

VISTA WAY HOMES

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x8')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47

- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF FORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.94 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET

- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%

- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0768G DATED: 2/16/12
- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.

	SITE AREA IN AC	SITE DENSITY DU/AC	GENERAL PLAN	ZONING	LANDSCAPING
EXISTING	1.97	0	RESIDENTIAL	RM-A	100%
PROPOSED	1.97	10.15	RESIDENTIAL SINGLE-FAMILY	RM-A	40%

UNIT #	BUILD. AREA IN SF	SETBACKS
1, 13-18	1,069	REAR 15'
2-12	1,089	SIDE 15'
18 UNITS TOTAL		FRONT 20'

T21-00002
D21-00005

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (858) 401-9090
E-MAIL: rezashera@gmail.com

BY: REZA SHERA

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

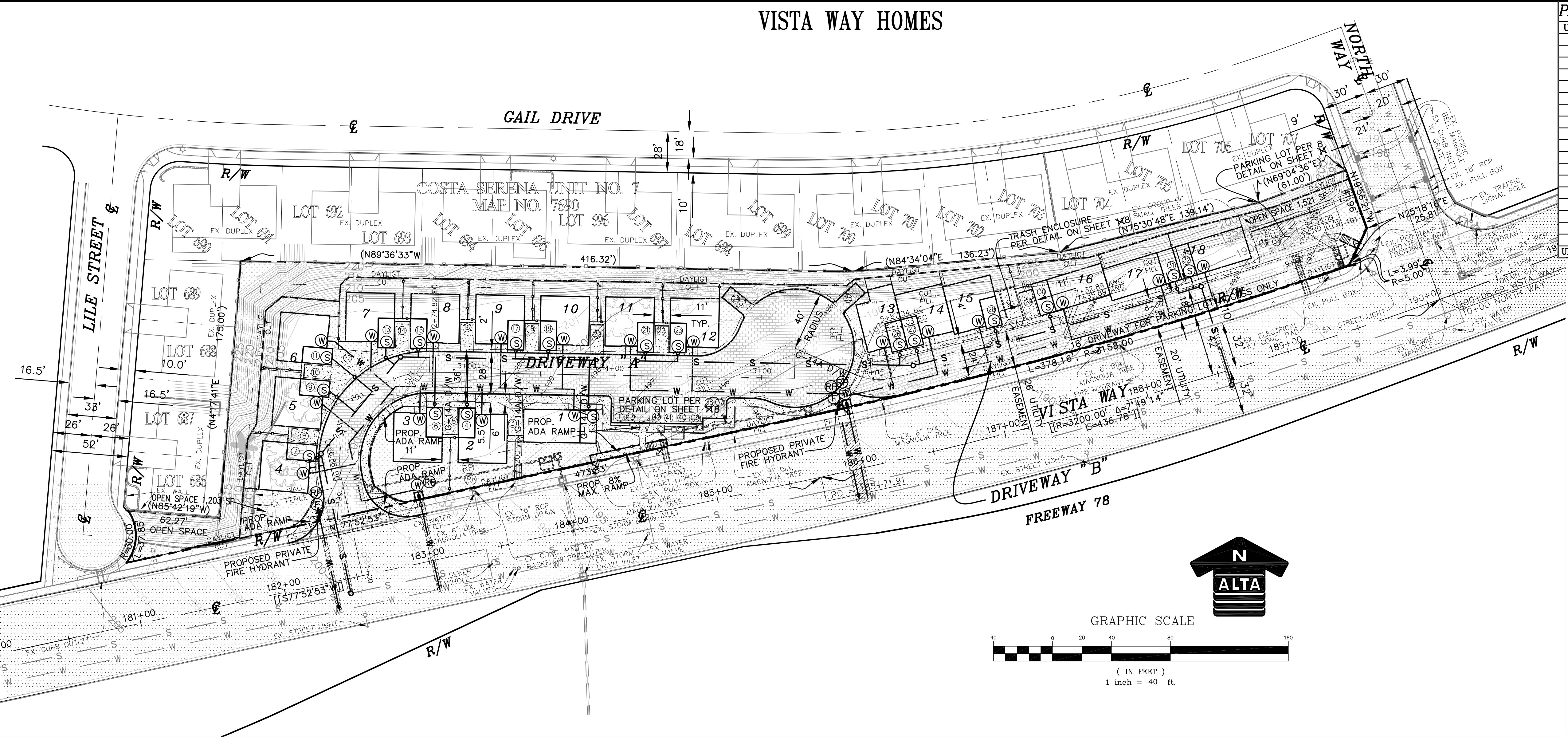
12883 E. Main St., Ste. 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

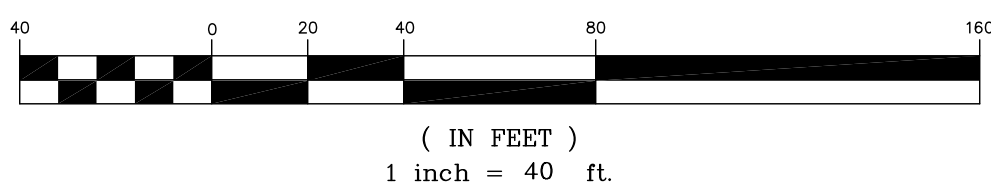
SHEET 1 OF 8

PARKING SCHEDULE

UNIT NO.	GARAGE	DETACHED
1	2	1
2	4	3
3	6	5
4	7	8
5	9	10
6	11	12
7	13	14
8	15	16
9	17	18
10	19	20
11	20	21
12	22	23
13	26	25
14	27	24
15	28	35
16	30	29
17	31	34
18	32	33
UNASSIGNED PARKING SPACES 36-43		



GRAPHIC SCALE

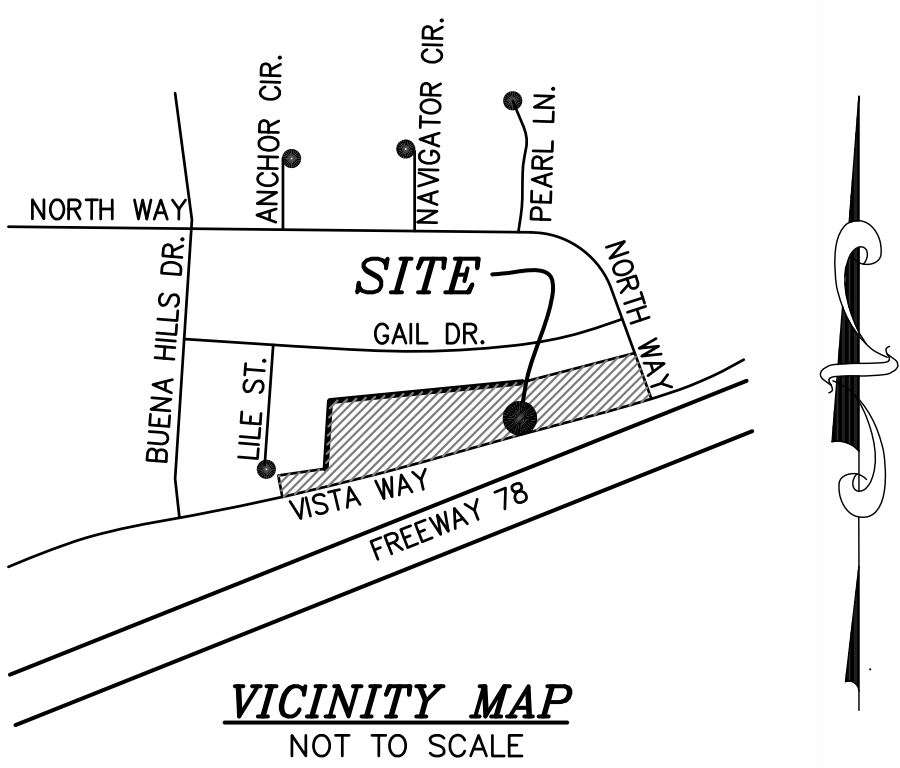


LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4"SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25A	---
(PVT.) PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 10	---
(PVT.)MODIFIED TYPE A-4 CLEANOUT W/SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

