

VISTA WAY HOMES

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
5 UNITS 1, 17-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=20
UNATTACHED STANDARD PARKING SPACES (18'x10')=25
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=47
PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7890, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G
- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.

SHEET INDEX

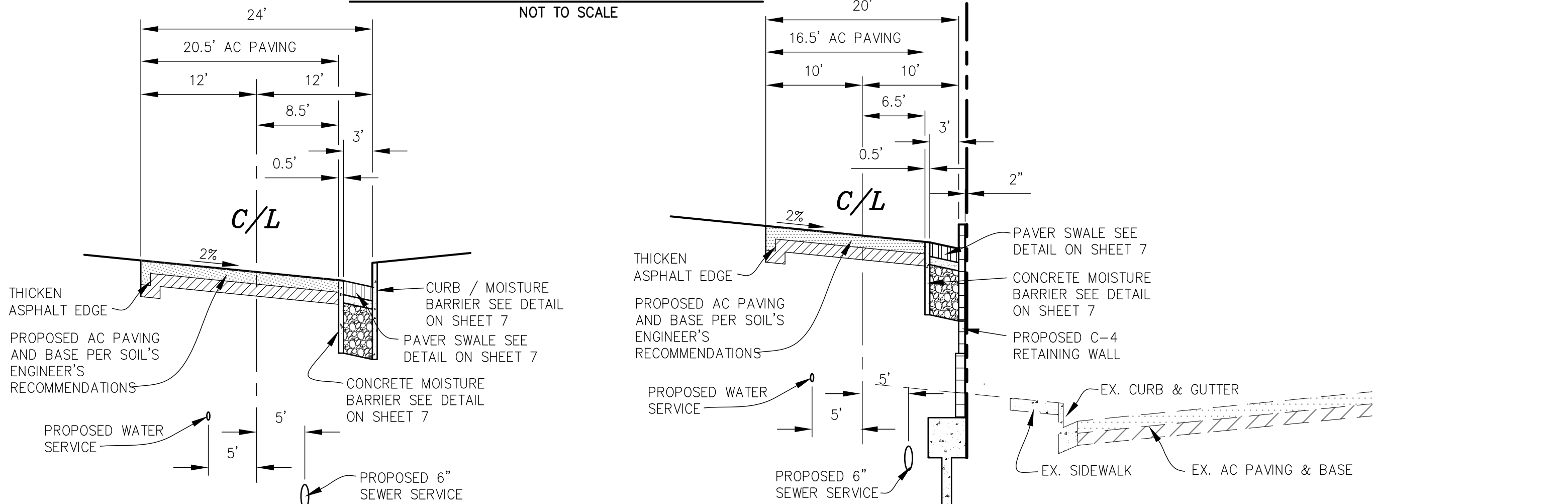
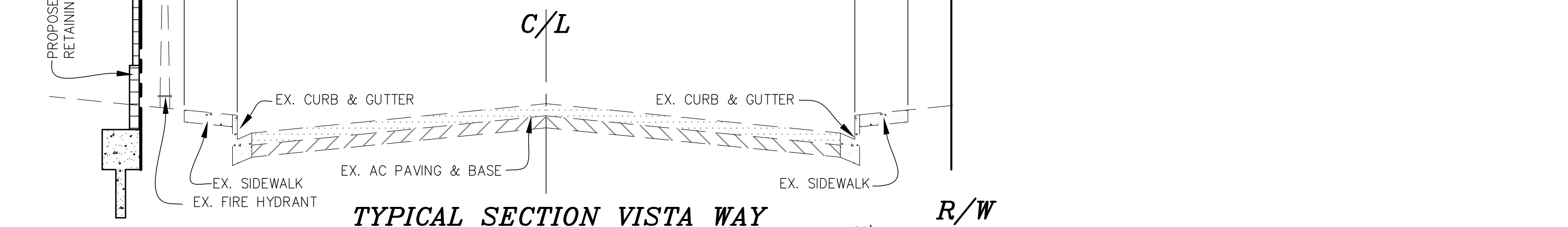
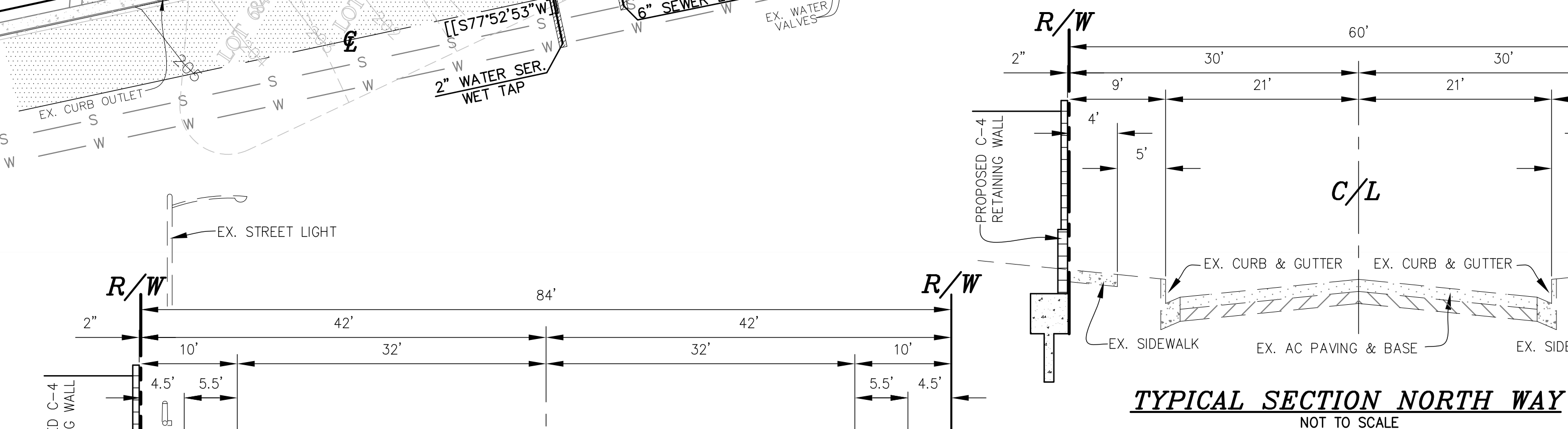
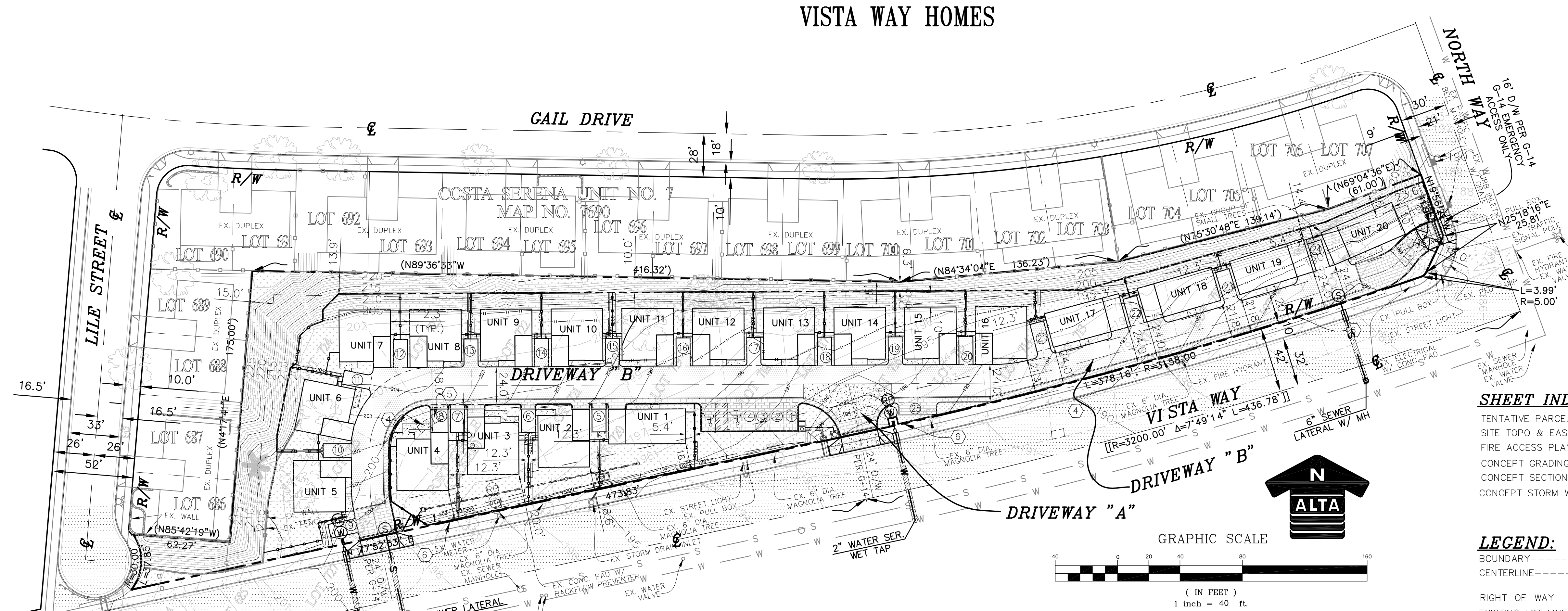
TENTATIVE PARCEL MAP	SHEET 1
SITE TOPO & EASEMENTS	SHEET 2
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CONCEPT SECTIONS AND DRIVEWAY PROFILES ..	SHEET 6
CONCEPT STORM WATER DETAILS	SHEET 7

