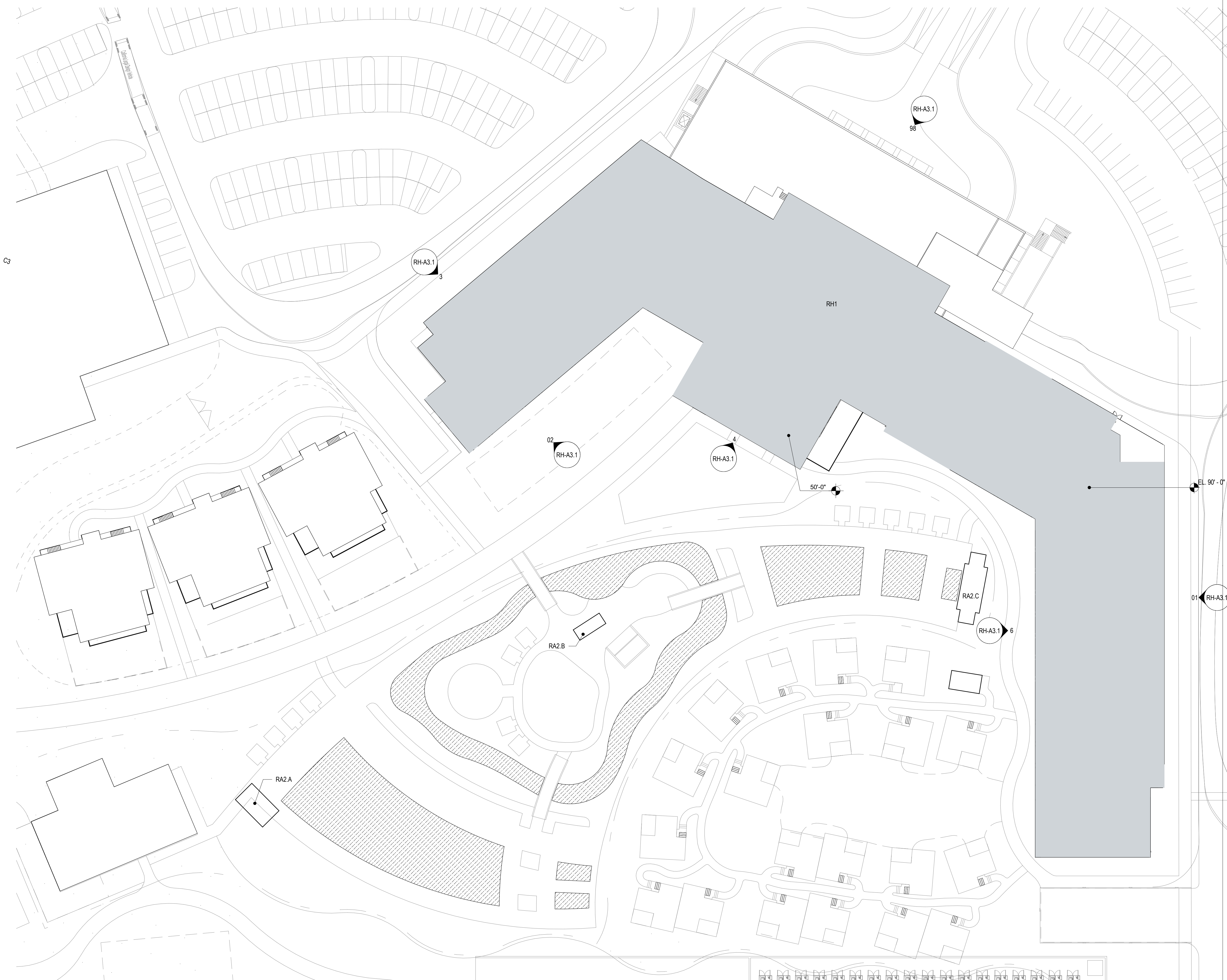
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LEGEND

*REFER TO MEP DRAWINGS FOR ROOF MOUNTED EQUIPMENT

-  ROOF AREA
-  POOL
-  BUILDING ENTRANCE



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Project Number
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Description
RESORT HOTEL ENLARGED ROOF PLAN

Scale
As indicated

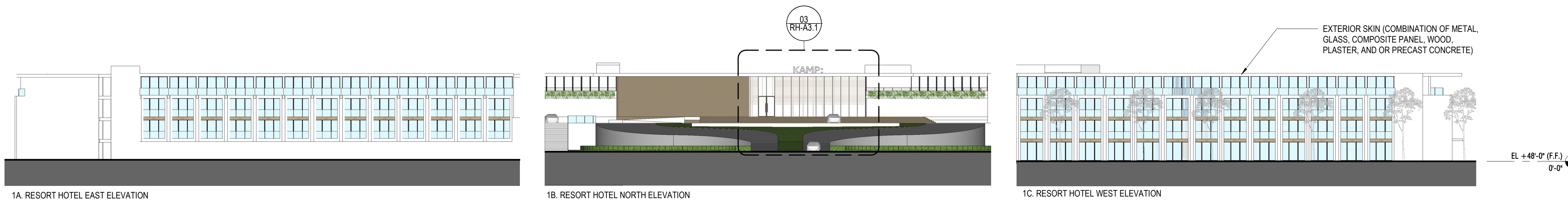
RH-A2.5

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01 RESORT HOTEL ENLARGED ROOF PLAN

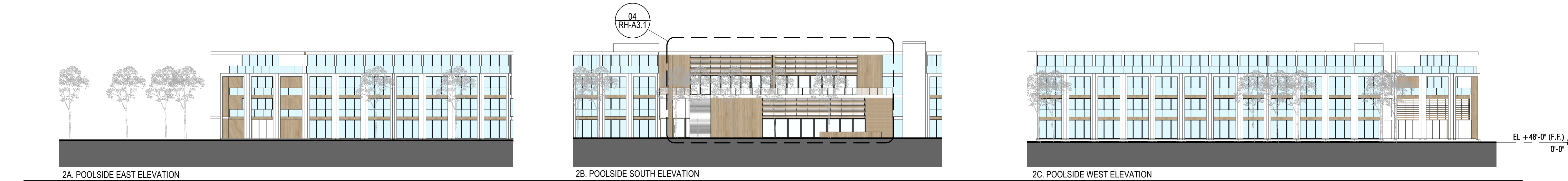
SCALE: 1" = 30'-0"

SHEET NOTES



01 RESORT HOTEL EXTERIOR ELEVATIONS

SCALE: 1" = 30'-0"



02 RESORT HOTEL POOLSIDE EXTERIOR ELEVATIONS

SCALE: 1" = 30'-0"



03 RESORT HOTEL ENLARGED EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

04 RESORT HOTEL ENLARGED POOLSIDE EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



05 RH2.0 SERIES TYP. ELEVATION NORTH

SCALE: 1/8" = 1'-0"

06 RH2.0 SERIES TYP. ELEVATION SOUTH

SCALE: 1/8" = 1'-0"

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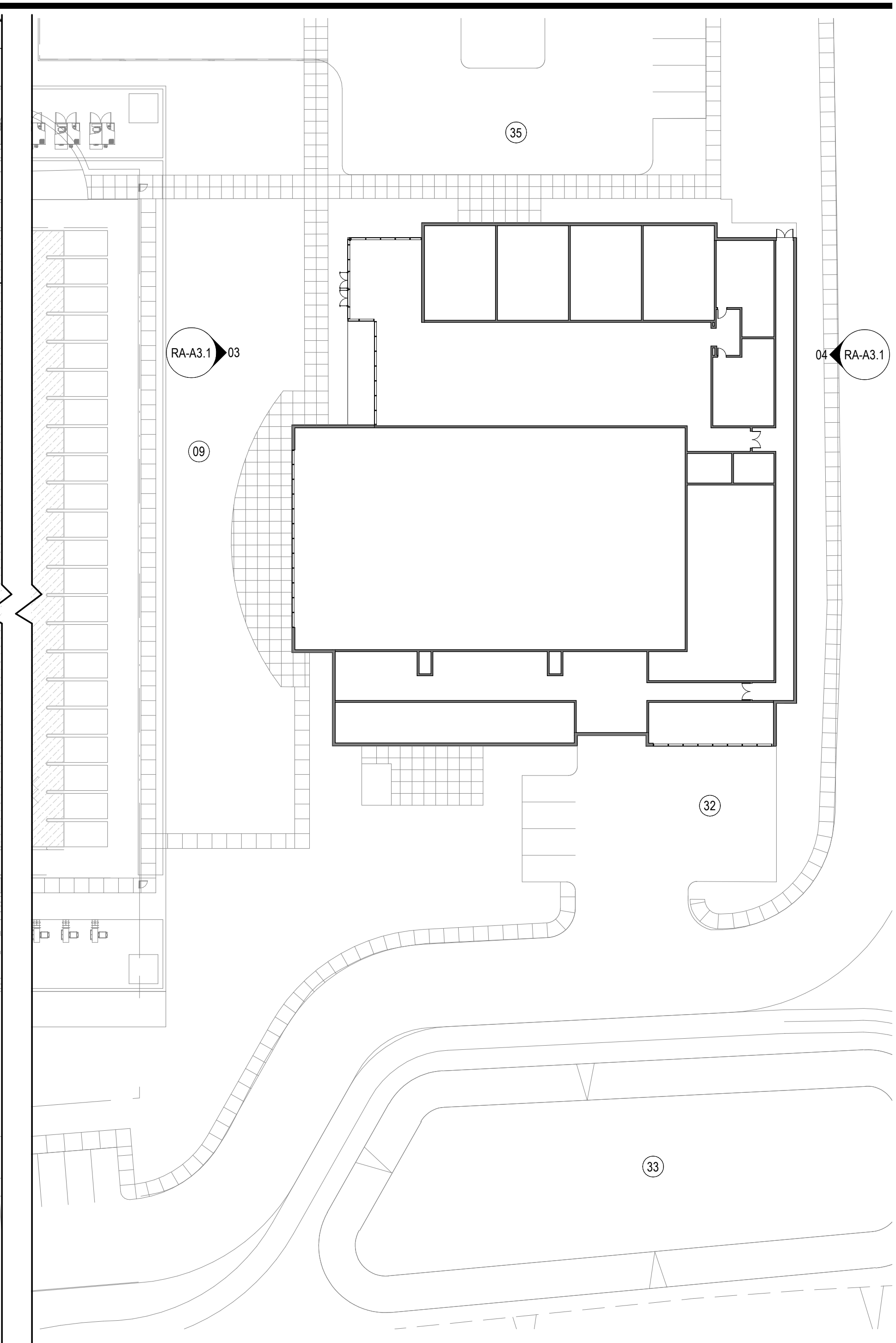
Project Name
OSIDE KAMP

Project Number
055.7758.000

Description
RESORT HOTEL EXTERIOR ELEVATIONS

Scale
As indicated

RH-A3.1



SHEET NOTES

- 01 SURF LAGOON
- 05 PRIVATE CABANA
- 09 EVENT LAWN
- 32 LOADING
- 33 BASIN
- 34 REMOVABLE BLEACHERS
- 35 DROP-OFF

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

LEGEND

- SDGE EASEMENT REF. C SHEETS
- POOL, LAZY RIVER, WAVE LAGOON
- PROPERTY LINE
- MOBILITY HUB
- ACCESS POINT TO PUBLIC RIGHT OF WAY
- ACCESSIBLE PATH OF TRAVEL
- ACCESS POINT TO PUBLIC RIGHT OF WAY
- LOADING BERTH
- REFUSE AREA
- ROOF AREA
- POOL
- BUILDING ENTRANCE