DEVIATIONS FROM STANDARDS				
ITEM	ORDINANCE NO.	PROPOSED DEVELOPMENT		
1	2-CAR GARAGES	ARTICLE 31	1-CAR GARAGE W/ 1-ASSIGNED PARKING SPACE	THERE IS A COVENANTE ON THE SITE THE SITE RESTRICTING DEVELOPMENT TO 1-STORY. ADDING 2-CAR GARAGES WILL REDUCE THE NUMBER OF UNITS FOR THE SITE. AS SHOWN WITH THE PARKING SPACES BETWEEN UNITS WE HAVE IMPROVED FIRE ACCESS
2	6' MAXIMUM HEIGHT RETAINING WALLS	ZONNING ORDINANCE	5' 4" MAXIMUM C-4 WALLS ALONG STREET FRONTAGE & WALLS UP TO 15' ALONG THE WEST & NORTH SIDE OF THE SITE.	THIS SITE IS LEFT OVER FROM THE CONSTRUCTION OF FREEWAY 78 & IS LONG AND NARROW IN SHAPE. THIS COMBINED WITH THE HEIGH COVENANT SEVERLY LIMITS THE TYPE OF DESIGN AVAILABLE FOR THIS SITE.
3	BUILDING SETBACKS 15' REAR & SIDE 20' FROM GARAGE	1050(AA) 1050(L) 1050(DD)	THIS DEVELOPMENT PROPOSES TO ENCRACH INTO THE SETBACKS	SEE ITEM #2
4	PRIVATE ROAD DESIGN 100' MINIMUM CL RADIUS & 30' MINIMUM VERTICAL CURVES	1050(T)	USED 60' CL RADIUS USED 50' VERTICAL & A 30' VERTICAL WITHIN CUL-DE-SAC	TO FIT A PRIVATE STREET WITHIN THIS NARROW LOT A 100' CL RADIUS WILL NOT WORK. THE SHORTER VERTICAL CURVES ARE USED TO TRANSITION TO THE HANDICAPPED PARKING AREA.
5	15' DEEP USABLE REAR YARDS	1050(T)	REDUCED REAR YARDS	SHAPE & GRADE OF SITE WOULD REQUIRE HIGHER RETAINING WALLS WITH 15' USABLE REAR YARDS.



EXISTING EASEMENTS NOTES

SEE SHEET NO. 2 FOR LOCATIONS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 19000480110 AND DATED FEBRUARY 01, 2019 EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

SHEET INDEX

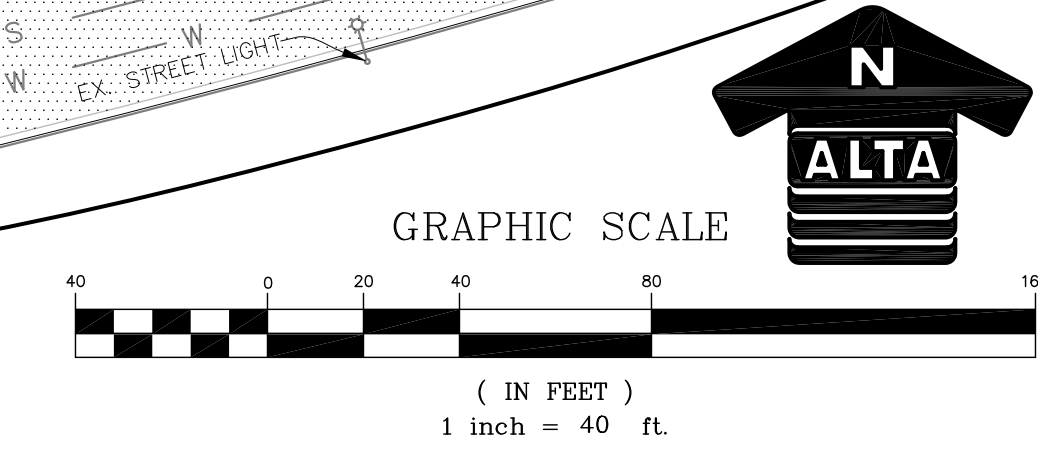
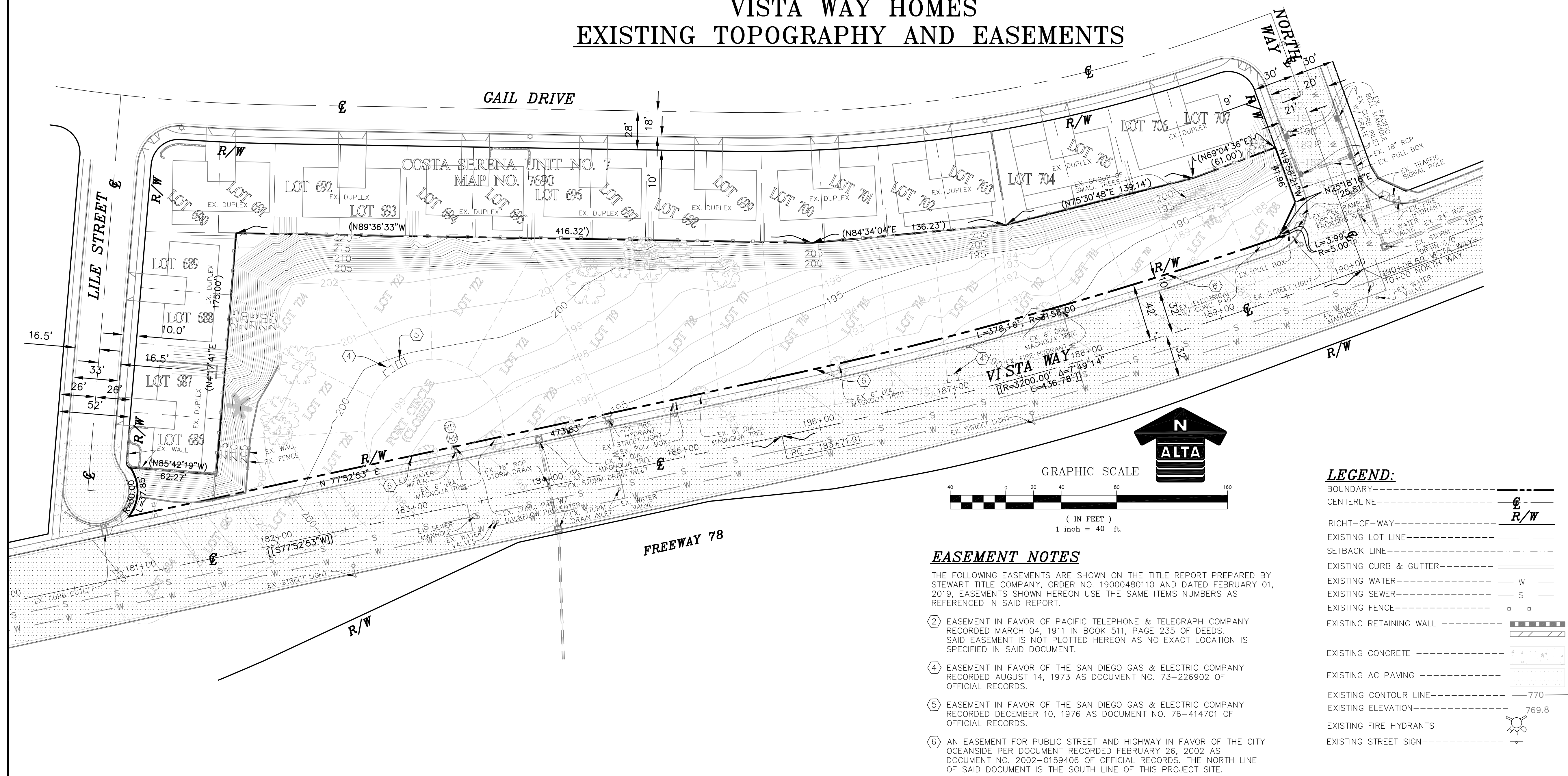
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VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS

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STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12



EASEMENT NOTES

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- EASEMENT IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH COMPANY RECORDED MARCH 04, 1911 IN BOOK 511, PAGE 235 OF DEEDS. SAID EASEMENT IS NOT PLOTTED HEREON AS NO EXACT LOCATION IS SPECIFIED IN SAID DOCUMENT.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED AUGUST 14, 1973 AS DOCUMENT NO. 73-226902 OF OFFICIAL RECORDS.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED DECEMBER 10, 1976 AS DOCUMENT NO. 76-414701 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR PUBLIC STREET AND HIGHWAY IN FAVOR OF THE CITY OCEANSIDE PER DOCUMENT RECORDED FEBRUARY 26, 2002 AS DOCUMENT NO. 2002-0159406 OF OFFICIAL RECORDS. THE NORTH LINE OF SAID DOCUMENT IS THE SOUTH LINE OF THIS PROJECT SITE.

LEGEND:

- BOUNDARY-----
CENTERLINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING AC PAVING-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING STREET SIGN-----

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES FIRE ACCESS PLAN ADA ACCESS PLAN

General Notes

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- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 18
- 5 UNITS 1,16-18 ARE 1,069 SF; 15 UNITS 2-14 ARE 1,089 SF
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=21
 - UNATTACHED COMPACT PARKING SPACES (14'x8')=2
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 - PARKING SPACES PER UNIT=2.39
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- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (70,000 LBS) MUST BE INSTALLED. IN ADDITION THE APPROVED, PERMANENT WATER SUPPLY (FIRE HYDRANTS MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- ADDRESSES SHALL BE 4" IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BEING DROPPED ON SITE.

FIRE LANE

FIRE LINE PULL

WATER AND SEWER NOTES:

- THE WATER AND SEWER FOR THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY THE HOA.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH UNIT MAINTAINED AND BILLED BY THE HOA.
- (2) TWO 2" WATER METERS & SERVICES ARE PROPOSED FOR THIS PROJECT AND BILLED TO THE HOA. UNITS 1-10 TO BE SERVICED BY THE WESTERLY WATER METER, UNITS 11-18 TO BE SERVICED BY THE EASTERLY WATER METER.
- (2) TWO 6" SEWER SERVICES ARE PROPOSED FOR THIS PROJECT UNITS 1-10 TO BE SERVICED BY THE WESTERLY SEWER SERVICE UNITS 11-18 TO BE SERVICED BY THE EASTERLY SEWER SERVICE.
- EACH UNIT WILL HAVE A 4" SEWER LATERAL WITH CLEANOUT THAT CONNECTS TO THE 6" SEWER SERVICE.

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021

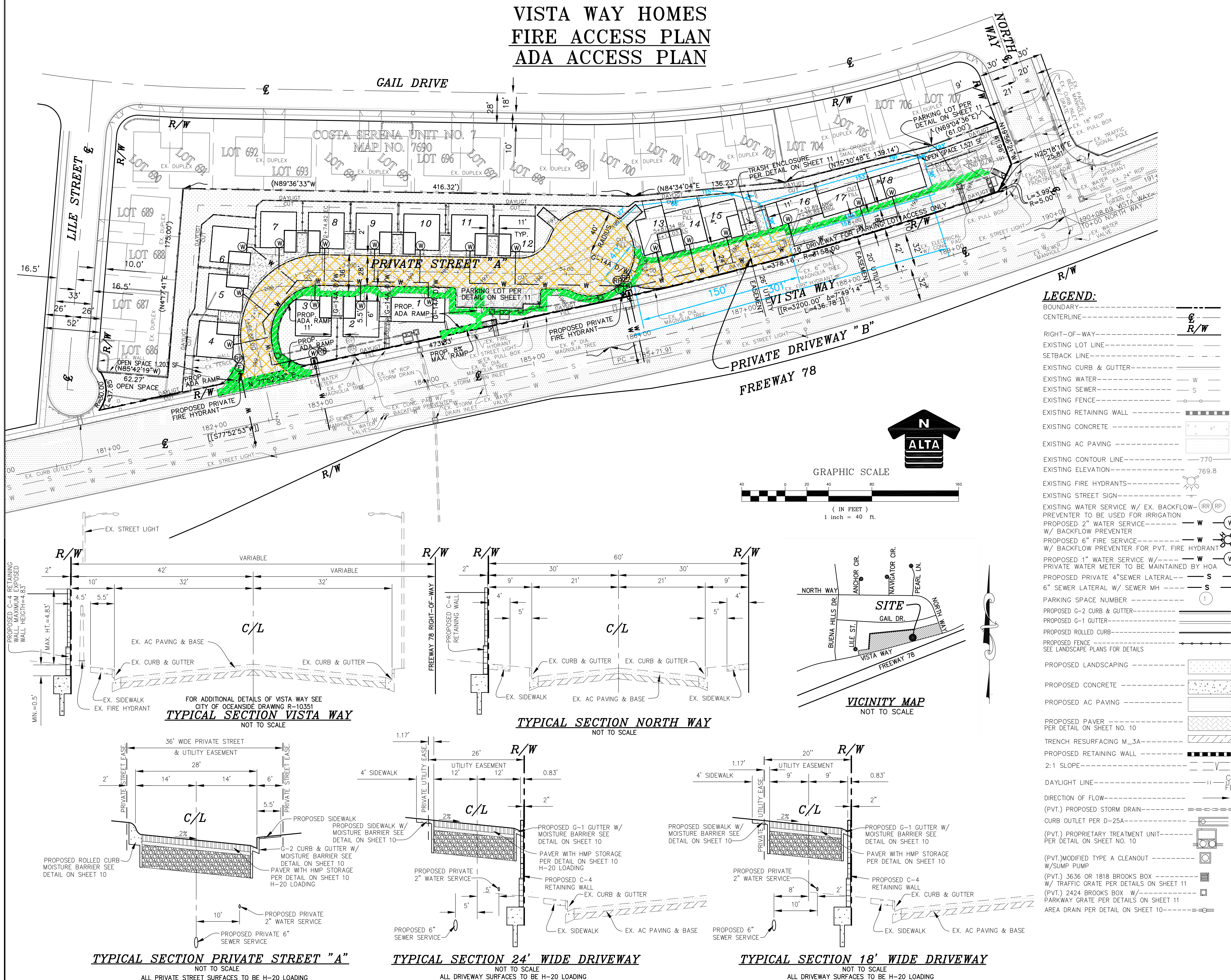


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PLANNING ENGINEERING SURVEYING
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JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 3 OF 10