LEGEND:

BOUNDARY-----	---
CENTERLINE-----	---
RIGHT-OF-WAY-----	---
EXISTING LOT LINE-----	---
SETBACK LINE-----	---
EXISTING CURB & GUTTER-----	---
EXISTING WATER-----	---
EXISTING SEWER-----	---
EXISTING FENCE-----	---
EXISTING RETAINING WALL-----	---
EXISTING CONCRETE-----	---
EXISTING AC PAVING-----	---
EXISTING CONTOUR LINE-----	---
EXISTING ELEVATION-----	---
EXISTING FIRE HYDRANTS-----	---
EXISTING STREET SIGN-----	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED WATER SERVICE-----	---
W/ BACKFLOW PREVENTER	---
PROPOSED SEWER LATERAL SERVICE-----	---
SEWER MH-----	---
PARKING SPACE NUMBER-----	---
PROPOSED TYPE G PER G-2 CURB-----	---
PROPOSED FENCE-----	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED GATE FOR EMERGENCY ACCESS-----	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING-----	---
PROPOSED CONCRETE-----	---
PROPOSED AC PAVING-----	---
PROPOSED PAVER-----	---
PER DETAIL ON SHEET NO. 6	---
TRENCH RESURFACING M_3A-----	---
PROPOSED RETAINING WALL-----	---
2:1 SLOPE-----	---
DAYLIGHT LINE-----	---
DIRECTION OF FLOW-----	---
(PVT.) PROPOSED STORM DRAIN-----	---
CURB OUTLET PER D-25-----	---
(PVT.) PROPRIETARY TREATMENT UNIT-----	---
PER DETAIL ON SHEET NO. 8	---
(PVT.) MODIFIED TYPE D CLEANOUT-----	---
W/SUMP PUMP	---

EASEMENTS NOTES

- SEE SHEET NO. 2 FOR DETAILS
- THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 19000480110 AND DATED FEBRUARY 01, 2019, EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.
- EASEMENT IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH COMPANY RECORDED MARCH 04, 1911 IN BOOK 511, PAGE 235 OF DEEDS. SAID EASEMENT IS NOT PLOTTED HEREON AS NO EXACT LOCATION IS SPECIFIED IN SAID DOCUMENT.
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ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (858) 401-9090
E-MAIL: rezashera@gmail.com