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
OSIDE KAMP

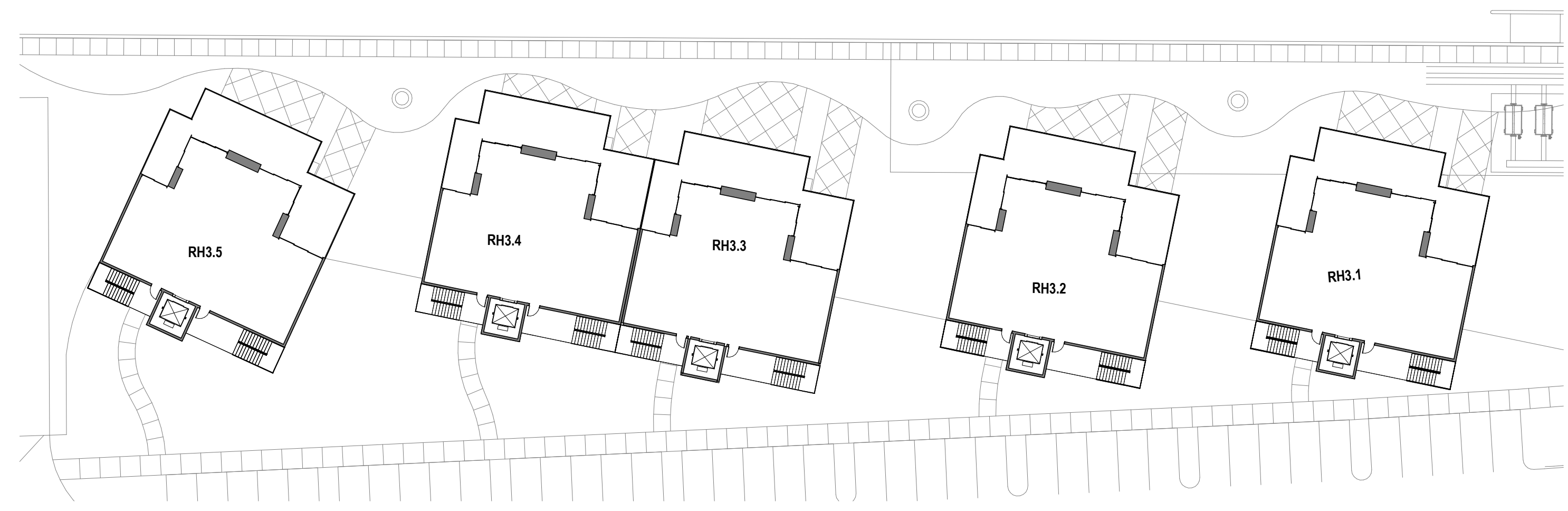
Project Number
055.7758.000

Description
RESORT AMENITY ENLARGED FLOOR PLAN

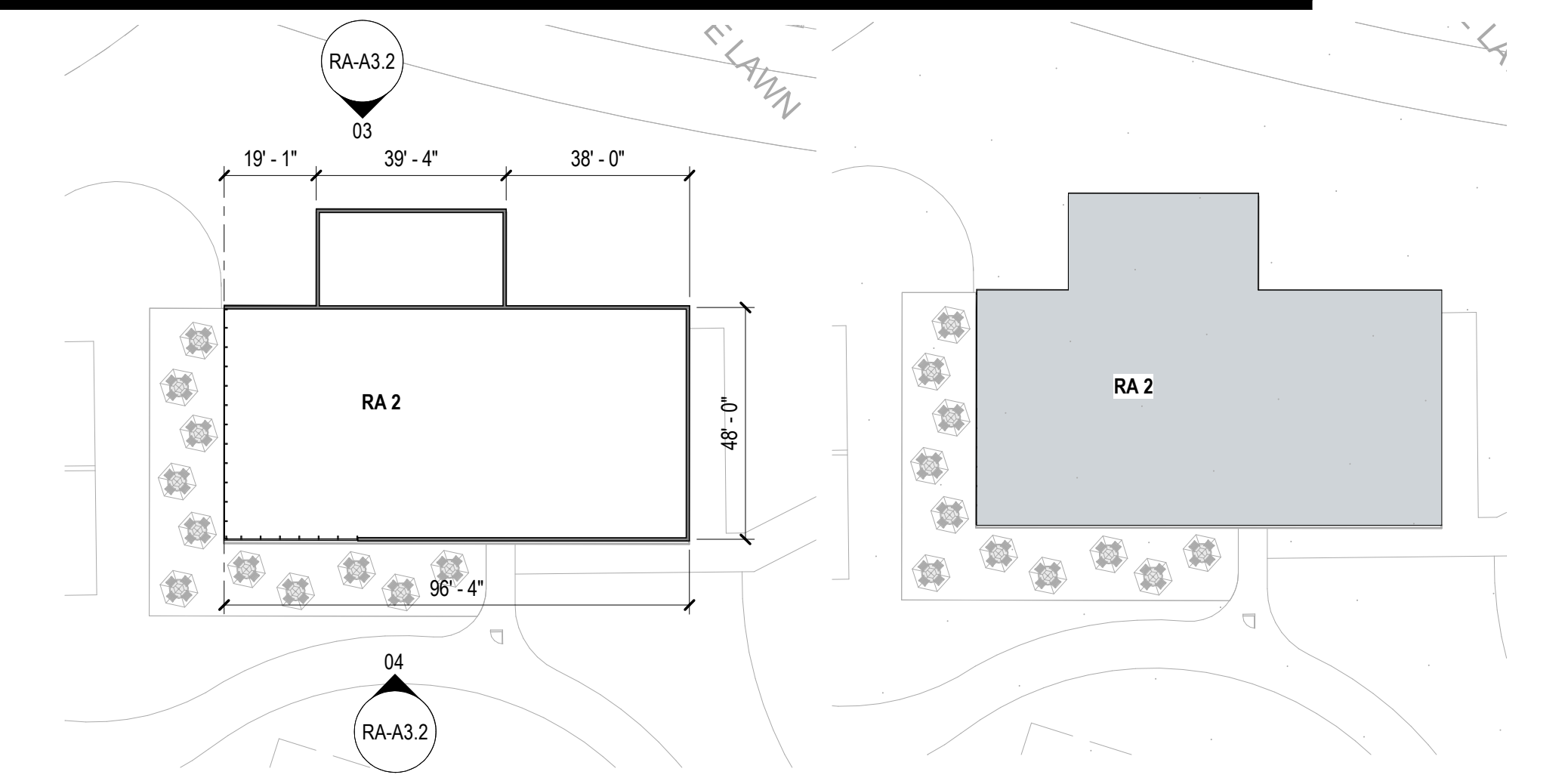
Scale
As indicated

RA-A2.1

01 RESORT AMENITY ENLARGED PLAN - LEVEL 1 - RA1, RH3.1, RH3.2, RH3.3, RH3.4, RH3.5
SCALE: 1" = 30'-0"



02 RESORT AMENITY ENLARGED PLAN - LEVEL 2 - RA1, RH3.1, RH3.2, RH3.3, RH3.4, RH3.5
SCALE: 1" = 30'-0"

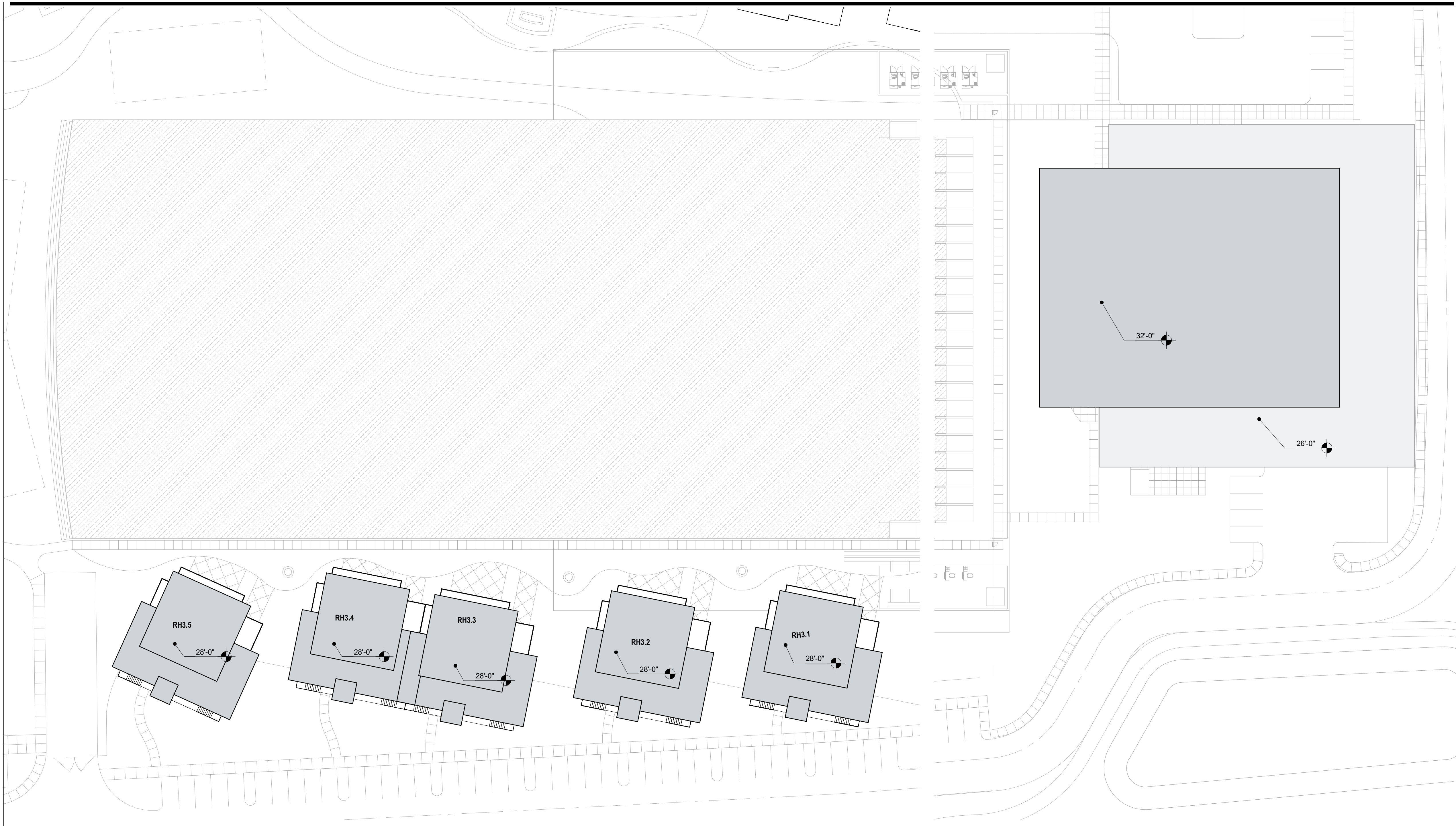


03 RESORT AMENITY ENLARGED PLAN - LEVEL 1 - RA2
SCALE: 1" = 30'-0"

04 RESORT AMENITY ENLARGED PLAN - ROOF PLAN - RA2
SCALE: 1" = 30'-0"

12/19/2019 11:15:00 AM I:\gensler\ad\projects\Revit\sheetnotes\202655.7758.000_Oside CENTRAL_A20_Matthew_comp.rvt

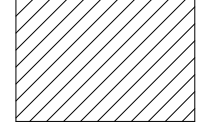
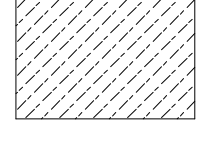







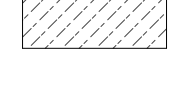

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01 RESORT AMENITY ENLARGED ROOF PLAN - LEVEL 1 - RA1, RH3.1, RH3.2, RH3.3, RH3.4, RH3.5
SCALE: 1" = 30'-0"

SHEET NOTES

LEGEND

- *REFER TO MEP DRAWINGS FOR ROOF MOUNTED EQUIPMENT
-  SDGE EASEMENT REF. C SHEETS
-  POOL, LAZY RIVER, WAVE LAGOON
- PROPERTY LINE
-  MOBILITY HUB
-  ACCESS POINT TO PUBLIC RIGHT OF WAY
-  ACCESSIBLE PATH OF TRAVEL
-  ACCESS POINT TO PUBLIC RIGHT OF WAY
-  LOADING BERTH
-  REFUSE AREA
-  ROOF AREA
-  POOL
-  BUILDING ENTRANCE



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Project Number
055.7758.000

Description
RESORT AMENITY ENLARGED ROOF PLAN

Scale
As indicated

RA-A2.2

SHEET NOTES

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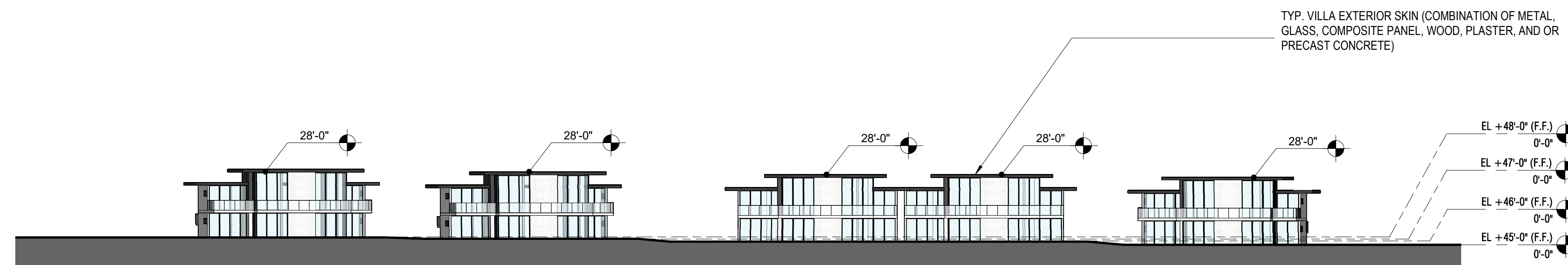
Project Name
OSIDE KAMP

Project Number
055.7758.000

Description
RESORT AMENITY EXTERIOR
ELEVATIONS

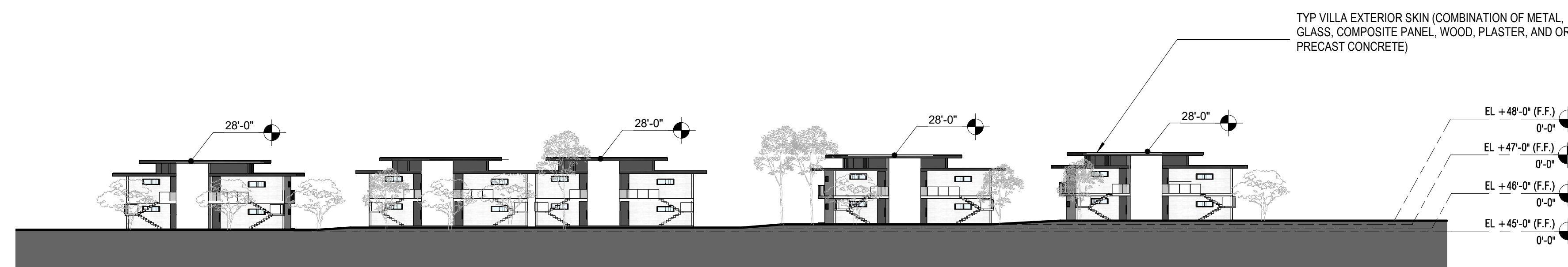
Scale
As indicated

RA-A3.1



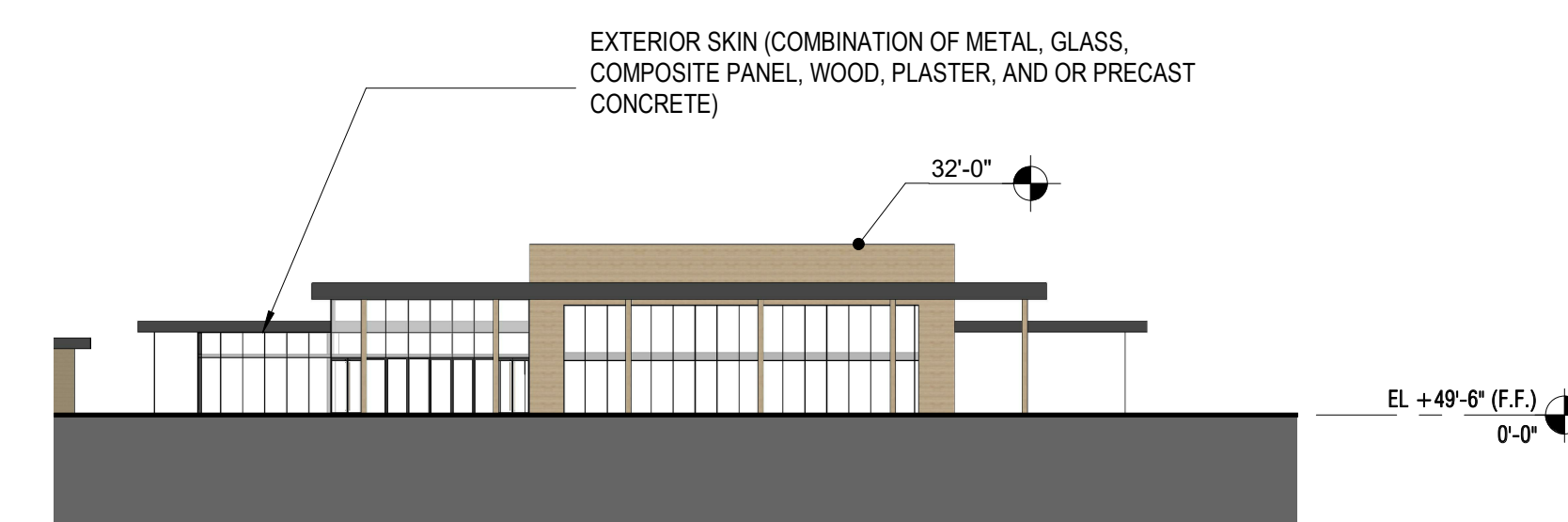
01 RESORT AMENITY EXTERIOR ELEVATIONS - RH3.1, RH3.2, RH3.3, RH3.4, RH3.5 - LUXURY VILLAS SOUTH