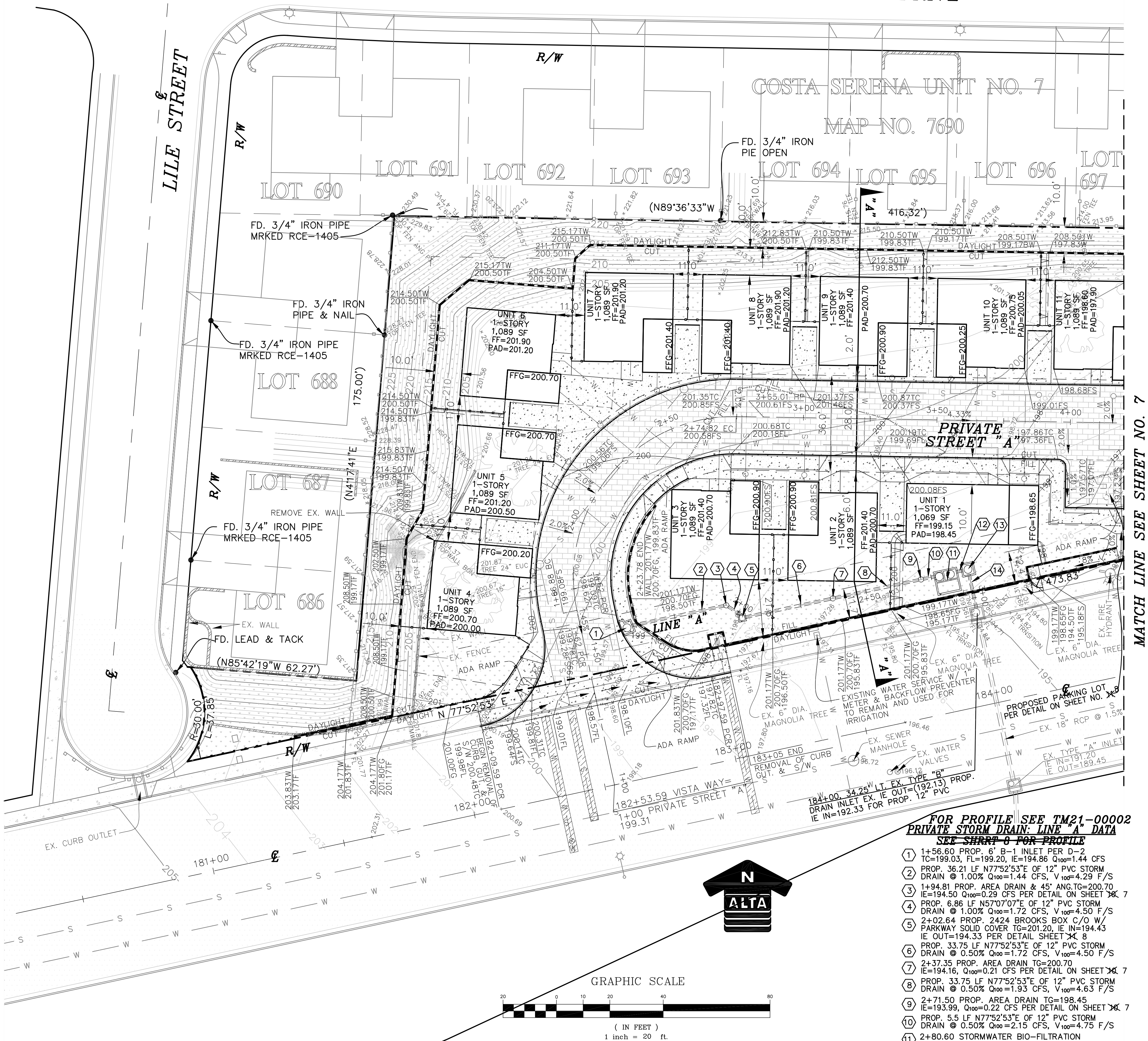


VISTA WAY HOMES CONCEPT GRADING PLAN

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690

**LEGEND:**

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE	---
W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE	---
W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4" SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25A	---
(PVT.) PROPRIETARY TREATMENT UNIT	---
PER DETAIL ON SHEET NO. 10	---
(PVT.) MODIFIED TYPE A CLEANOUT	---
W/SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX	---
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

MATCH LINE SEE SHEET NO. 7

FOR PROFILE SEE TM21-00002 PRIVATE STORM DRAIN LINE "A" DATA SEE SHEET 8 FOR PROFILE

- 1+56.60 PROP. 8'-1" INLET PER D-2 TO=199.03, FI=199.20, E=194.86 Q₁₀₀=1.44 CFS
- 2 PROP. 36.21 LF N77°52'53"E OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=1.44 CFS, V₁₀₀=4.29 F/S
- 3 1+94.81 PROP. AREA DRAIN & 45' ANG.TG=200.70 IE=194.50 Q₁₀₀=0.29 CFS PER DETAIL ON SHEET 7
- 4 PROP. 6.86 LF N57°07'07"E OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=1.72 CFS, V₁₀₀=4.50 F/S
- 5 2+02.64 PROP. 2424 BROOKS BOX C/O W/ PARKWAY SOLID COVER TG=201.20, IE IN=194.43 IE OUT=194.33 PER DETAIL SHEET 8
- 6 PROP. 33.75 LF N77°52'53"E OF 12" PVC STORM DRAIN @ 0.50% Q₁₀₀=1.72 CFS, V₁₀₀=4.50 F/S
- 7 2+37.35 PROP. AREA DRAIN TG=200.70 IE=194.16, Q₁₀₀=0.21 CFS PER DETAIL ON SHEET 7
- 8 PROP. 33.75 LF N77°52'53"E OF 12" PVC STORM DRAIN @ 0.50% Q₁₀₀=1.93 CFS, V₁₀₀=4.63 F/S
- 9 2+71.50 PROP. AREA DRAIN TG=198.45 IE=193.99, Q₁₀₀=0.22 CFS PER DETAIL ON SHEET 7
- 10 PROP. 5.5 LF N77°52'53"E OF 12" PVC STORM DRAIN @ 0.50% Q₁₀₀=2.15 CFS, V₁₀₀=4.75 F/S
- 11 2+80.60 STORMWATER BIO-FILTRATION SYSTEM BIO-CLEAN UNIT MWS L-8-8-4'-6"-V RIM=198.95 SEE DETAILS ON SHEET 7 IE IN=193.96, IE OUT=192.63
- 12 PROP. 2.0 LF N77°52'53"E OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=2.15 CFS, V₁₀₀=4.75 F/S
- 13 2+89.10 PROP. A-4 CLEANOUT PER D-9 RIM=196.95, IE=192.61, IE OUT=192.51
- 14 PROP. 12.89 LF N12°07'07"E OF 12" PVC STORM DRAIN @ 1.40% Q₁₀₀=2.15 CFS, V₁₀₀=5.39 F/S