BY: REZA SHERA

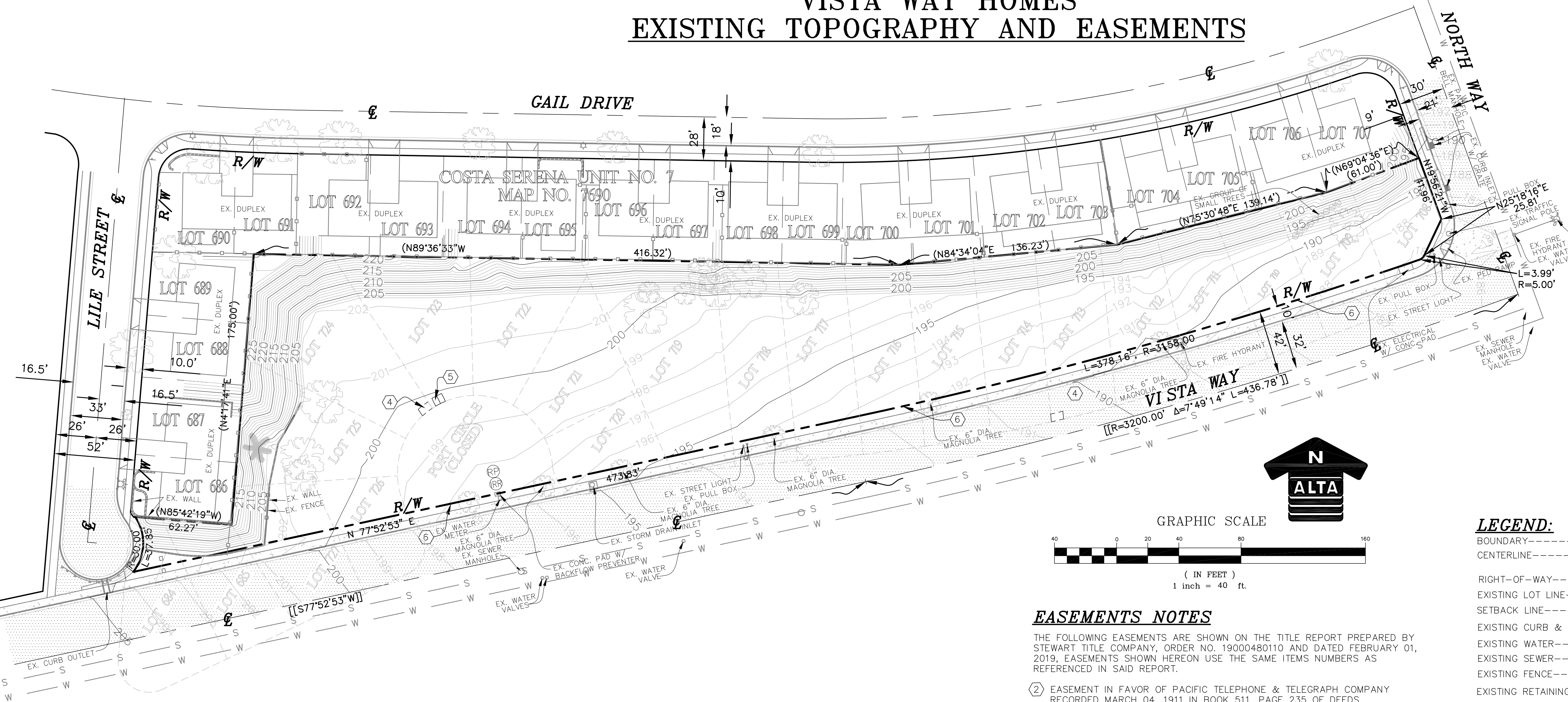
ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 100, San Diego, CA 92101 (619) 749-8816 Fax (619) 749-8818
JOB NO. 499-01, DATE MARCH 23, 2021

Date: 03/23/2021

SHEET 1 OF 7

VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS



EASEMENTS NOTES

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LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---

SITE PLAN
General Notes

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 - SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G

ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021



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PLANNING ENGINEERING SURVEYING
1288 E. Main St., Ste. 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
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SITE PLAN