SCALE: 1" = 30'-0"



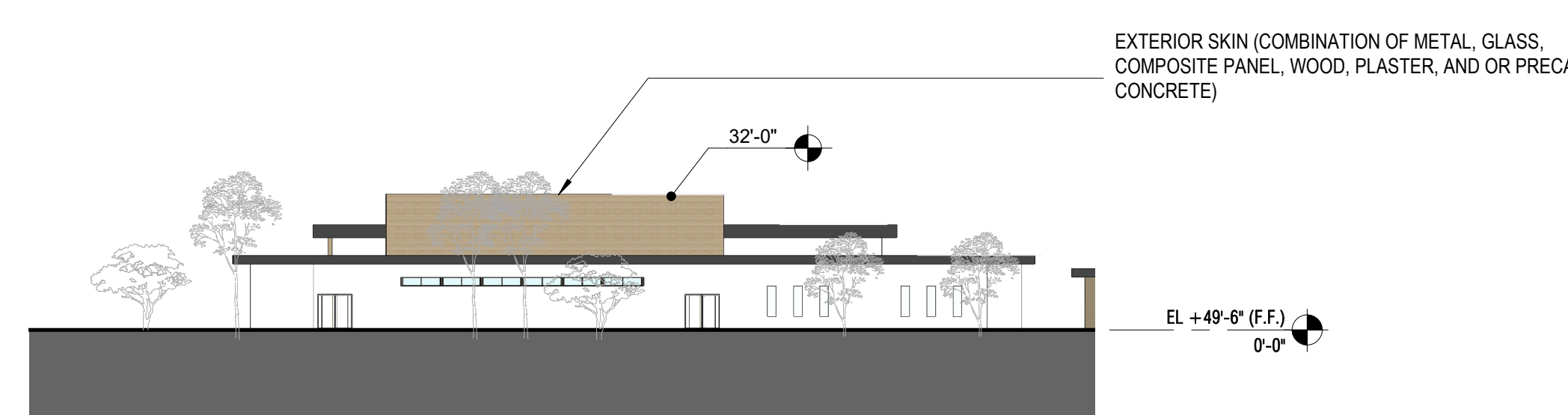
02 RESORT AMENITY EXTERIOR ELEVATIONS - RH3.1, RH3.2, RH3.3, RH3.4, RH3.5 - LUXURY VILLAS NORTH

SCALE: 1" = 30'-0"



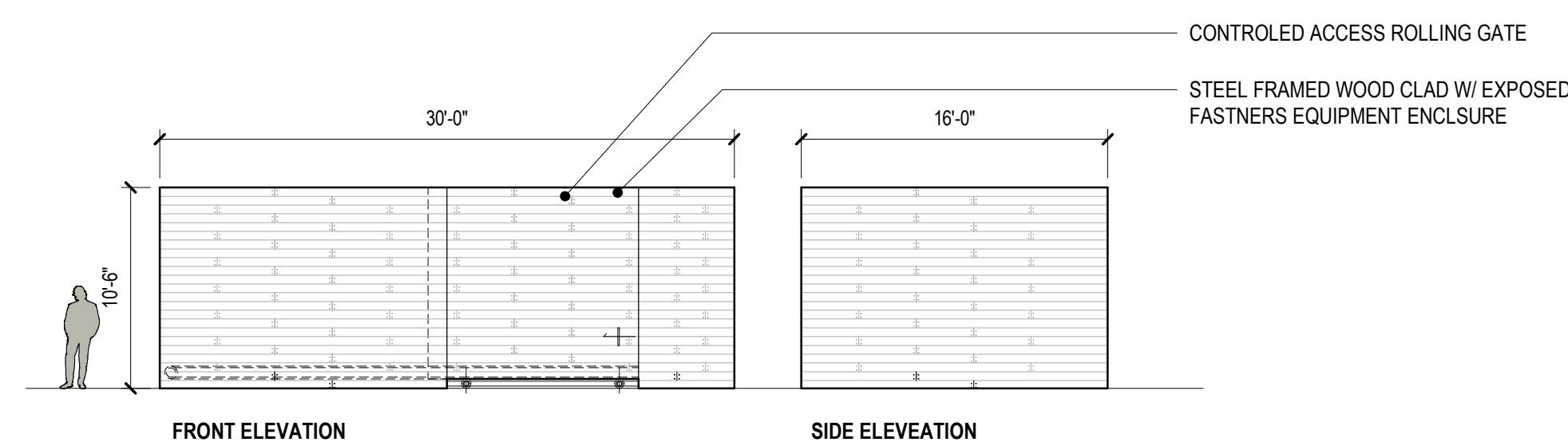
03 RESORT AMENITY EXTERIOR ELEVATIONS - RA1 WEST

SCALE: 1" = 30'-0"



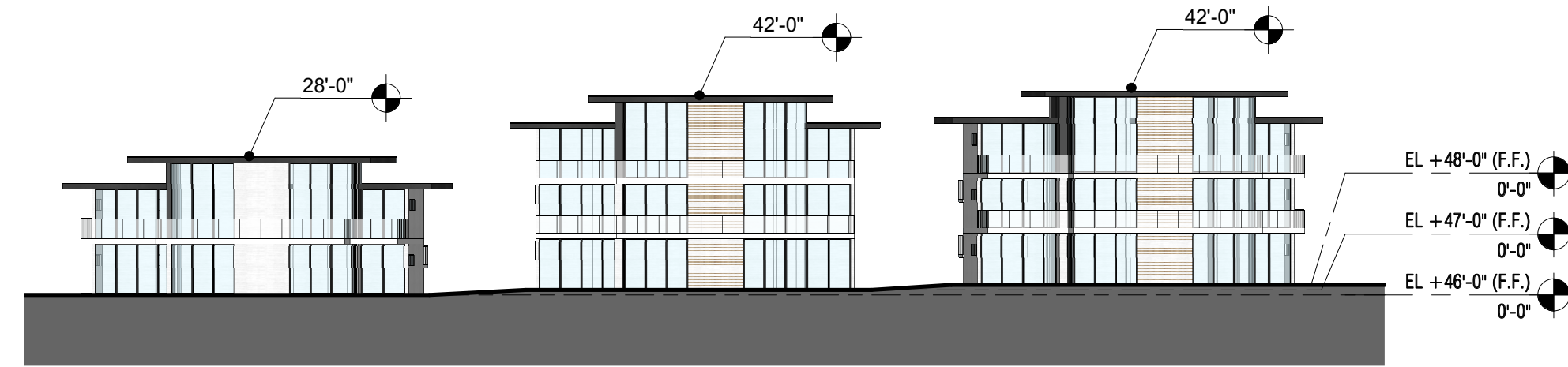
04 RESORT AMENITY EXTERIOR ELEVATIONS - RA1

SCALE: 1" = 30'-0"

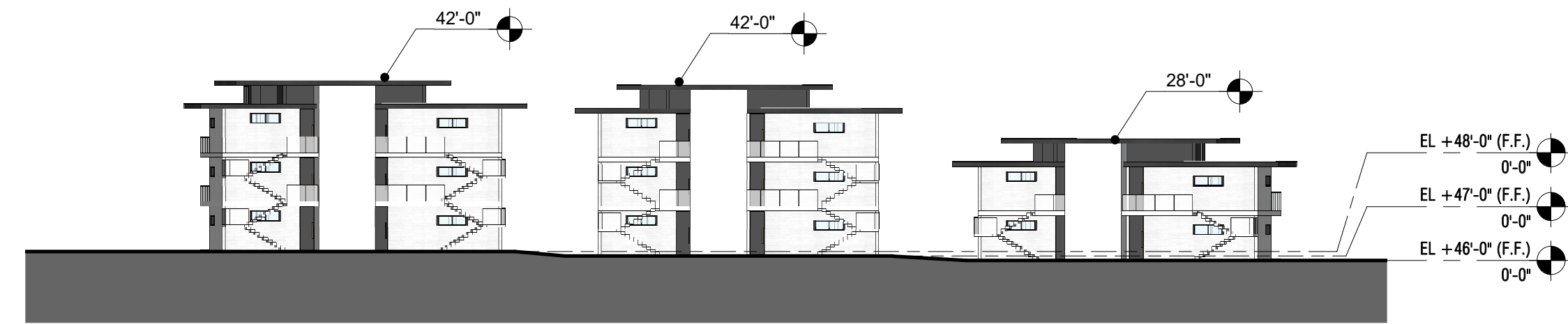


5 TYP. EQUIPMENT ENCLOSURE ELEVATIONS

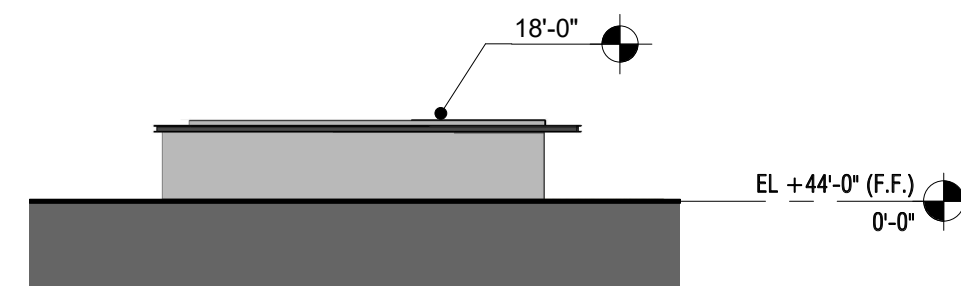
SCALE: 1/8" = 1'-0"



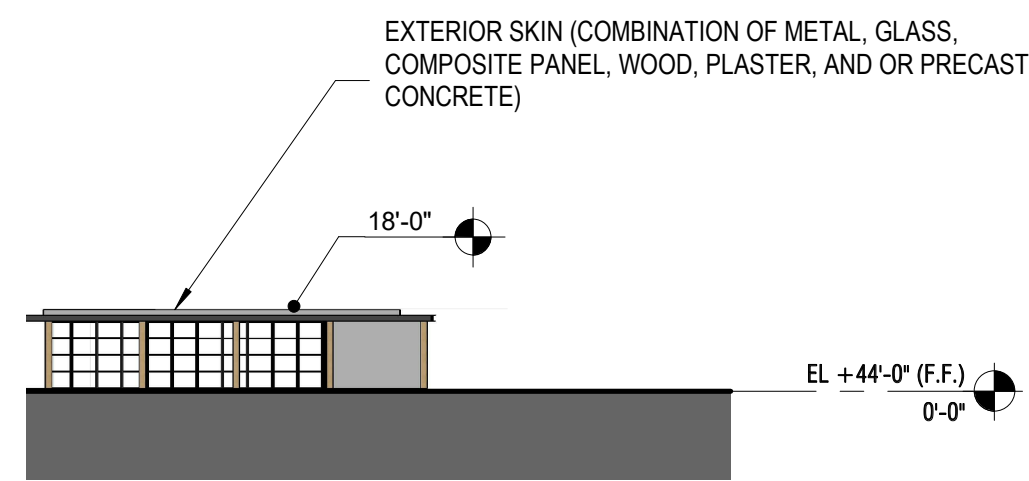
01 RESORT AMENITY EXTERIOR ELEVATIONS - RH3.6, RH3.7, RH3.8 - LUXURY VILLAS SOUTH
SCALE: 1" = 30'-0"



02 RESORT AMENITY EXTERIOR ELEVATIONS - RH3.6, RH3.7, RH3.8 - LUXURY VILLAS NORTH
SCALE: 1" = 30'-0"



03 RESORT AMENITY EXTERIOR ELEVATIONS - RA2 WEST
SCALE: 1" = 30'-0"



04 RESORT AMENITY EXTERIOR ELEVATIONS - RA2 SOUTH
SCALE: 1" = 30'-0"

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

OSIDE KAMP

Project Number

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Description

RESORT AMENITY EXTERIOR
ELEVATIONS

Scale

1" = 30'-0"

RA-A3.2

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1 CONSTRUCTION PLAN - ROOF - COMMERCIAL
 SCALE: 1" = 30'-0"