General Notes

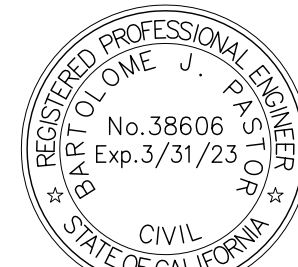
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6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIENT: 2:1
22. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
23. AREA/PERCENT OF SITE IN OPEN SPACE: 0
24. AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%
25. ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
26. GRADED AREA: 1.63 AC=82% OF SITE
27. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS PLANS FOR THIS PROJECT.
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/21

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, San Jose, CA 95128 (415) 749-8818 Fax (415) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 4 OF 10

VISTA WAY HOMES CONCEPT GRADING PLAN

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1

6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
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12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIENT: 2:1
22. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
23. AREA/PERCENT OF SITE IN OPEN SPACE: 0
24. AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
25. ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
26. GRADED AREA: 1.63 AC=82% OF SITE
27. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

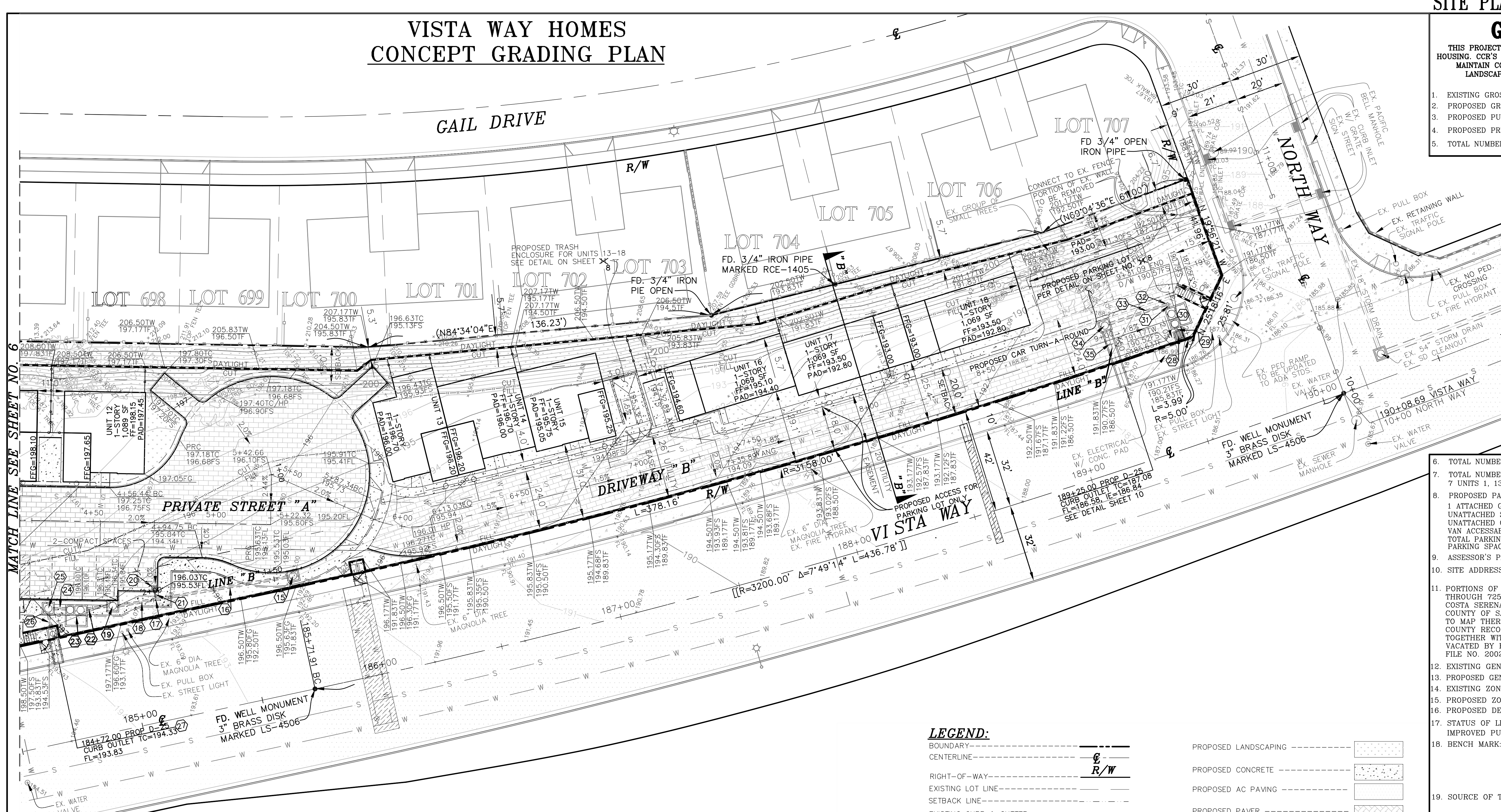
BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021