General Notes

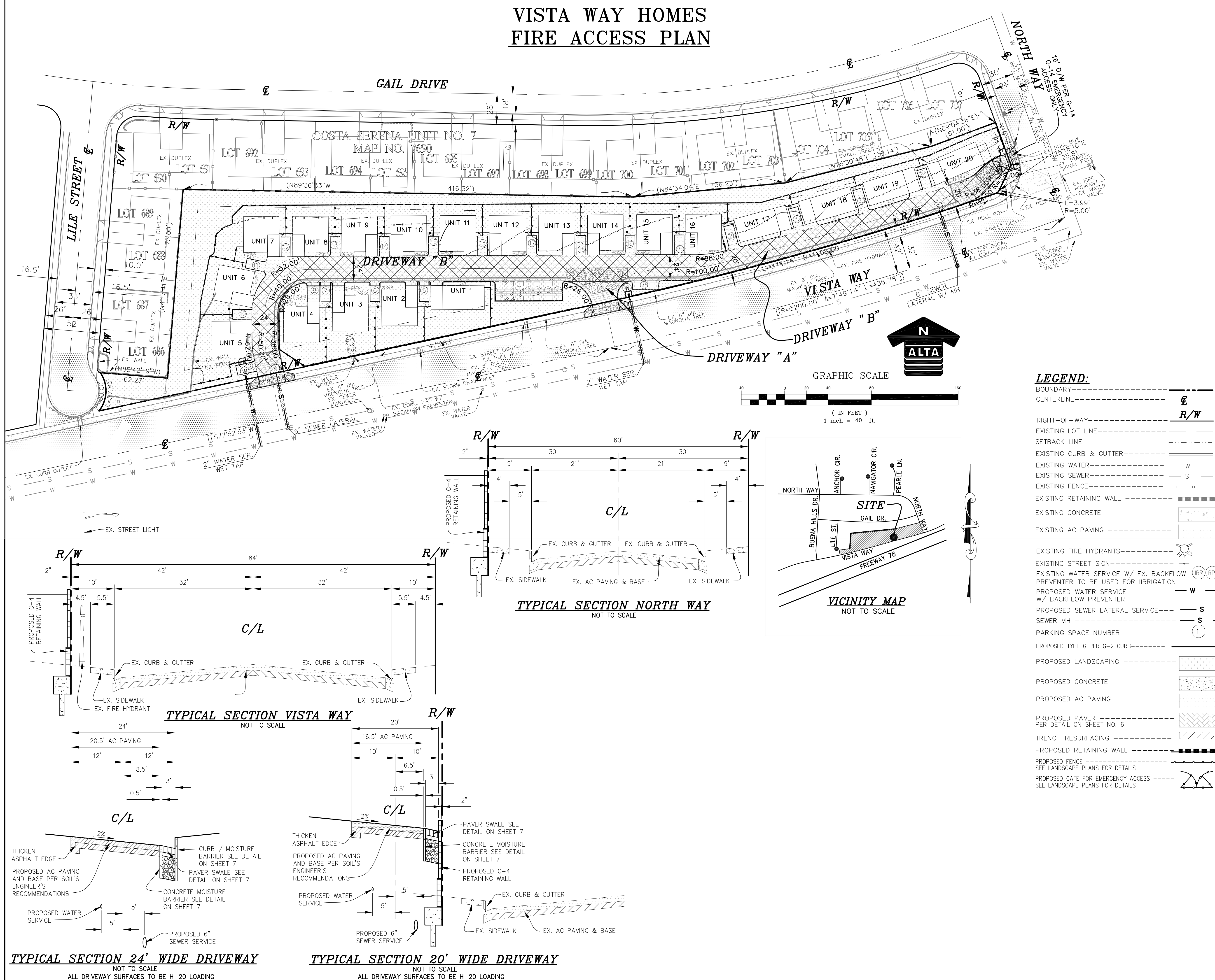
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- TOTAL NUMBER OF PROPOSED LOTS: 1
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- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- THE NORTH AVENUE EMERGENCY ACCESS IS FOR EMERGENCY VEHICLES ONLY. THIS ENTRANCE WILL BE GATED WITH A LOCKING MECHANISM THAT IS ACCEPTABLE WITH THE OCEANSIDE FIRE DEPARTMENT.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.

FIRE LANE



ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606

DATED: MARCH 23, 2021



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SHEET 3 OF 7

VISTA WAY HOMES
CONCEPT GRADING PLAN

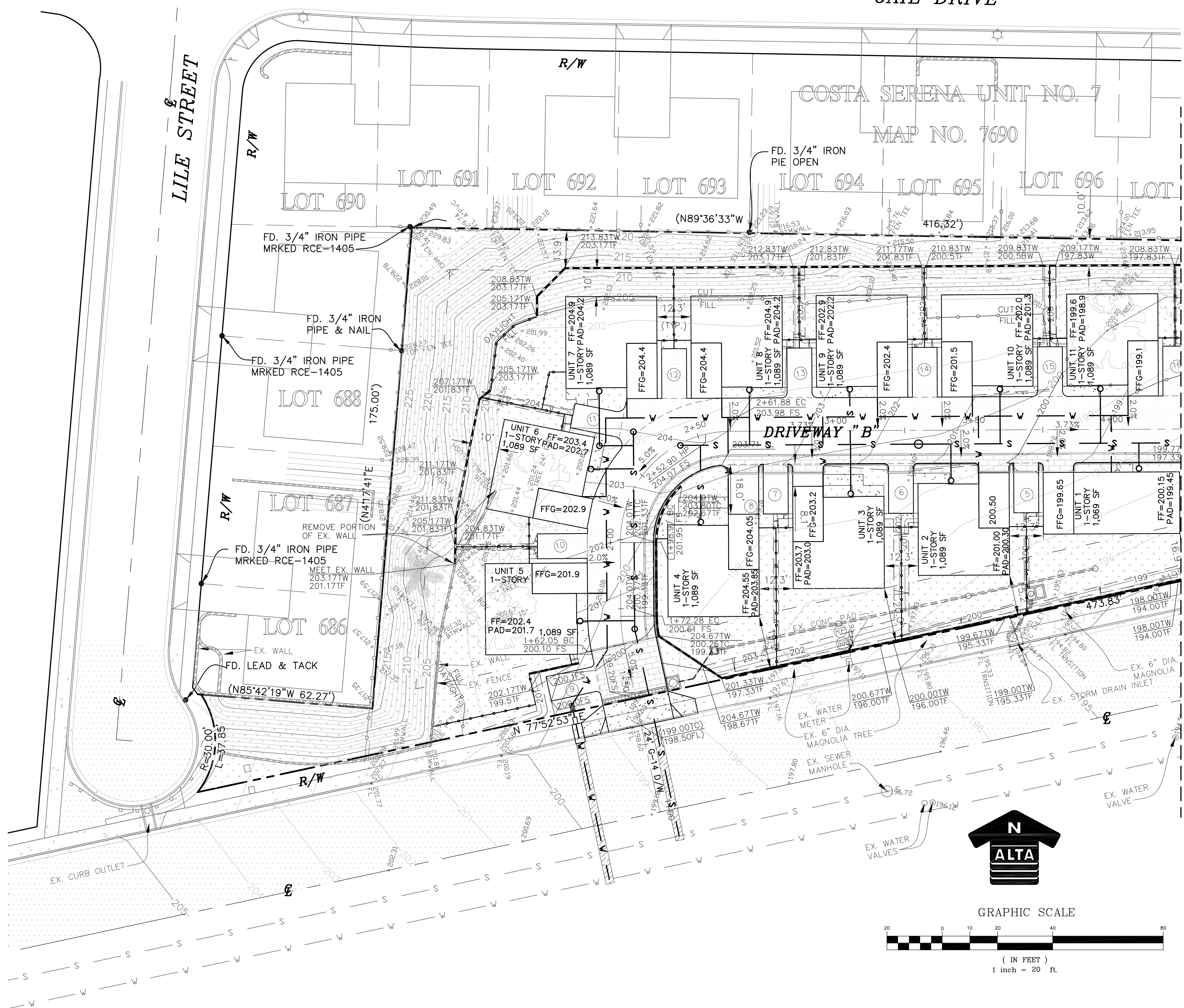
GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690