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**NOT FOR
 CONSTRUCTION**

Project Name

Zephyr Partners Oceanside
 KAMP

Project Number

05.2653.000

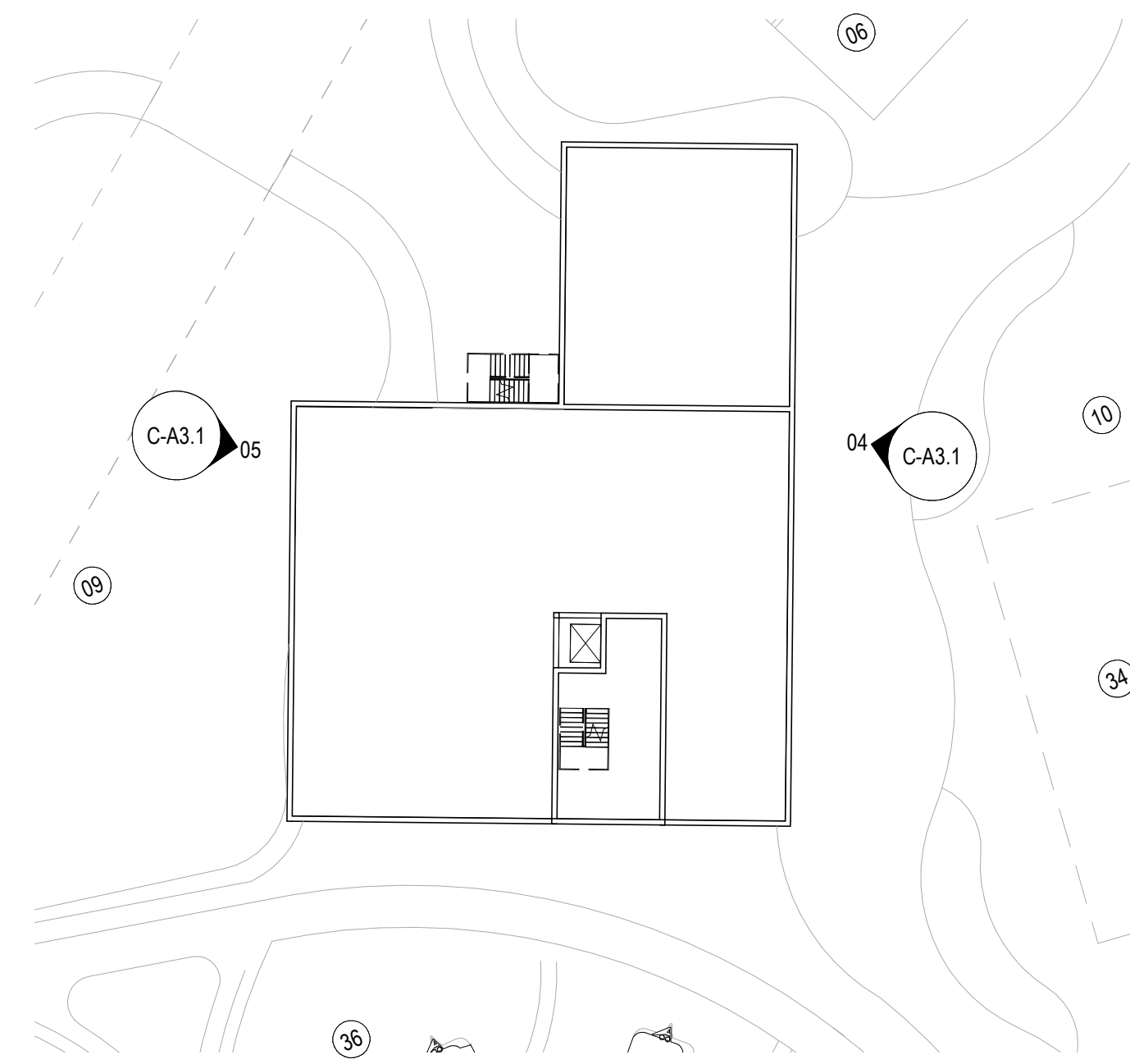
Description

COMMERCIAL ENLARGED ROOF
 PLAN

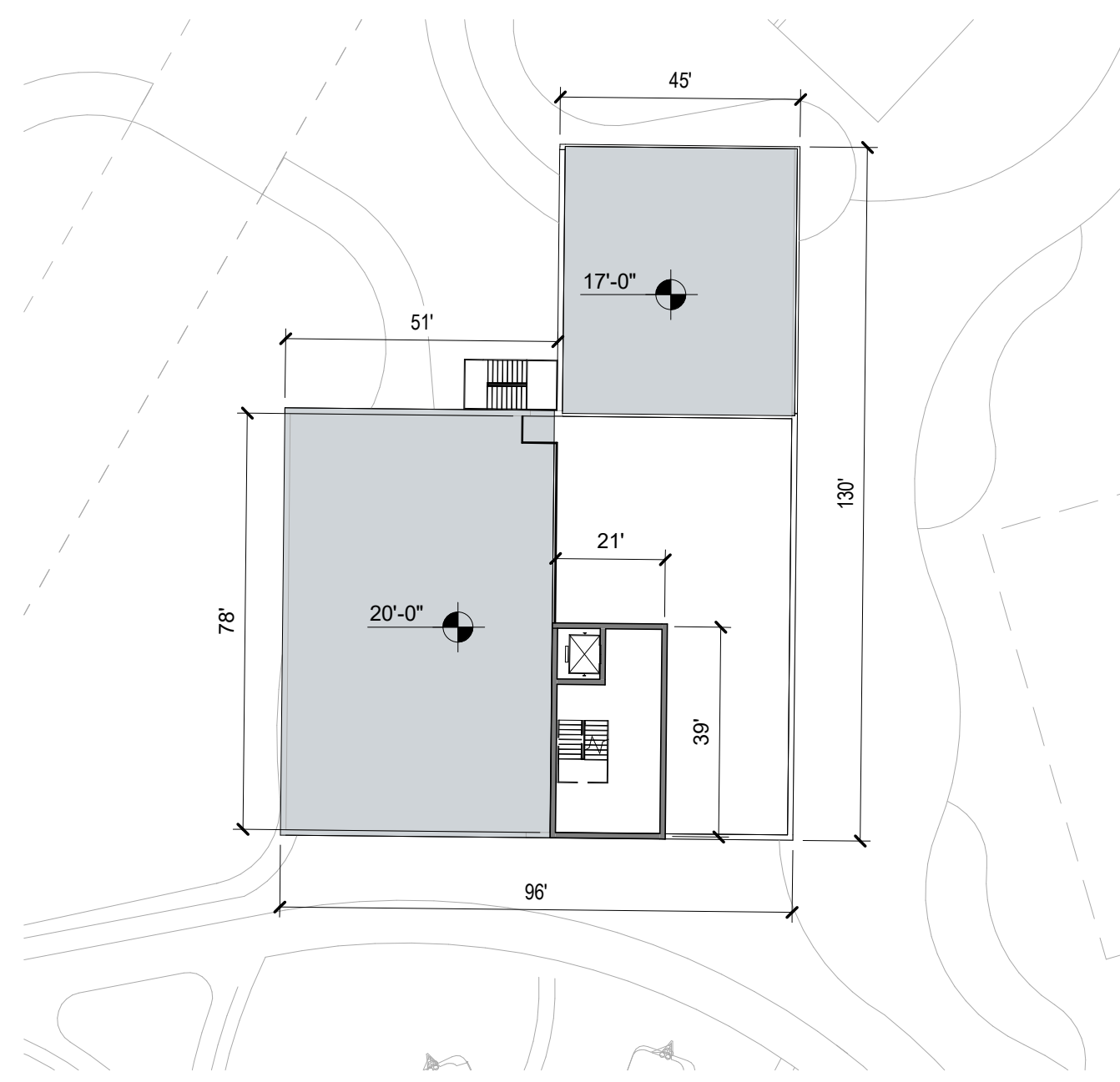
Scale

1" = 30'-0"

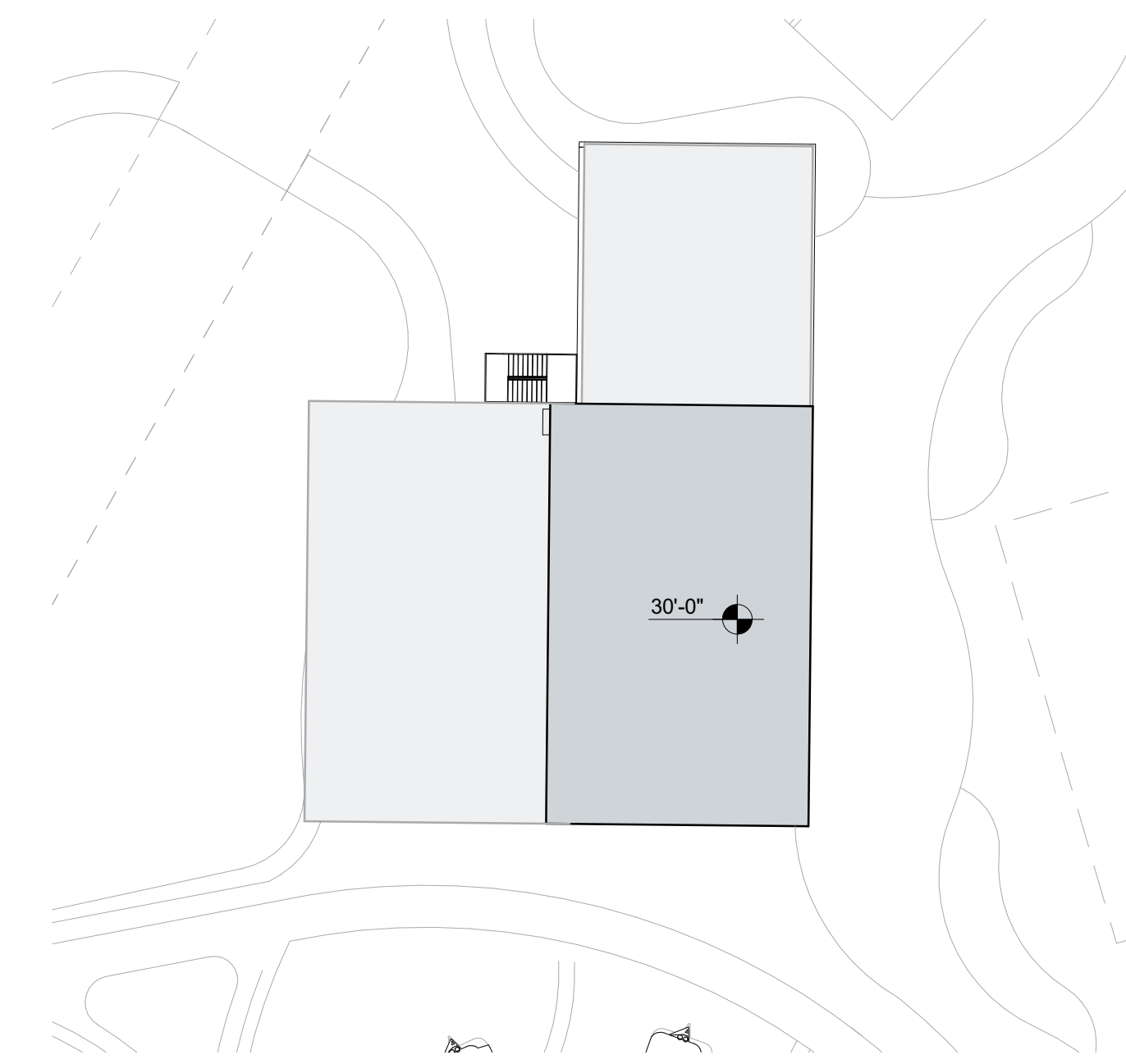
C-A3.0



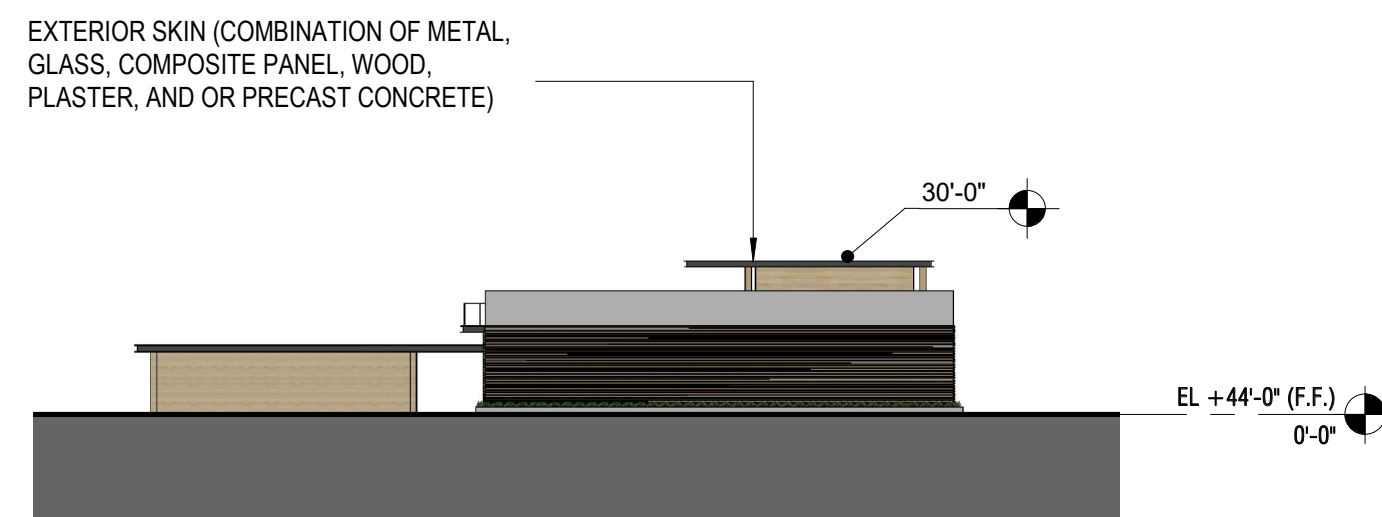
01 ENLARGED PLAN LEVEL 1 - C11
SCALE: 1" = 30'-0"



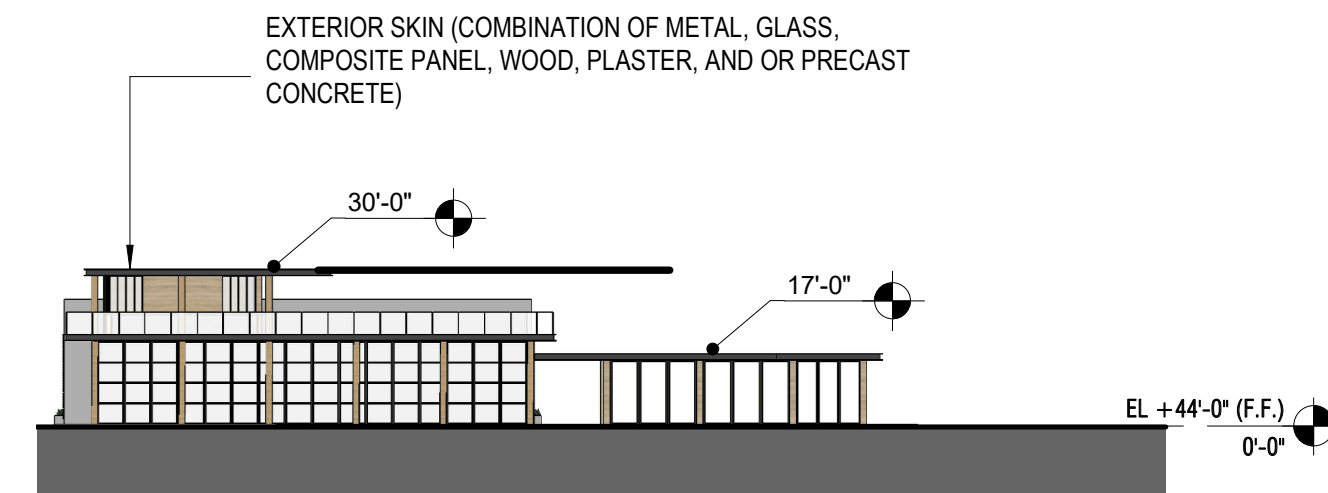
02 ENLARGED PLAN LEVEL 2 - C11
SCALE: 1" = 30'-0"



03 RESORT AMENITY ROOF PLAN - C11
SCALE: 1" = 30'-0"



04 RESORT AMENITY EXTERIOR ELEVATIONS - C11 WEST
SCALE: 1" = 30'-0"



05 RESORT AMENITY EXTERIOR ELEVATIONS - C11 NORTH WEST
SCALE: 1" = 30'-0"

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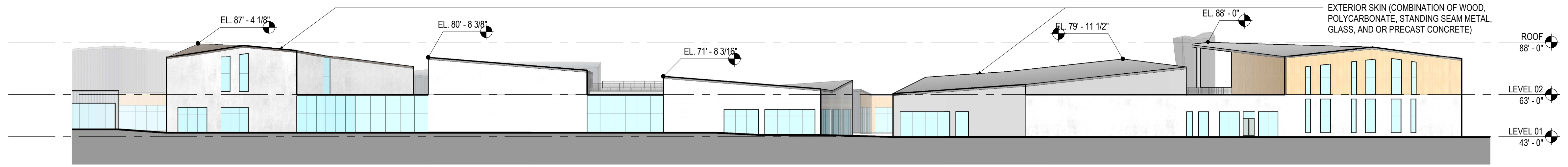
Project Name
OSIDE KAMP