ALTA CONSULTANTS PLANNING ENGINEERING SURVEYING

1283 E. Main St., Suite 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 5 OF 10

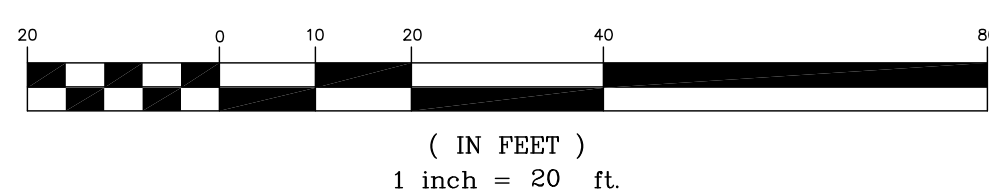


MATCH LINE SEE SHEET NO. 6

- FOR PROFILES SEE TM21-00002**
- PRIVATE STORM DRAIN: LINE "B" DATA**
SEE SHEET 6 FOR PROFILE
- 15+42.17 PROP. 5' B INLET PER D-2 TC=195.51
FL=194.68, IE=192.00, Q₁₀₀=0.67 CFS
 - 16+54.8 LF N50°17'51"E OF 12" PVC STORM DRAIN @ 0.50% Q₁₀₀=0.67 CFS, V₁₀₀=2.72 F/S
 - 17+1+98.99 PROP. 12"x6" PVC TEE IE 12" PVC=191.63
IE 6" PVC=191.68, Q₁₀₀=0.28 CFS
 - 18+18.8 LF N50°17'51"E OF 12" PVC STORM DRAIN @ 0.50% Q₁₀₀=0.96 CFS, V₁₀₀=2.99 F/S
 - 19+2+16.77 PROP. 5' B INLET PER D-2
IE IN=191.54, IE OUT=191.44, Q₁₀₀=1.56 CFS
 - 20+1+98.96, 4.55' RT. PROP. 1818 BROOKS BOX W/ TRAFFIC GRATE TG=195.53, IE=191.92, Q₁₀₀=0.28 CFS
PER DETAIL SHEET 8
 - 21+3.8 LF N09°42'09"E OF 6" PVC STORM DRAIN @ 1.00% Q₁₀₀=0.28 CFS, V₁₀₀=2.86 F/S
 - 22+8.89 LF N81°14'49"E OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=2.51 CFS, V₁₀₀=4.92 F/S
 - 23+31.66 STORMWATER BIO-FILTRATION SYSTEM
BIO-CLEAN UNIT MWS L-8-8-4-6"-V
RIM=196.65 SEE DETAILS ON SHEET 7
IE IN=191.35, IE OUT=190.02
 - 24+5.5 LF N89°02'30"W OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=2.51 CFS, V₁₀₀=4.92 F/S
 - 25+43.16 PROP. MOD. A-4 CLENOUT W/PUMP
PER D-9 RIM=196.96, IE IN=189.91
IE OUT PRESSURE=194.33
 - 26+6.5 LF N12°11'57"E OF 12" PVC STORM DRAIN @ 3.20% Q₁₀₀=2.51 CFS, V₁₀₀=7.63 F/S
 - 27+14.42 LF N12°11'57"W OF D-25A CURB OUTLET @ 2.00% Q₁₀₀=2.51 CFS
FL=193.83
- PRIVATE STORM DRAIN: LINE "C" DATA**
SEE SHEET 6 FOR PROFILE
- 28+1+98.44 PROP. 3636 BROOKS BOX W/ TRAFFIC GRATE TG=190.39, IE=187.37, Q₁₀₀=0.67 CFS
PER DETAIL SHEET 8
 - 29+1.80 LF N28°52'18"W OF 12" PVC STORM DRAIN @ 5.00% Q₁₀₀=1.37 CFS, V₁₀₀=7.59 F/S
 - 30+1+91.08 STORMWATER BIO-FILTRATION SYSTEM
BIO-CLEAN UNIT MWS L-8-8-4-6"-V
RIM=190.81 SEE DETAILS ON SHEET 7
IE IN=187.28, IE OUT=185.95
 - 31+2.00 LF N18°57'17"E OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=1.37 CFS, V₁₀₀=4.24 F/S
 - 32+1+85.08 PROP. 12" PVC 90° ANG. IE=185.93
 - 33+24.91 LF N71°02'43"W OF 12" PVC STORM DRAIN @ 1.00% Q₁₀₀=1.37 CFS, V₁₀₀=4.24 F/S
 - 34+1+58.15 PROP. MOD. A-4 CLENOUT W/PUMP
PER D-9 RIM=191.13, IE IN=186.59
IE OUT PRESSURE=187.07
 - 35+24.17 LF N18°29'53"W OF D-25A CURB OUTLET @ 2.00% Q₁₀₀=1.37 CFS
FL=186.59



GRAPHIC SCALE



LEGEND:

- BOUNDARY-----
CENTERLINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING STREET SIGN-----
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION-----
PROPOSED 2" WATER SERVICE-----
PROPOSED 6" FIRE SERVICE-----
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA-----
PROPOSED PRIVATE 4" SEWER LATERAL-----
6" SEWER LATERAL W/ SEWER MH-----
PARKING SPACE NUMBER-----
PROPOSED G-2 CURB & GUTTER-----
PROPOSED G-1 GUTTER-----
PROPOSED ROLLED CURB-----
PROPOSED FENCE-----
SEE LANDSCAPE PLANS FOR DETAILS

- PROPOSED LANDSCAPING-----
PROPOSED CONCRETE-----
PROPOSED AC PAVING-----
PROPOSED PAVER-----
PER DETAIL ON SHEET NO. 10
TRENCH RESURFACING M_3A-----
PROPOSED RETAINING WALL-----
2:1 SLOPE-----
DAYLIGHT LINE-----
(PVT.) PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25-----
(PVT.) PROPRIETARY TREATMENT UNIT-----
PER DETAIL ON SHEET NO. 10
(PVT.) MODIFIED TYPE A CLEANOUT-----
W/SUMP PUMP
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11
AREA DRAIN PER DETAIL ON SHEET 10-----



1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1.13-18 ARE 1.069 SF; 11 UNITS 2-12 ARE 1.089 SF

8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (15'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39

9. ASSESSOR'S PARCEL NUMBER: 165-493-47

10 SITE ADDRESS: 3710 VISTA WAY

10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056

11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721

THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF
COSTA SERENA UNIT NO. 2 IN THE CITY OF OCEANSIDE

COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING

TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE
COUNTY RECORDER OF SAN DIEGO COUNTY JULY 3, 1973.

COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973,
TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS

VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-2452425 OF OFFICIAL RECORDS

FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL

13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING

15. PROPOSED ZONING: RM-A

16. PROPOSED DENSITY: 10.15 DU/AC

17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY

17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULL IMPROVED PUBLIC STREET

18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC

STAMPED LS-4506

LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE

RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88

CITY OF OCEANSIDE #1020

19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SUBMITTED ON: 02/09/2000

30. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

PROFILE: PRIVATE STREET "A"
 SCALE: HORIZONTAL 1"=20'
 VERTICAL 1"=20'

Station 1+00:
 182+53.59 VISTA WAY= 1+00 PRIVATE STREET "A" (199.31)
 1+30.50 LIP OF GUTTER
 MATCH EX. (198.70)
 2.60% 138.57 FL
 1+40.50 LIP OF GUTTER
 1+42 RIGHT OF WAY
 BEGIN PAVERS 198.72
 O.S. WIDE CONC.
 MOISTURE BARRIER
 1+49.38 90' ANG. 2" WATER SERVICE
 1+83.38 PROP. SEWER MH
 RIM=199.57, IE=190.38
 1+49.38 45' ANG. 2" WATER SERVICE
 1+83.38 PROP. SEWER MH
 RIM=199.57, IE=190.38
 2+58.33 PROP. SEWER MH
 RIM=200.65, IE=191.67
 2+49.09 45' ANG. 2" WATER SERVICE

Station 2+00:
 2+58.33 PROP. SEWER MH
 RIM=200.65, IE=191.67
 2+49.09 45' ANG. 2" WATER SERVICE

Station 3+00:
 3+10 200.43
 3+35 199.89
 3+60 PIVC 198.98
 3+85 198.85
 4+10 EVC 197.40
 4+10.94 BEGIN SERVICE 2" WATER SERVICE
 4+15.94 PROP. 6" SEWER MH
 RIM=197.48, IE=192.28
 4+95 195.72
 5+13.37 LF 195.57
 5+20 EVC 195.59
 5+22.32 CL ANG. POINT 195.60
 5+42.66 CENTER OF CUL-DE-SAC 196.10