FD. 3/4" IRON
PIE OPEN

LILE STREET



MATCH LINE SEE SHEET NO. 5

LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
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- PROPOSED RETAINING WALL-----
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- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- PROPRIETARY TREATMENT UNIT-----
- MODIFIED TYPE D CLEANOUT-----
- PER D-9 AND DETAILS ON SHEET NO. 9-----

SITE PLAN
General Notes

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ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021



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VISTA WAY HOMES
CONCEPT GRADING PLAN

TENTATIVE MAP

SITE PLAN
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PROPOSED TYPE G PER G-2 CURB	---
PROPOSED FENCE SEE LANDSCAPE PLANS FOR DETAILS	---
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PROPOSED PAVER PER DETAIL ON SHEET NO. 6	---
TRENCH RESURFACING	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 7	---
MODIFIED TYPE D CLEANOUT PER D-9 AND DETAILS ON SHEET NO. 7	---

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021



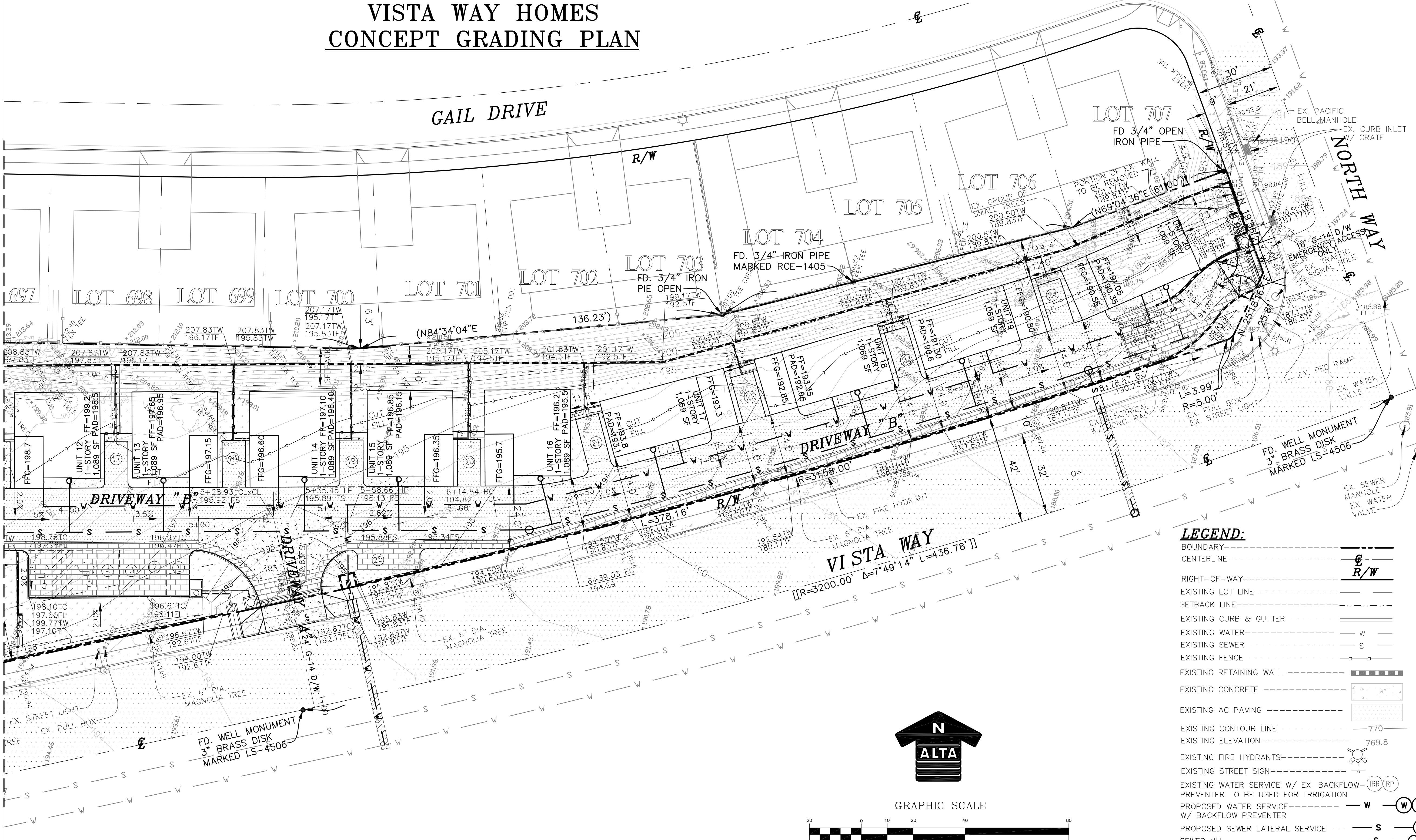
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Suite 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 499-01, DATE MARCH 11, 2021