Project Number
055.7758.000

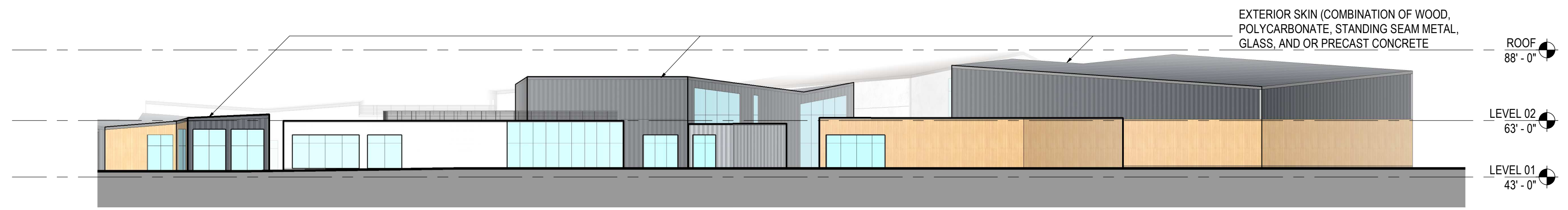
Description
COMMERCIAL ENLARGED FLOOR PLAN & ELEVATIONS

Scale
1" = 30'-0"

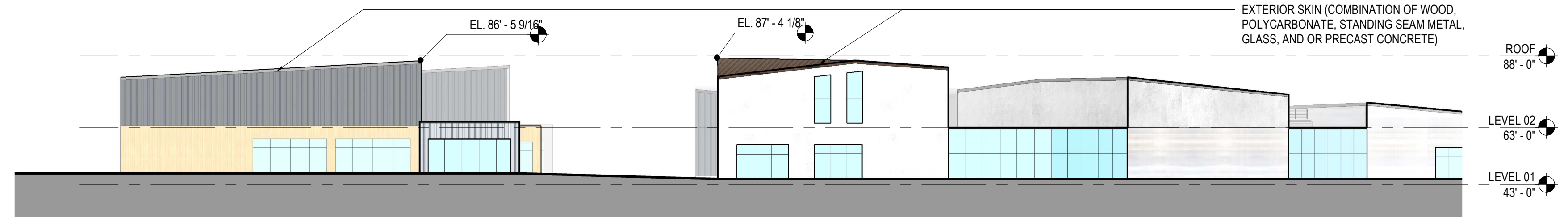
C-A3.1



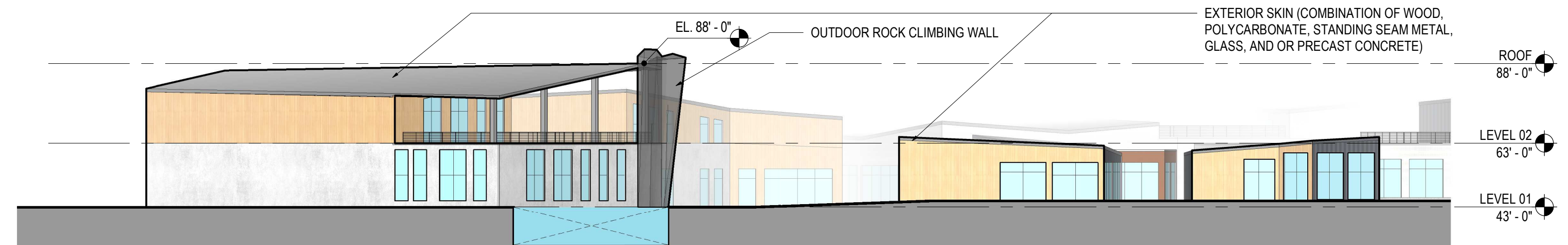
01 OVERALL ELEVATION - WEST
SCALE: 1" = 30'-0"



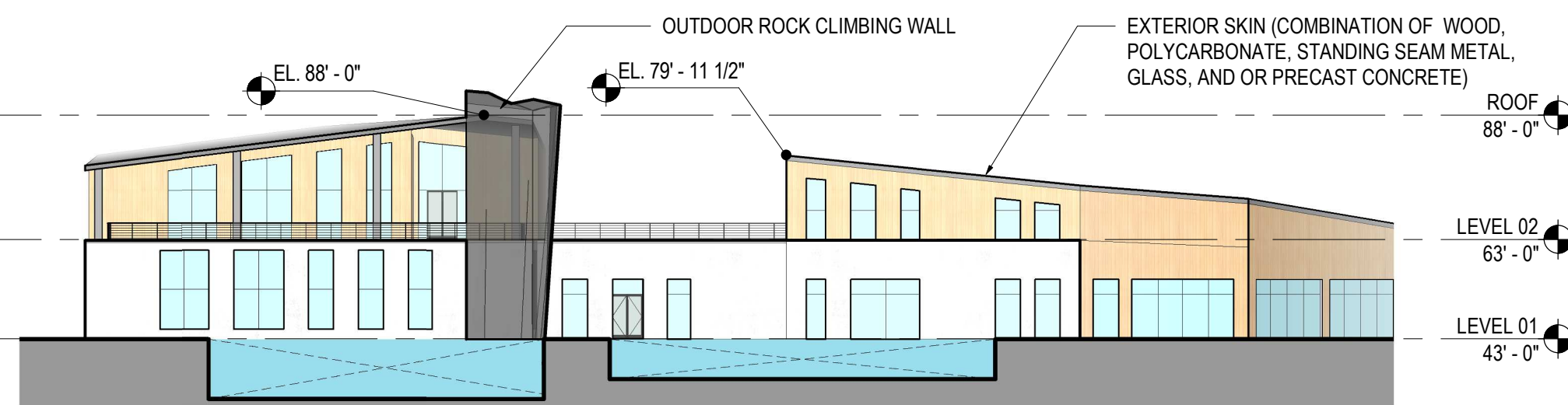
02 OVERALL ELEVATION - EAST
SCALE: 1" = 30'-0"



03 OVERALL ELEVATION - NORTH WEST
SCALE: 1" = 30'-0"



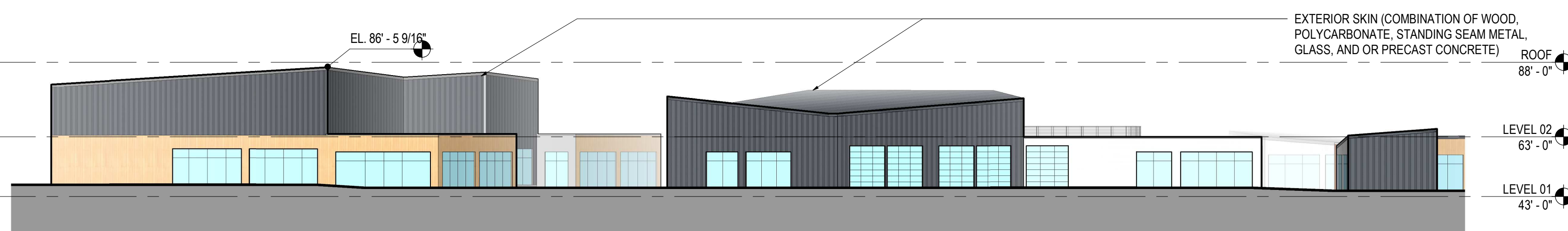
04 OVERALL ELEVATION - SOUTH EAST
SCALE: 1" = 30'-0"



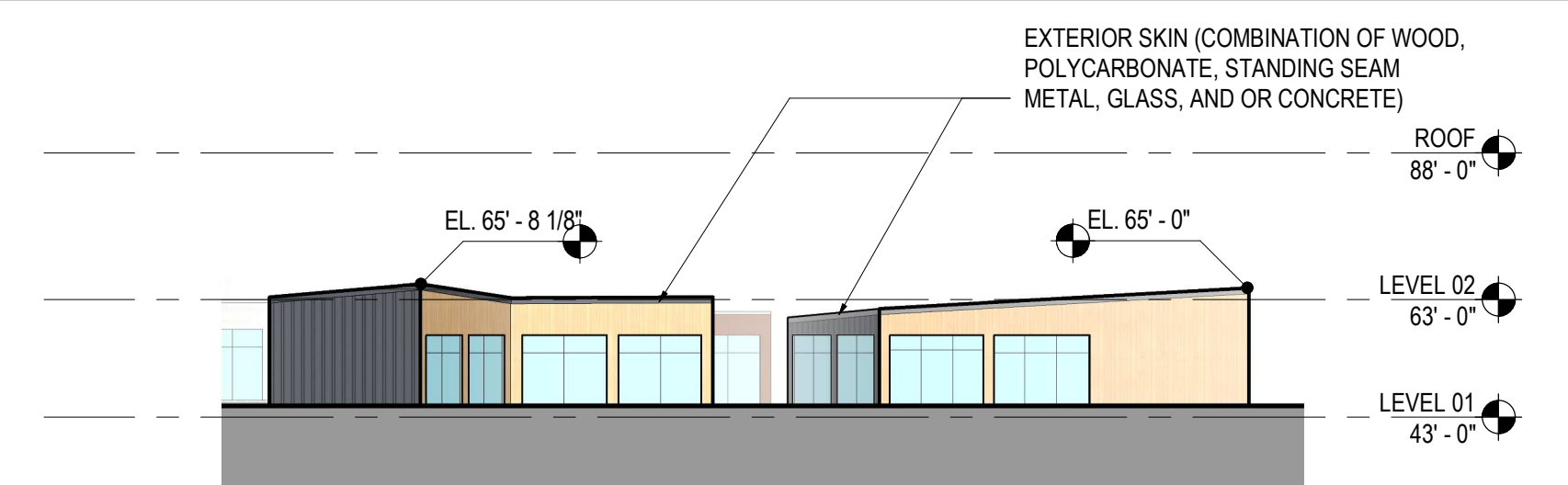
05 INTERNAL STREET ELEVATION - WEST - SOUTH SEGMENT
SCALE: 1" = 30'-0"



06 INTERNAL STREET ELEVATION - WEST - NORTH SEGMENT
SCALE: 1" = 30'-0"



07 INTERNAL STREET ELEVATION - EAST - NORTH SEGMENT
SCALE: 1" = 30'-0"



08 INTERNAL STREET ELEVATION - EAST - SOUTH SEGMENT
SCALE: 1" = 30'-0"

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

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Project Name
Zephyr Partners Oceanside KAMP

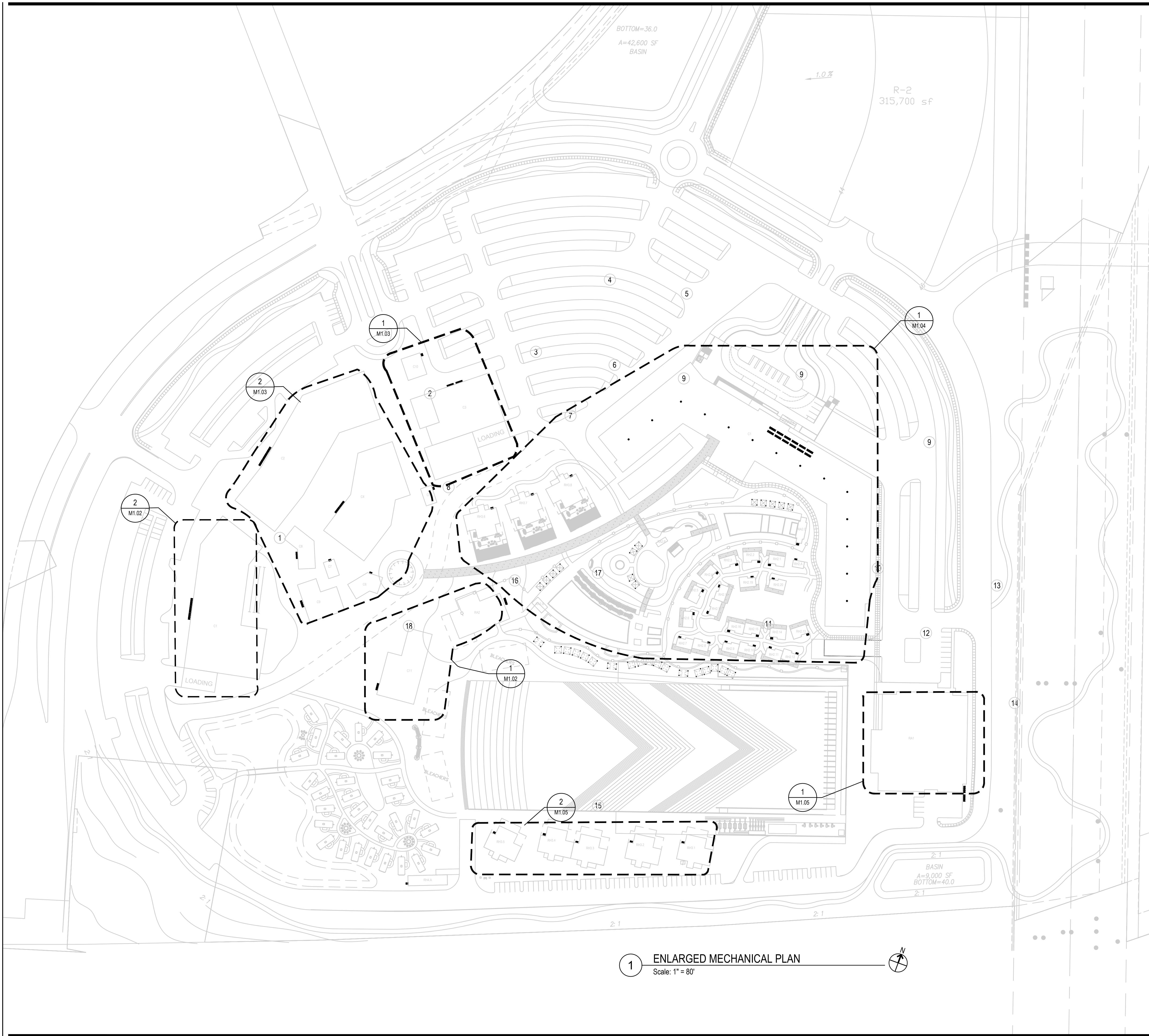
Project Number
05.2653.000

Description
COMMERCIAL EXTERIOR ELEVATIONS

Scale
1" = 30'-0"

C-A4.0

Plotted: 12/18/2019 12:54:12 PM P:\SD\MEP_WOSIDE\100\CAD\SHEETS\M1.01 MECHANICAL SITE PLAN.DWG - plegassic