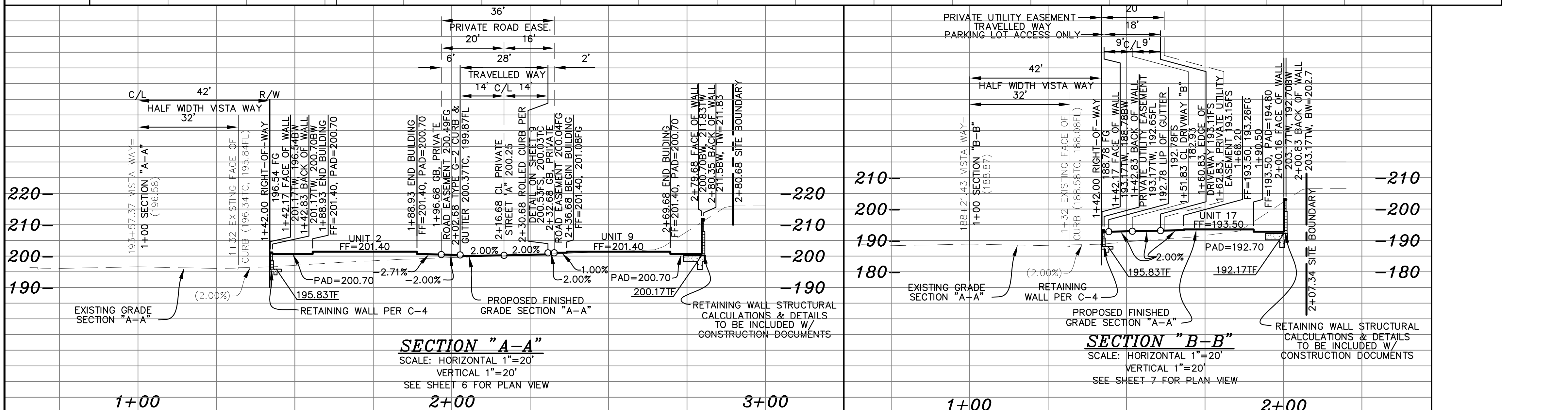
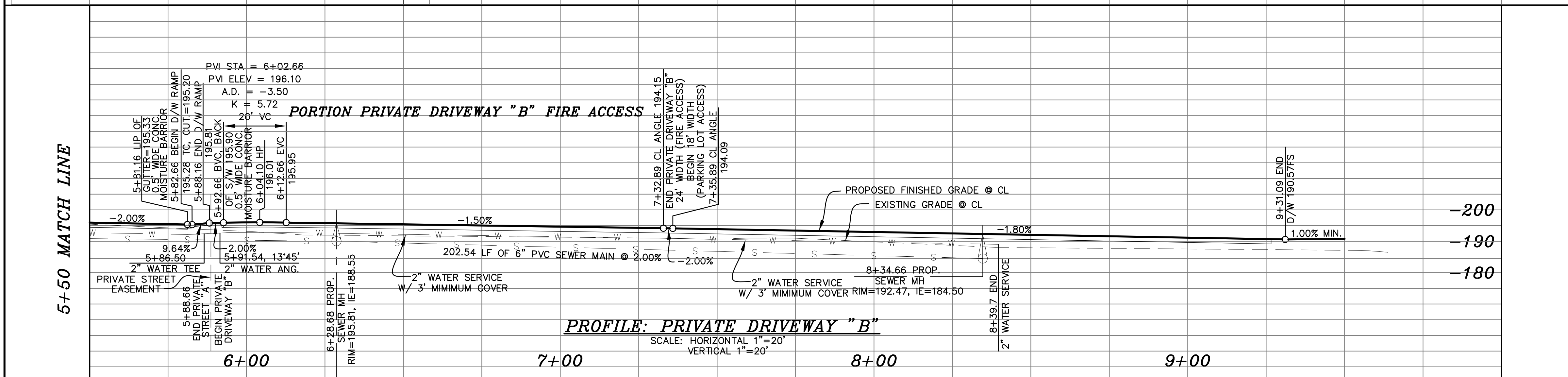
Station 4+00:
 4+10.94 BEGIN SERVICE 2" WATER SERVICE
 4+15.94 PROP. 6" SEWER MH
 RIM=197.48, IE=192.28
 4+95 195.72
 5+13.37 LF 195.57
 5+20 EVC 195.59
 5+22.32 CL ANG. POINT 195.60
 5+42.66 CENTER OF CUL-DE-SAC 196.10

Station 5+00:
 5+42.66 CENTER OF CUL-DE-SAC 196.10

Grades and Slopes:
 -2.00%
 1.45%
 -1.00%
 2.00%
 0.57%
 2.44%

Vertical Curve Data:
 PVI STA = 3+10
 PVI ELEV = 201.15
 A.D. = -5.78
 K = 17.30
 100' VC
 PVI STA = 3+85
 PVI ELEV = 197.90
 A.D. = 2.34
 K = 21.39
 50' VC
 PVI STA = 5+05
 PVI ELEV = 195.51
 A.D. = 11.71
 K = 11.71
 50' VC

Other Notes:
 EXISTING GRADE @ CL
 PROPOSED FINISHED GRADE @ CL
 96.63 LF OF 6" PVC SEWER MAIN @ 1.50%
 85.06 LF OF 6" PVC SEWER MAIN @ 1.50%
 132.96 LF OF 6" PVC SEWER MAIN @ 1.00%
 3+73.03 END 2" WATER SERVICE
 3+88.03 PROP. 6" SEWER CLEANOUT
 RIM=198.15, IE=193.00
 186.71 LF OF 6" PVC SEWER MAIN @ 2.00%
 2" WATER SERVICE W/ 3' MINIMUM COVER



BARTOLOME J. PASTOR, RCE 3860

DATED: NOVEMBER 3, 202



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

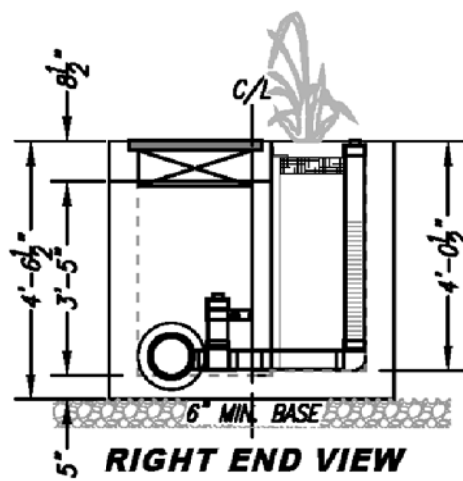
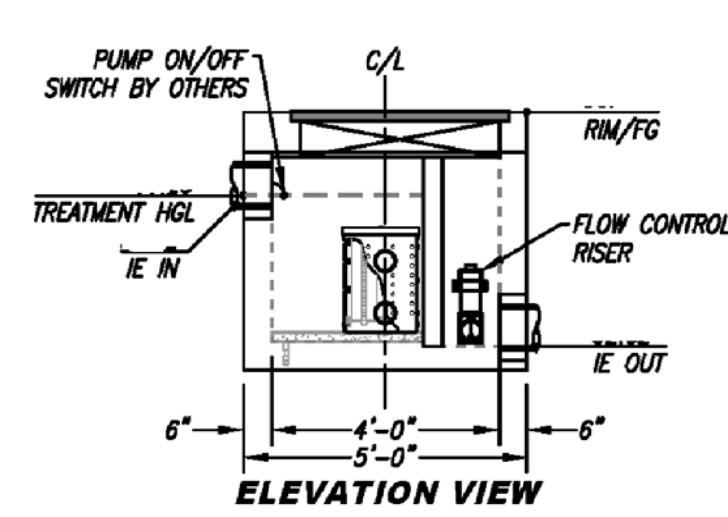
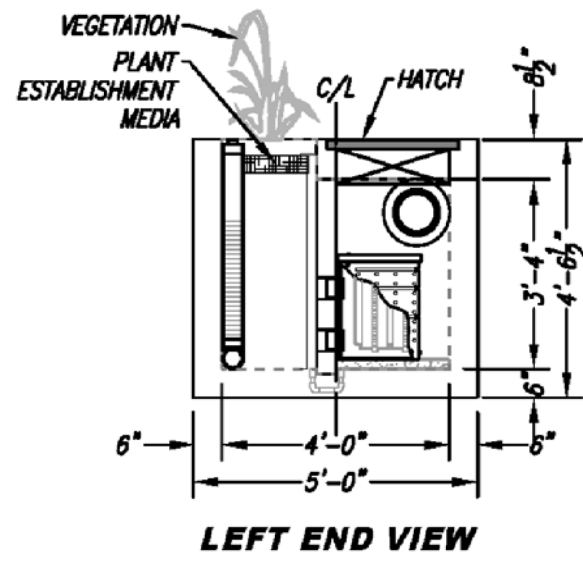
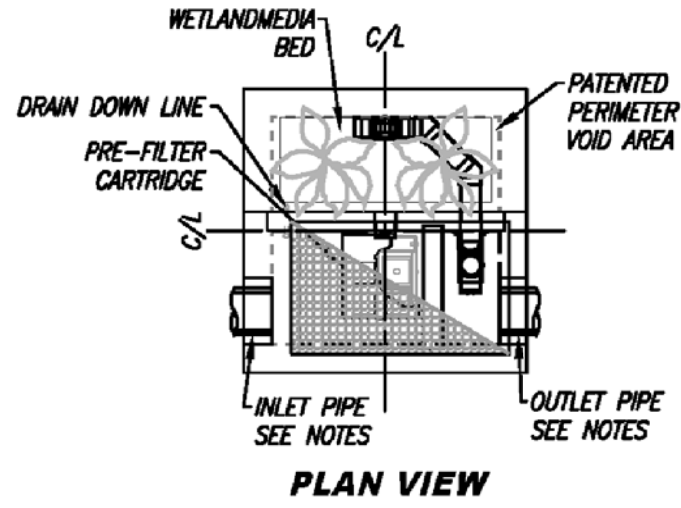
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 6 OF 10