Date: 03/23/2021

SHEET 5 OF 7

MATCH LINE SEE SHEET NO. 4



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

VISTA WAY HOMES
STORM WATER DETAILS

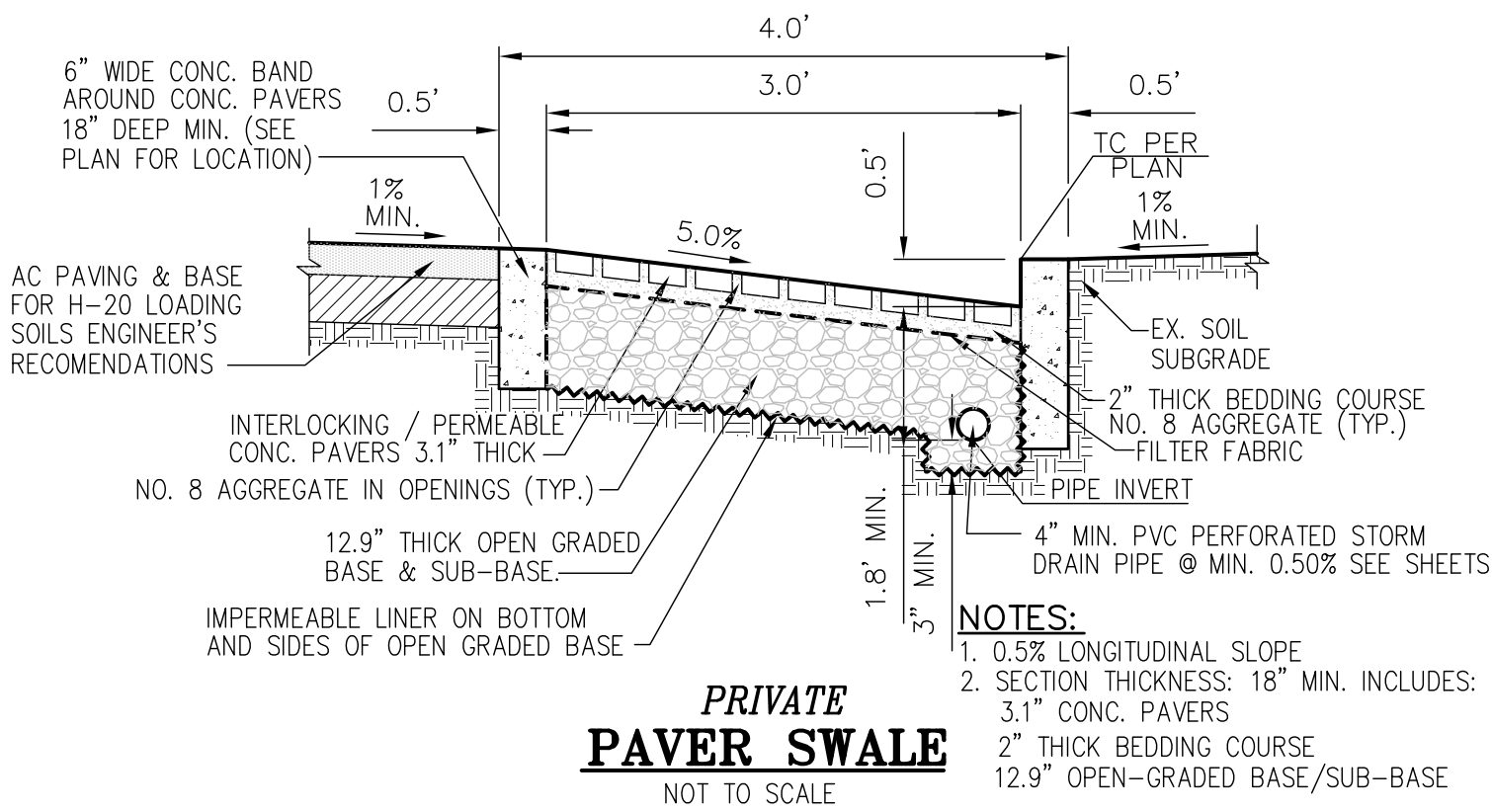
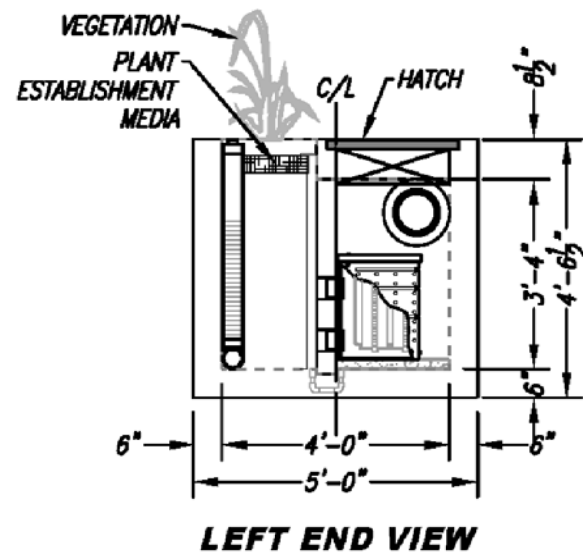
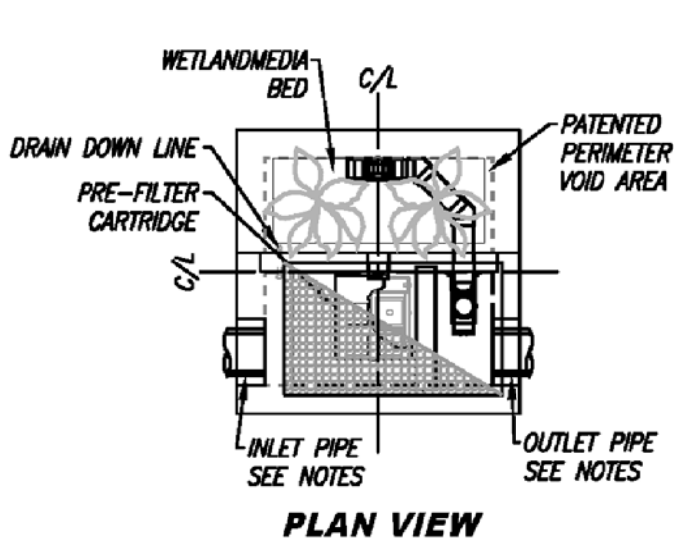
SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AEREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AEREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
5 UNITS 1, 17-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=20
UNATTACHED STANDARD PARKING SPACES (18'x10')=25
VAN ACCESSABLE HADICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=47
PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: 12RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (GFS)	
1,248		N/A	
PEAK BYPASS REQUIRED (GFS) - IF APPLICABLE		OFFLINE	
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE		PVC	8"
OUTLET PIPE		PVC	8"
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PEDESTRIAN	OPEN PLANTER	PEDESTRIAN
FRAME & COVER	24" X 42"	N/A	N/A
WETLAND/MEDIA VOLUME (CY)		0.83	
ORIFICE SIZE (DIA. INCHES)		#0.48"	
NOTES: PRELIMINARY NOT FOR CONSTRUCTION.			