1 ENLARGED MECHANICAL PLAN
Scale: 1" = 80'

BUILDING LIST

#	BUILDING NAME / TYPE
1	RT1 / FITNESS CENTER
2	RT2 / RETAIL
3	RT3 / RETAIL
4	RT4 / RETAIL
5	RT5 / OFFICE
6	RT6 / RETAIL
7	RT7 / RETAIL
8	RT8 / L01 RETAIL, L02 OFFICE
9	RH1 / RESORT HOTEL
10	RH2 / RESORT HOTEL - CASITAS
11	RH3 / RESORT HOTEL - VILLAS
12	RH4 / VILLAS CLUBHOUSE
13	RA1 / WELLNESS
14	RA2 / CONFERENCE
15	RA3 / CABANA CLUBHOUSE
16	RA4 / FOOD & BEVERAGE
17	RA5 / AUSSIE SURF CLUB
18	RA6 / FIELDHOUSE

SYMBOLS LIST

ANNOTATION	
1 VIEW TITLE SCALE: NTS	PLAN TITLE NO. - 1
2 DETAIL BOUNDARY (RECTANGLE) DETAIL NO. - 2	
1 SHEET KEYNOTE	
VRF #	EQUIPMENT TAG BUILDING NUMBER

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401 West A Street
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San Diego, CA 92101
Tel. 858.244.0360
www.syska.com

Date	Description
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04.29.2021	MIXED USE PLAN - RESUBMITTAL

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Project Name

OSIDE

Project Number

055.7758.000

Description

MECHANICAL SITE PLAN

Scale

AS NOTED

M1.01

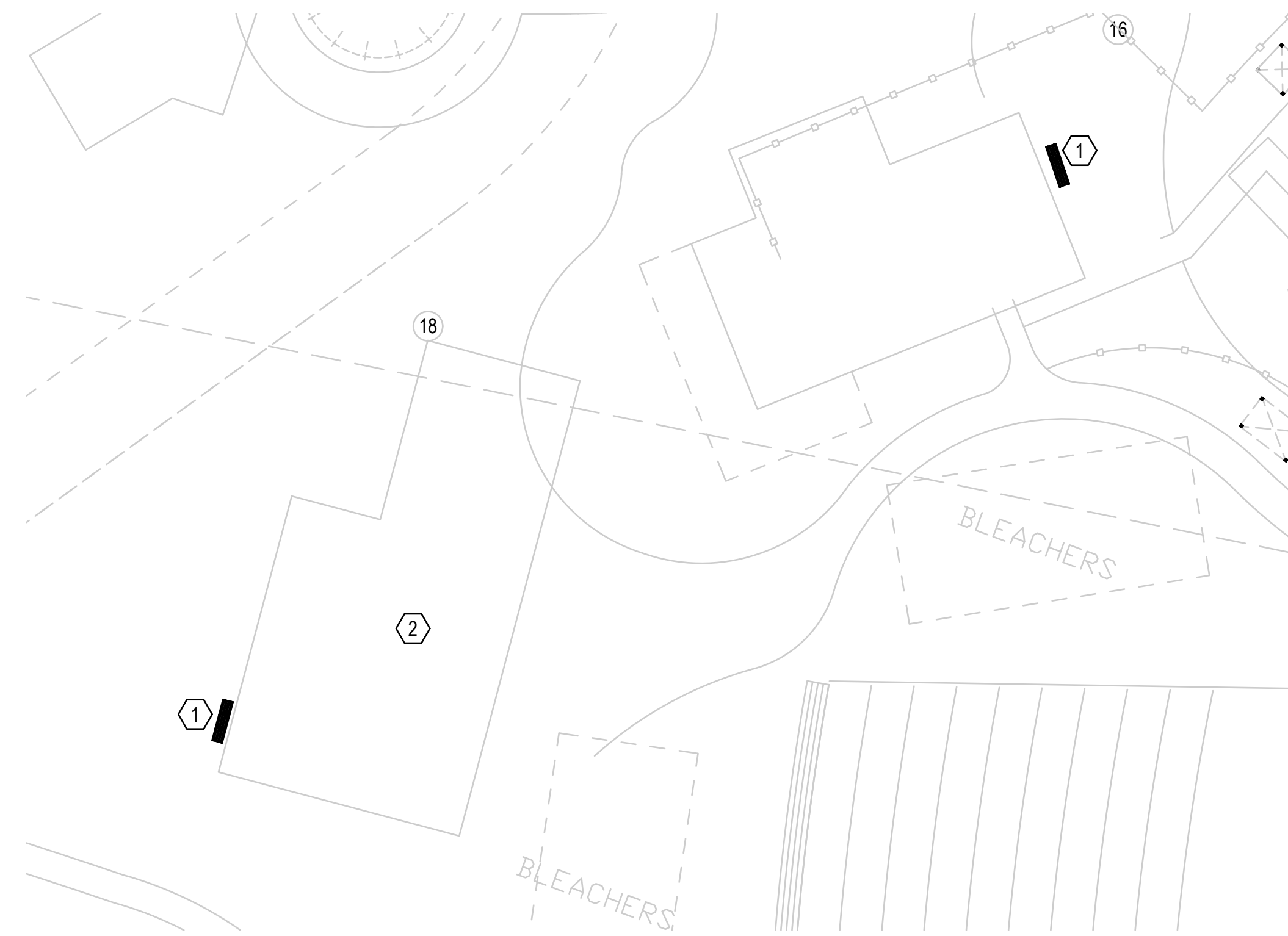
Plotted: 12/18/2019 12:54:27 PM P:\ISDOMEP_W\OSIDE\100\CAD\SHEETS\M1.02 ENLARGED MECHANICAL PLANS DWG - plegassic



KEYNOTES

① MULTI ZONE VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS. OUTDOOR AIR TO BE DUCTED TO INDOOR UNITS FROM EXTERIOR WALLS.

① ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'



KEYNOTES

① MULTI ZONE VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS. OUTDOOR AIR TO BE DUCTED TO INDOOR UNITS FROM EXTERIOR WALLS.
② EXHAUST FAN (EF) FOR KITCHEN EXHAUST.

① ENLARGED MECHANICAL PLAN
Scale: 1/16" = 1'

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Date	Description
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04.29.2021	MIXED USE PLAN - RESUBMITTAL

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Project Name

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Project Number

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Description

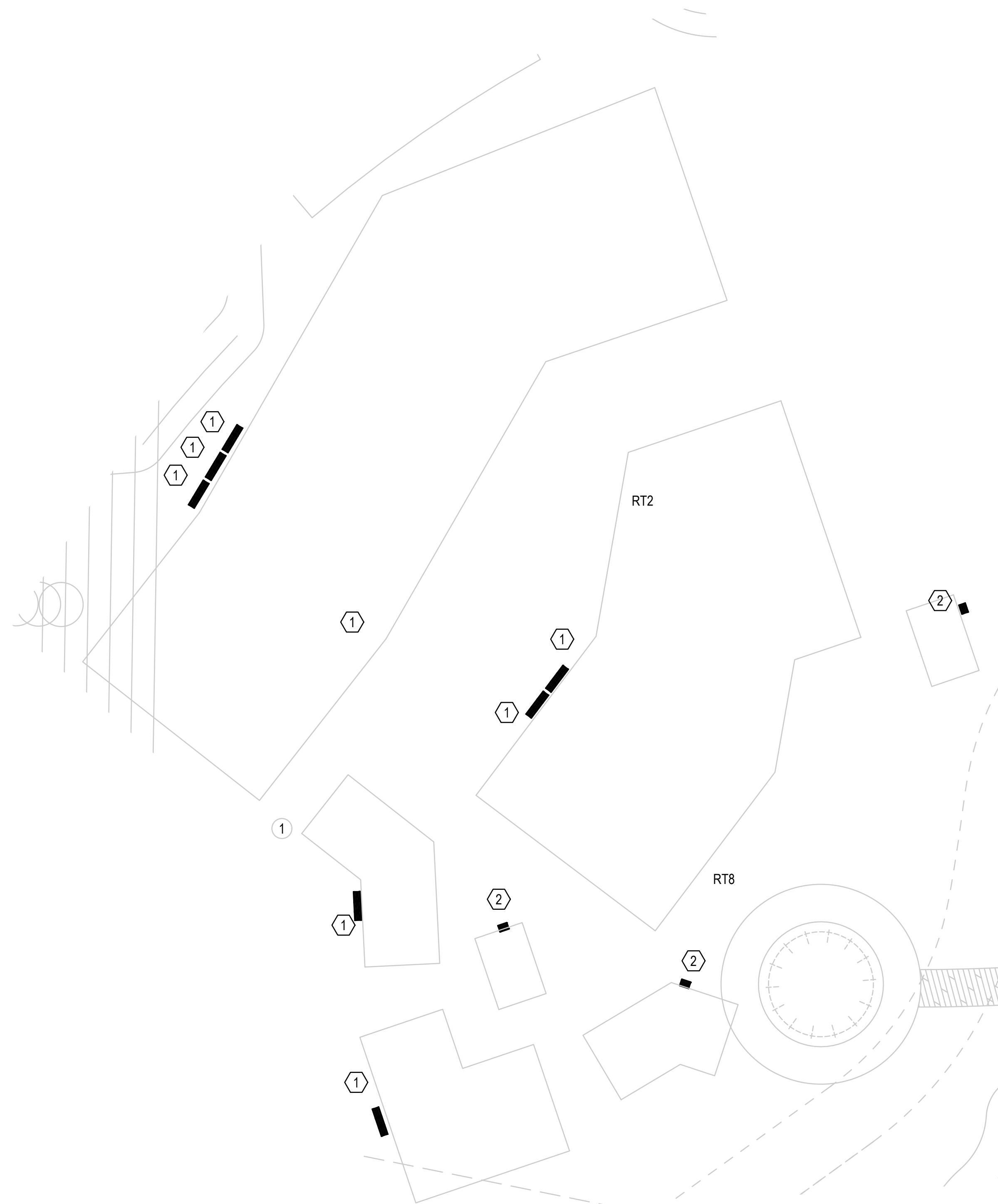
ENLARGED MECHANICAL PLANS

Scale

AS NOTED

M1.02

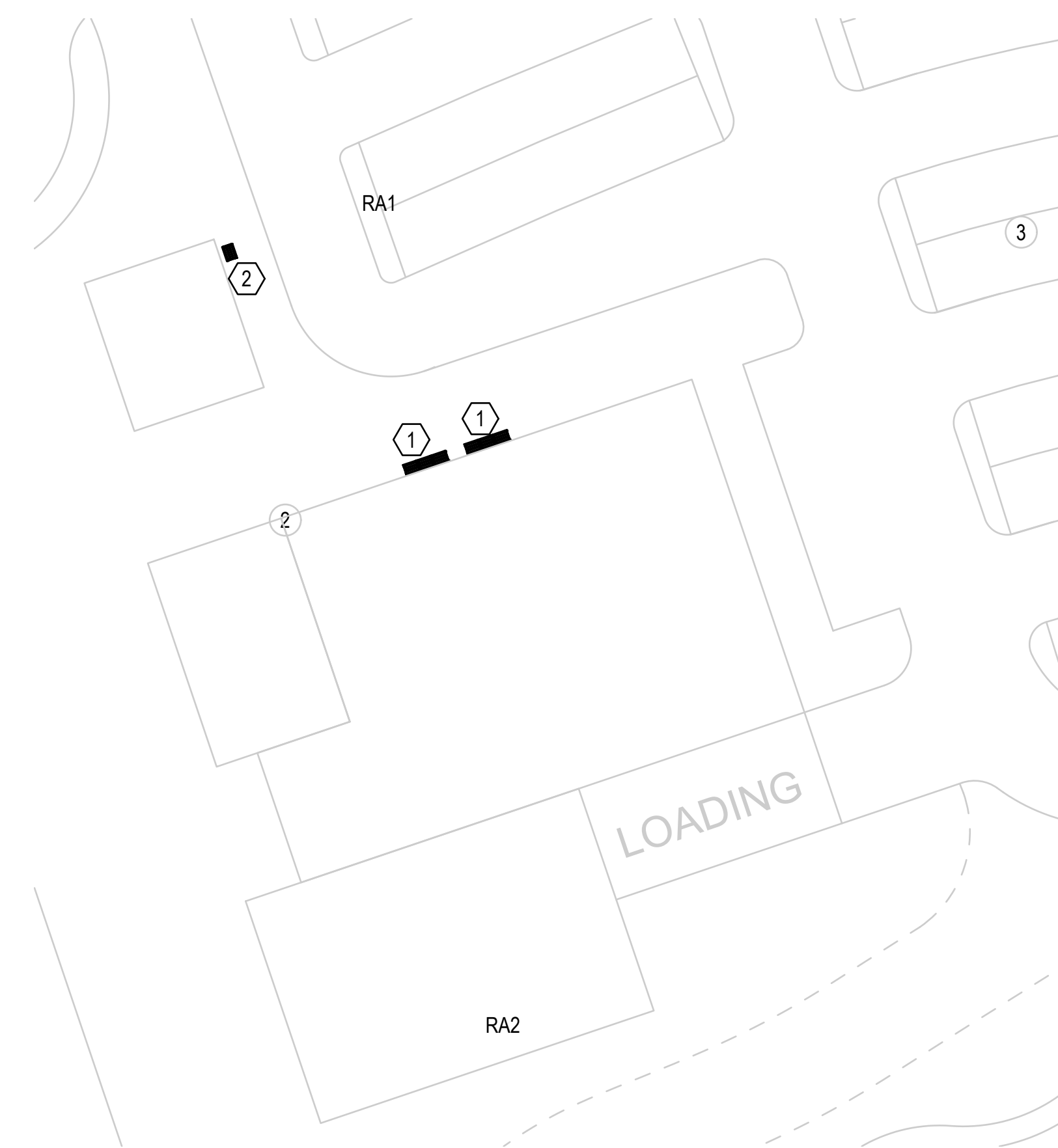
Plotted: 12/18/2019 12:54:42 PM P:\SD\MEP_W\OSIDE\100\CAD\SHEETS\M1.03 ENLARGED MECHANICAL PLANS DWG - plegassic



KEYNOTES

- ① MULTI ZONE VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS. OUTDOOR AIR TO BE DUCTED TO INDOOR UNITS FROM EXTERIOR WALLS.
- ② SINGLE ZONE HEAT PUMP (HP) FOR VENTILATION AND MAKE UP AIR.

② ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'



KEYNOTES

- ① MULTI ZONE VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS. OUTDOOR AIR TO BE DUCTED TO INDOOR UNITS FROM EXTERIOR WALLS.
- ② SINGLE ZONE HEAT PUMP (HP) FOR VENTILATION AND MAKE UP AIR.

① ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'

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www.syska.com

△ Date	Description
08.28.2019	MIX USED PLAN
12.20.2019	MIX USED PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE

Project Number

055.7758.000

Description

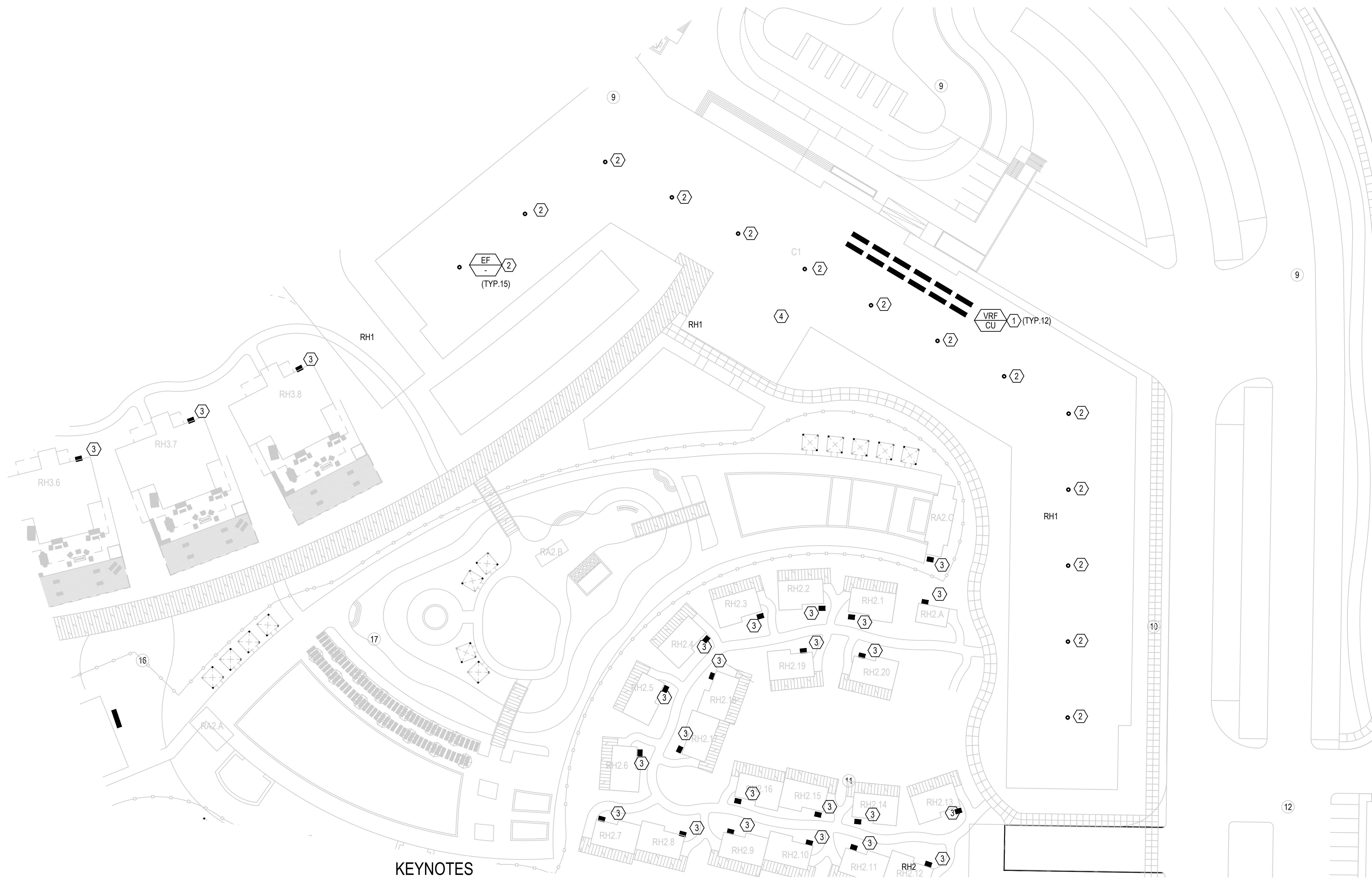
ENLARGED MECHANICAL PLANS

Scale

AS NOTED

M1.03

Plotted: 12/18/2019 12:54:57 PM P:\SD\MEP_W\OSIDE\100\CAD\SHEETS\M1.04 ENLARGED MECHANICAL PLANS DWG - plegassic



KEYNOTES

- ① VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS TO BE LOCATED ON FIRST FLOOR. CONDENSING UNITS SHOWN ON PLANS FOR REFERENCE ONLY.
- ② EXHAUST FAN FOR GUEST ROOMS. ONE FAN TO SERVICE MULTIPLE GUEST ROOMS.
- ③ SPLIT DIRECT EXPANSION CONDENSING UNIT (CU). ONE CONDENSING UNIT PER CASITA.
- ④ KITCHEN EXHAUST SHALL BE INDEPENDENT OF OTHER EXHAUST FAN SYSTEMS.

① ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'

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Seal / Signature

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Project Name

OSIDE

Project Number

055.7758.000

Description

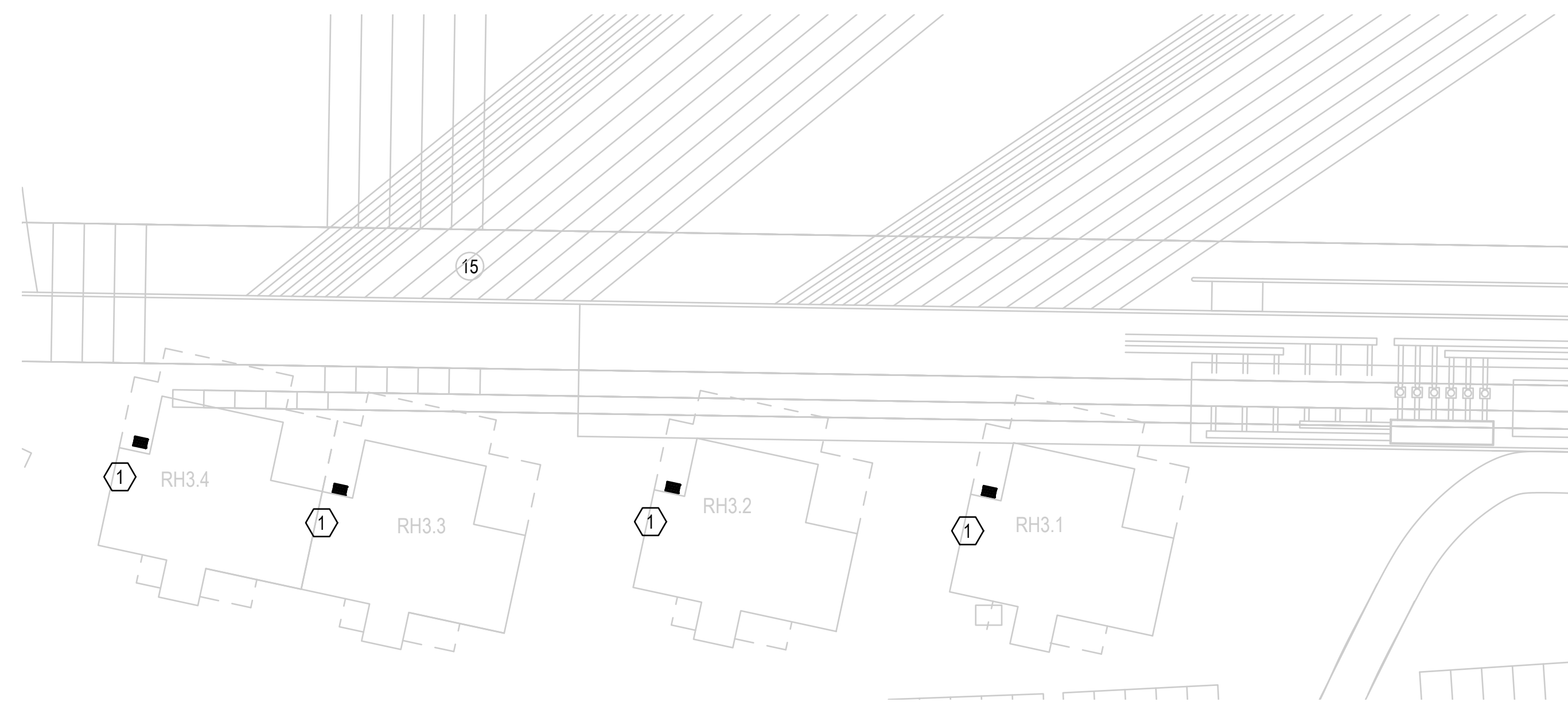
ENLARGED MECHANICAL PLANS

Scale

AS NOTED

M1.04

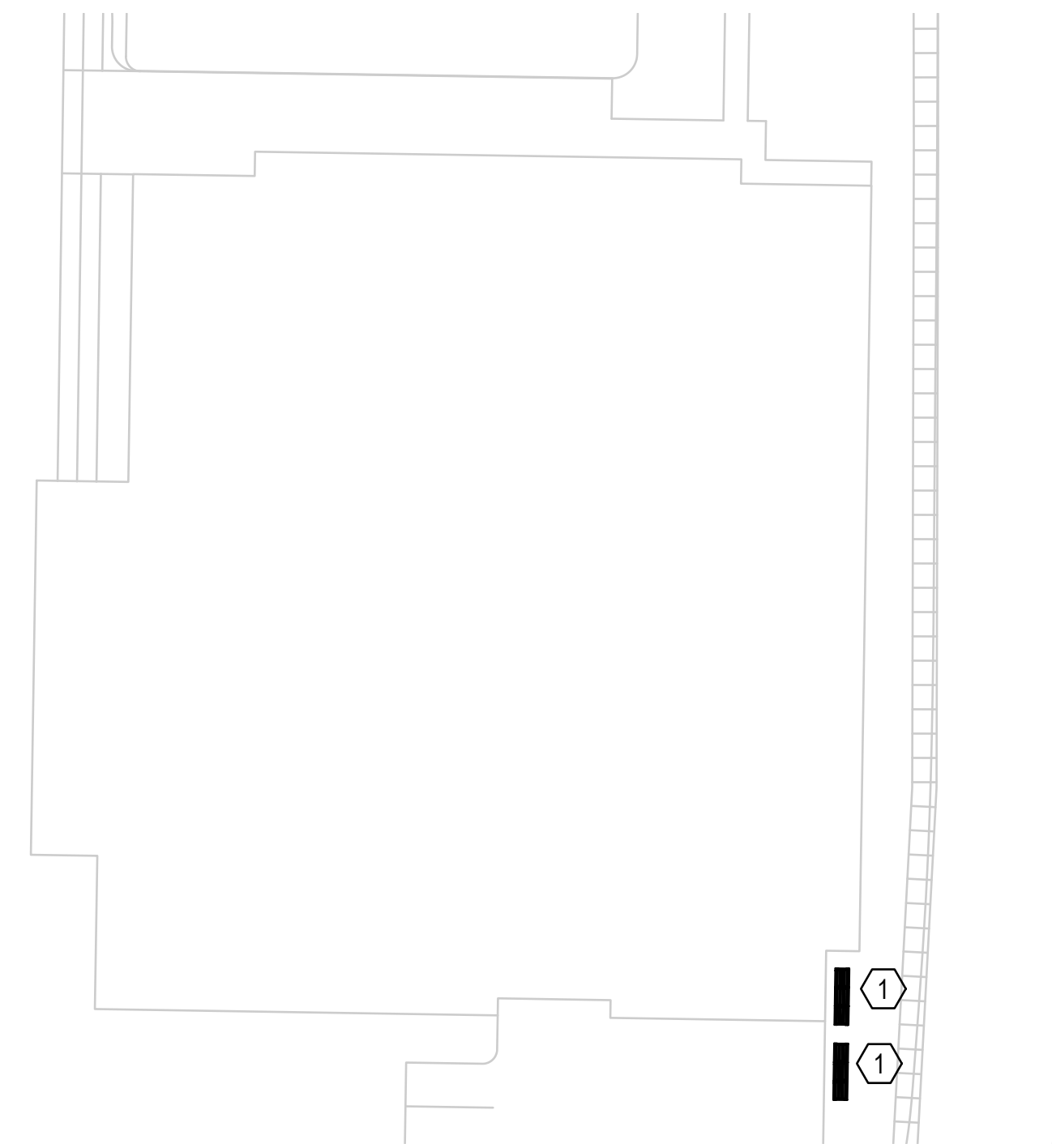
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KEYNOTES

① SINGLE ZONE HEAT PUMP (HP) FOR VENTILATION AND MAKE UP AIR.

② ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'



KEYNOTES

① MULTI ZONE VARIABLE REFRIGERANT FLOW (VRF) CONDENSING UNIT (CU) FOR INDOOR UNITS.

① ENLARGED MECHANICAL PLAN
Scale: 1/32" = 1'

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04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE

Project Number

055.7758.000

Description

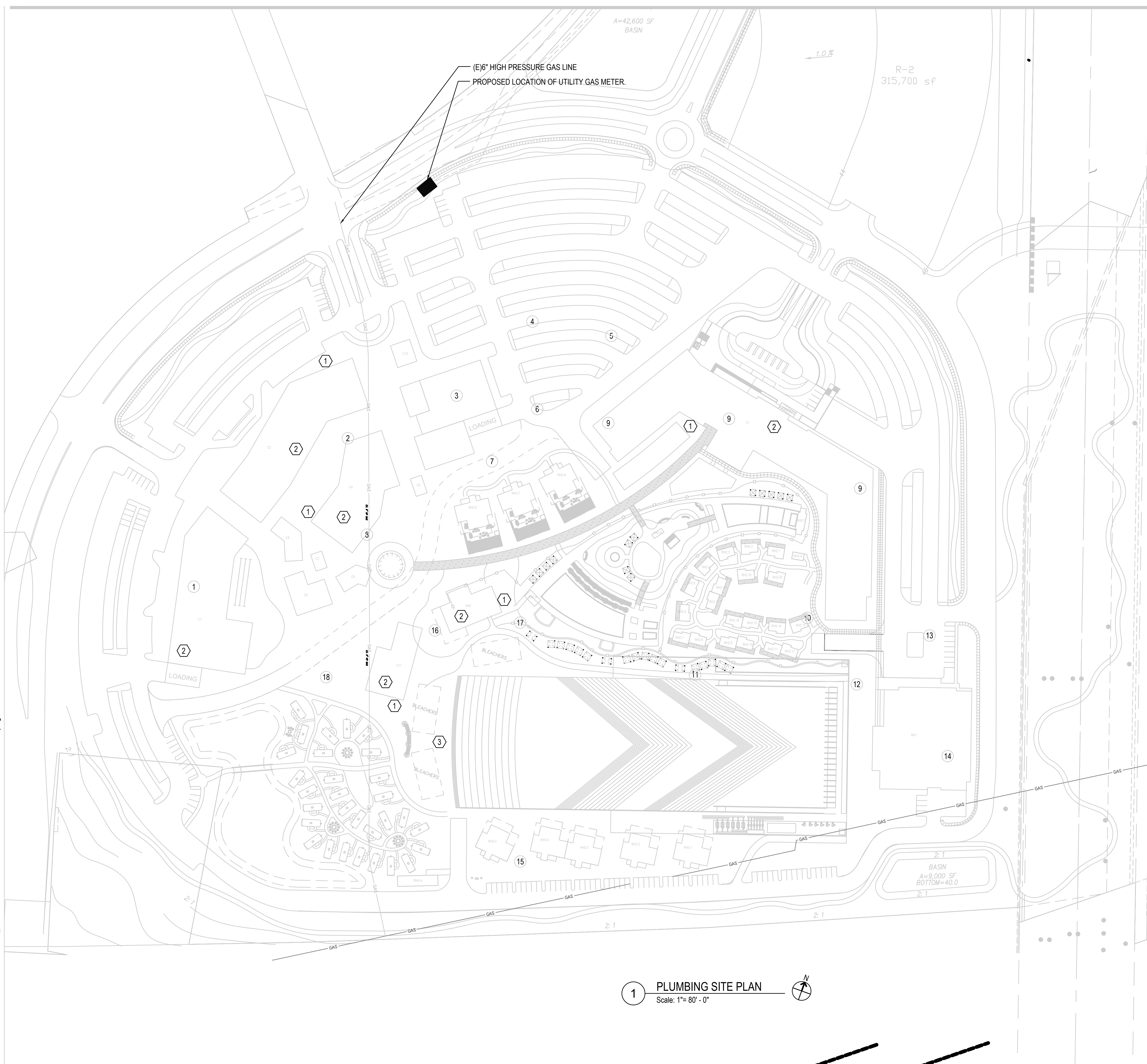
ENLARGED MECHANICAL PLANS

Scale

AS NOTED

M1.05

Plotted: 12/18/2019 4:43:13 PM P:\SDOMEP_W\OSIDE\10\CAD\SHETS\P1.01 PLUMBING SITE PLAN.DWG - plegassic



BUILDING LIST

#	BUILDING NAME / TYPE
1	RT1 / FITNESS CENTER
2	RT2 / RETAIL
3	RT3 / RETAIL
4	RT4 / RETAIL
5	RT5 / OFFICE
6	RT6 / RETAIL
7	RT7 / RETAIL
8	RT8 / L01 RETAIL, L02 OFFICE
9	RH1 / RESORT HOTEL
10	RH2 / RESORT HOTEL - CASITAS
11	RH3 / RESORT HOTEL - VILLAS
12	RH4 / VILLAS CLUBHOUSE
13	RA1 / WELLNESS
14	RA2 / CONFERENCE
15	RA3 / CABANA CLUBHOUSE
16	RA4 / FOOD & BEVERAGE
17	RA5 / AUSSIE SURF CLUB
18	RA6 / FIELDHOUSE

SYMBOLS LIST

ANNOTATION	
1 VIEW TITLE SCALE: NTS	PLAN TITLE NO. - 1
2 DETAIL BOUNDARY (RECTANGLE) DETAIL NO. - 2	
1	SHEET KEYNOTE
NG #	EQUIPMENT TAG BUILDING NUMBER
---GAS---	HIGH PRESSURE GAS

KEY NOTES

- 1 NATURAL GAS (NG) SERVICE REGULATOR, METER AND EARTHQUAKE VALVE.
- 2 BUILDING SHALL BE PROVIDED WITH GREASE INTERCEPTOR.
- 3 SAND AND OIL INTERCEPTOR SHALL BE PROVIDED FOR AREA DRAINS NEAR BEACH.

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Date	Description
08.28.2019	MIX USED PLAN
12.20.2019	MIX USED PLAN - RESUBMITTAL
04.29.2021	MIXED USE PLAN - RESUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE

Project Number

055.7758.000

Description

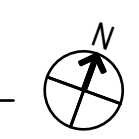
PLUMBING SITE PLAN

Scale

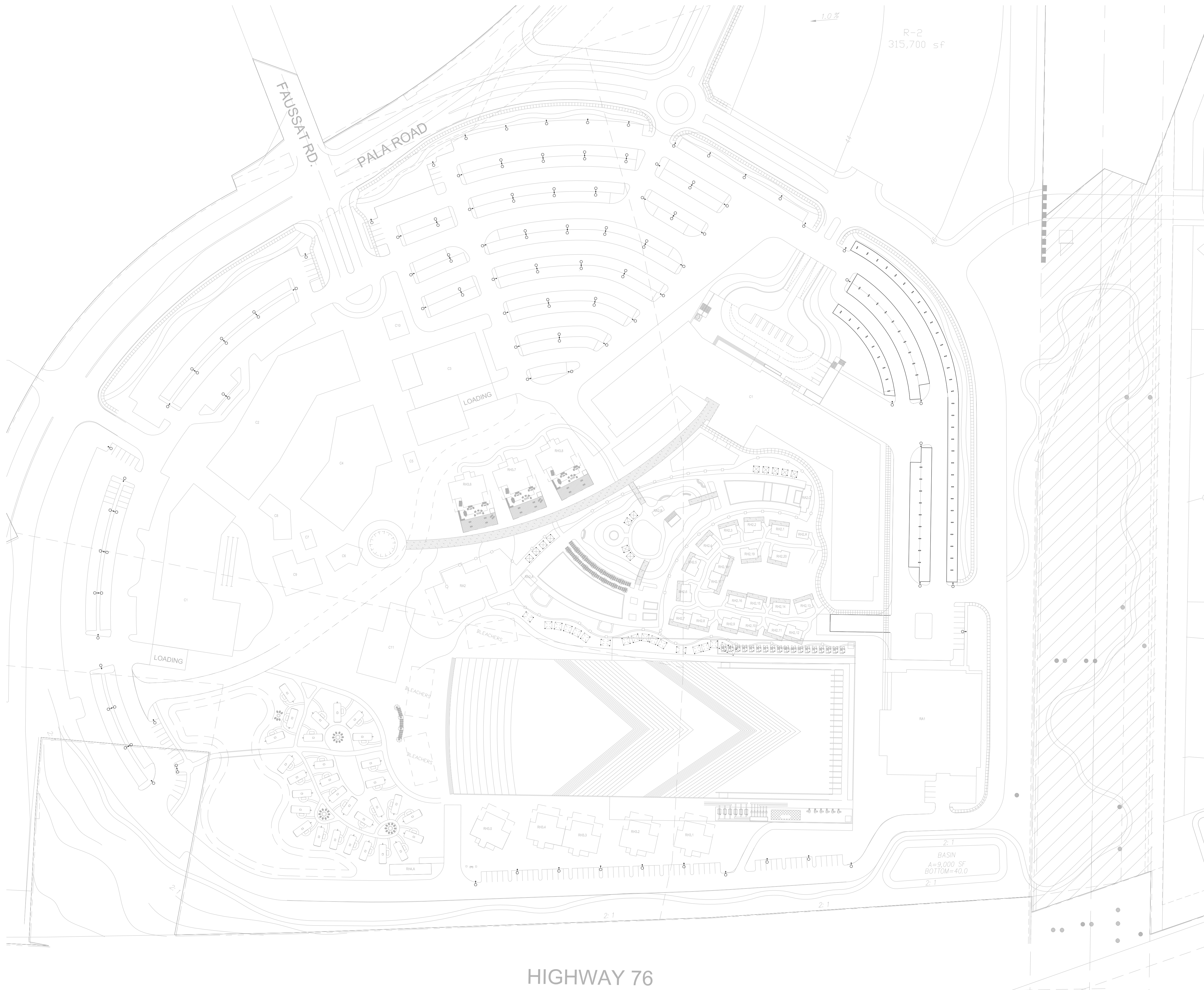
AS NOTED

P1.01

1 PLUMBING SITE PLAN
Scale: 1" = 80' - 0"



P:\12182019\12182019 12:34:34 PM P:\SD\MEP_W\OSIDE\100\CAD\SHEETS\1E1.01 ELECTRICAL LIGHTING SITE PLAN.DWG - dsanchbz



BUILDING LIST

#	BUILDING NAME / TYPE
1	RT1 / FITNESS CENTER
2	RT2 / RETAIL
3	RT3 / RETAIL
4	RT4 / RETAIL
5	RT5 / OFFICE
6	RT6 / RETAIL
7	RT7 / RETAIL
8	RT8 / L01 RETAIL, L02 OFFICE
9	RH1 / RESORT HOTEL
10	RH2 / RESORT HOTEL - CASITAS
11	RH3 / RESORT HOTEL - VILLAS
12	RH4 / VILLAS CLUBHOUSE
13	RA1 / WELLNESS
14	RA2 / CONFERENCE
15	RA3 / CABANA CLUBHOUSE
16	RA4 / FOOD & BEVERAGE
17	RA5 / AUSSIE SURF CLUB
18	RA6 / FIELDHOUSE

SYMBOLS LIST

ELECTRICAL SYMBOL LEGEND	
	SINGLE HEAD POLE MOUNTED FIXTURE
	DOUBLE HEAD POLE MOUNTED FIXTURE
	SURFACE MOUNT LED FIXTURE TO BE MOUNTED UNDER CARPORT

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Date	Description
08.28.2019	MIX USED PLAN
12.20.2019	MIX USED PLAN - RESUBMITTAL
04.29.2021	MIX USE PLAN - RESUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE

Project Number

055.7758.000

Description

ELECTRICAL SITE LIGHTING PLAN

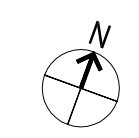
Scale

AS NOTED

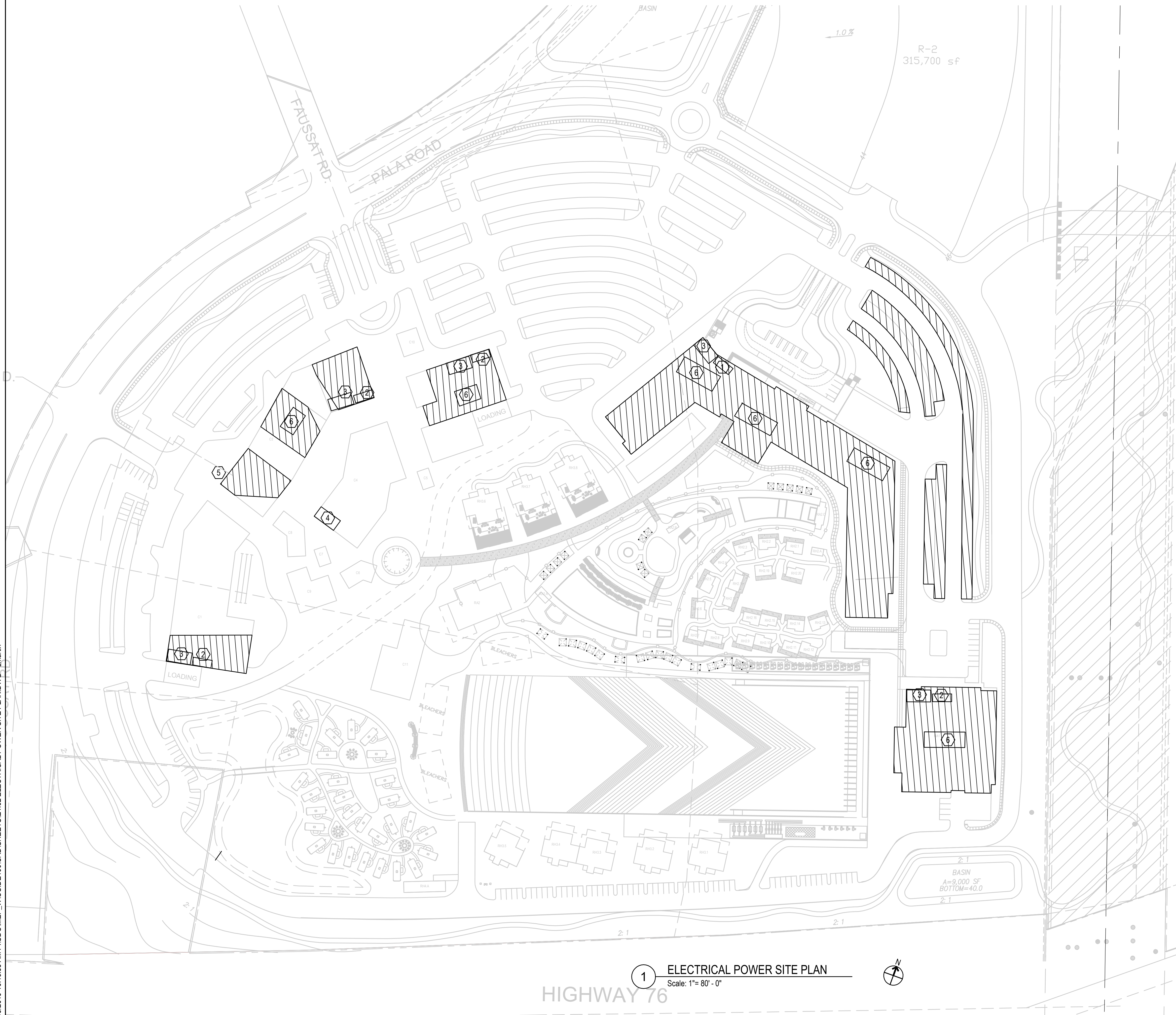
E1.01

HIGHWAY 76

1 ELECTRICAL LIGHTING SITE PLAN
 Scale: 1" = 80' - 0"



Plotted: 12/18/2019 10:16:38 AM P:\SD\MEP_W\OSIDE\100\CAD\SHEETS\1.02 ELECTRICAL POWER SITE PLAN.DWG - dmarin



1 ELECTRICAL POWER SITE PLAN
Scale: 1"= 80' - 0"

BUILDING LIST

#	BUILDING NAME / TYPE
1	RT1 / FITNESS CENTER
2	RT2 / RETAIL
3	RT3 / RETAIL
4	RT4 / RETAIL
5	RT5 / OFFICE
6	RT6 / RETAIL
7	RT7 / RETAIL
8	RT8 / L01 RETAIL, L02 OFFICE
9	RH1 / RESORT HOTEL
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11	RH3 / RESORT HOTEL - VILLAS
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15	RA3 / CABANA CLUBHOUSE
16	RA4 / FOOD & BEVERAGE
17	RA5 / AUSSIE SURF CLUB
18	RA6 / FIELDHOUSE

KEYNOTES

- ① DISTRIBUTION SUBSTATION AND PV SUBSTATION UNIT
- ② PV SUBSTATION UNIT
- ③ PV BATTERY STORAGE BANK
- ④ DISTRIBUTION SUBSTATION UNIT
- ⑤ MOBILITY HUB
- ⑥ ROOF MOUNTED MECHANICAL UNIT/ACCESS

SHEET NOTES

- 6 PERCENT OF TOTAL PARKING STALLS TO BE PRE-WIRED FOR ELECTRIC VEHICLE CHARGING STATIONS.

LEGEND

- SOLAR PHOTOVOLTAIC PANELS

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Date	Description
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12.18.2019	UPDATED MIX USED PLAN
04.29.2021	MIXED USE PLAN - RESUBMITAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

OSIDE

Project Number

055.7758.000

Description

ELECTRICAL POWER SITE PLAN

Scale

AS NOTED

E1.02