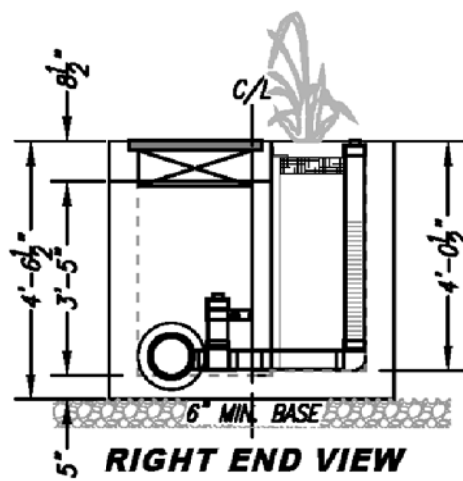
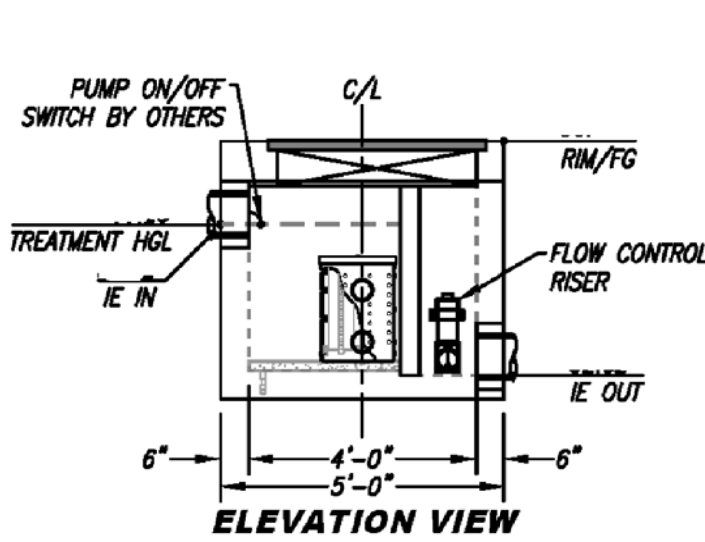


INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



REQUIRED TREATMENT VOLUME (CF)	
DRAWDOWN DURATION (HOURS)	36
AVERAGE DISCHARGE RATE PER MWS UNIT(GPM)	
OPERATING HEAD (FT)	2.5
WETLANDMEDIA INFILTRATION RATE (IN/HR)	26
WETLANDMEDIA LOADING RATE (GPM/SF)	0.26

MWS-L-4-4'-1" V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL



PROPRIETARY AND CONFIDENTIAL:
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MODULAR WETLAND

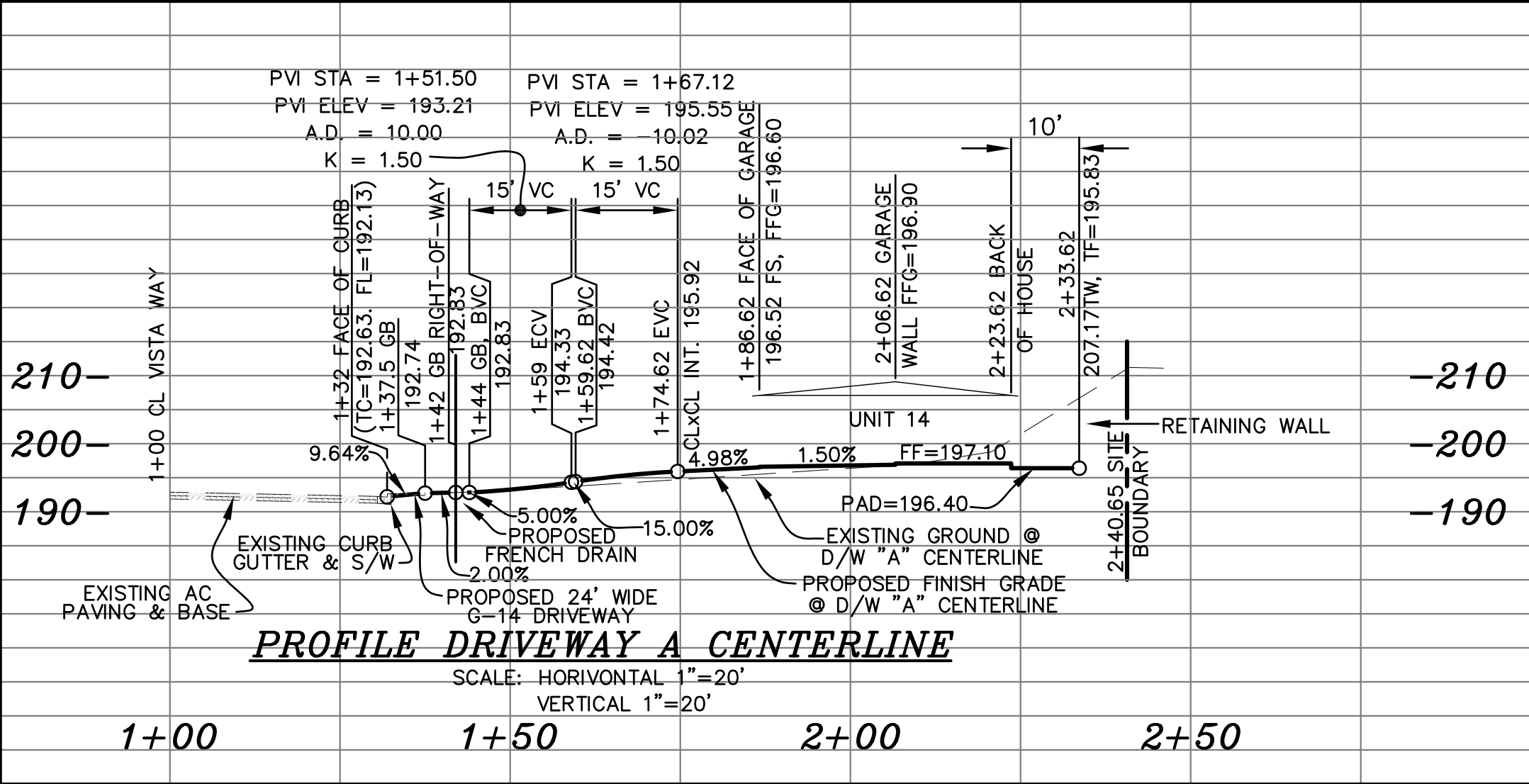
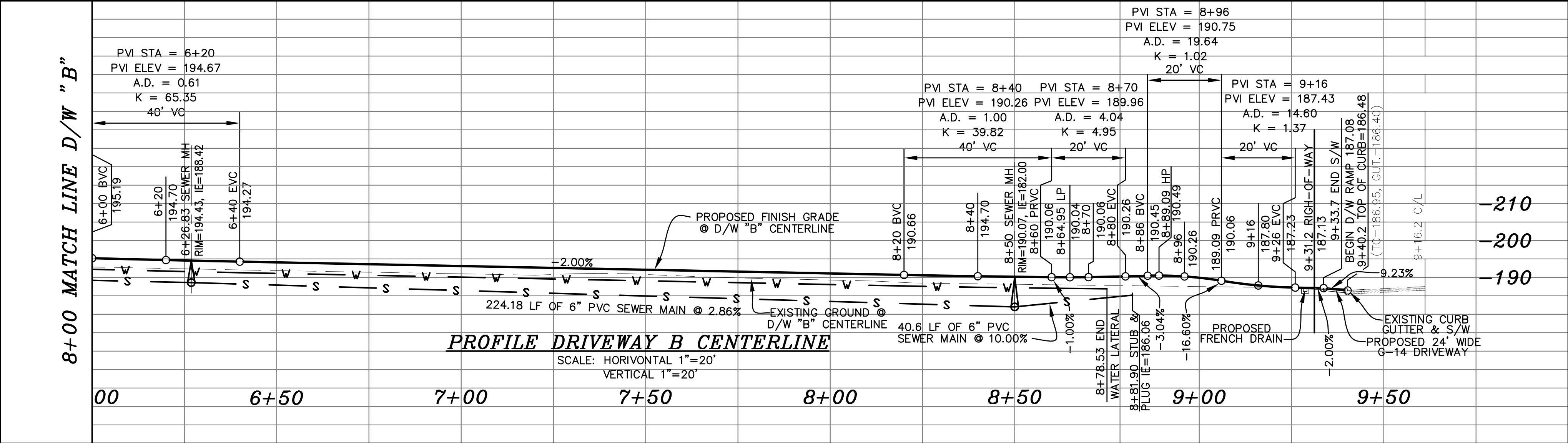
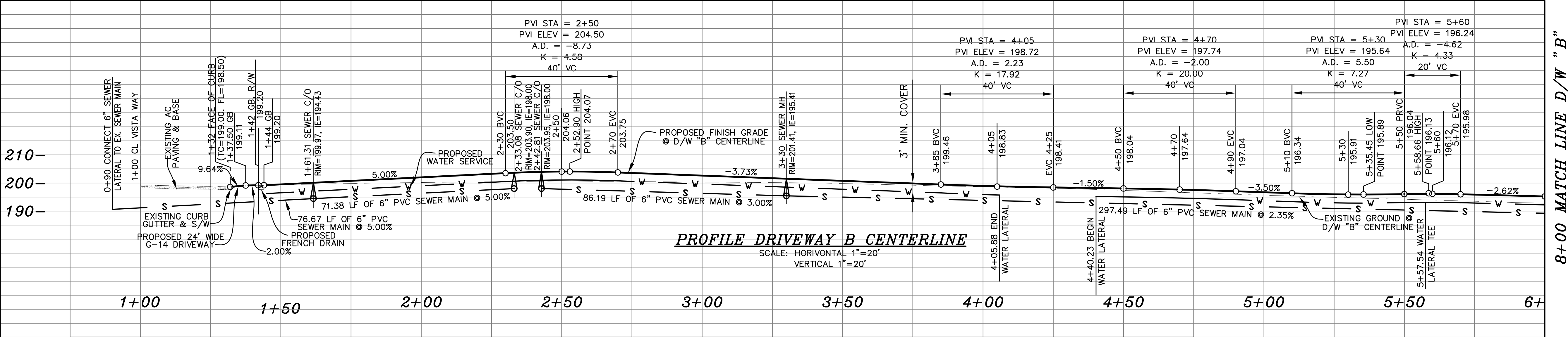
ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021



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JOB NO. 499-01, DATE MARCH 23, 2021

VISTA WAY HOMES
CONCEPT PROFILES AND SECTIONS



General Notes

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