VISTA WAY HOMES
STORM WATER DETAILS

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (CFS)	
1,248		N/A	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		OFFLINE	
PIPE DATA		I.E. MATERIAL DIAMETER	
INLET PIPE		PVC 8"	
OUTLET PIPE		PVC 8"	
PRETREATMENT		BIOFILTRATION DISCHARGE	
RIM ELEVATION		PEDESTRIAN	
SURFACE LOAD		OPEN PLANTER PEDESTRIAN	
FRAME & COVER		24" X 42" N/A N/A	
WETLAND/MEDIA VOLUME (CY)		0.83	
ORIFICE SIZE (DIA. INCHES)		#0.48"	
NOTES: PRELIMINARY NOT FOR CONSTRUCTION.			

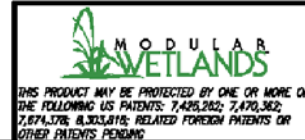


REQUIRED TREATMENT VOLUME (CF)	
DRAWDOWN DURATION (HOURS)	36
AVERAGE DISCHARGE RATE PER MWS UNIT (GPM)	
OPERATING HEAD (FT)	2.5
WETLAND MEDIA INFILTRATION RATE (IN/HR)	26
WETLAND MEDIA LOADING RATE (GPM/SF)	0.26

MWS-L-4-4-1" V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

- INSTALLATION NOTES**
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OBTAIN AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
 - UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 8" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
 - CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
 - VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
 - CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

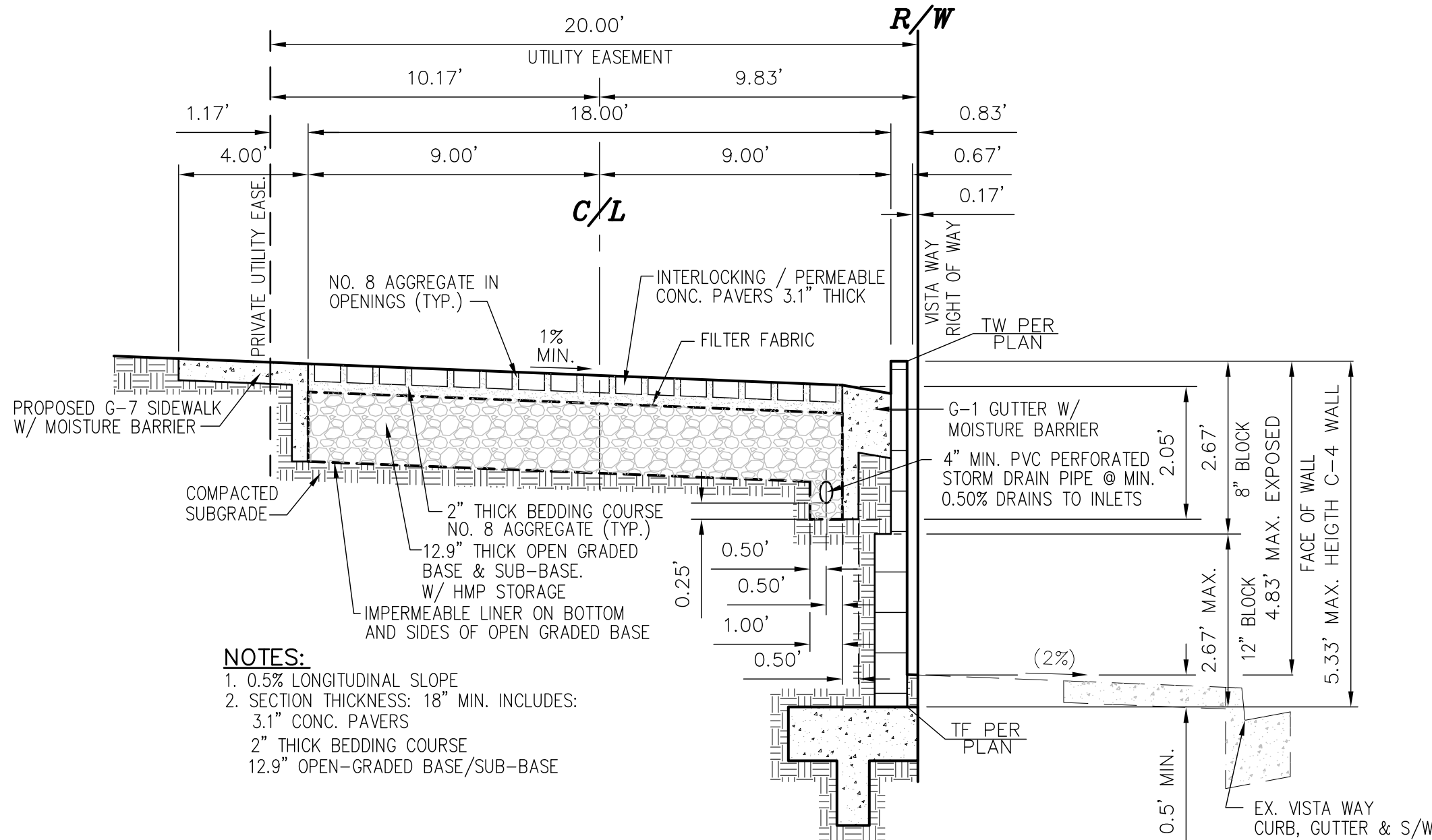
- GENERAL NOTES**
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



PROPRIETARY AND CONFIDENTIAL:
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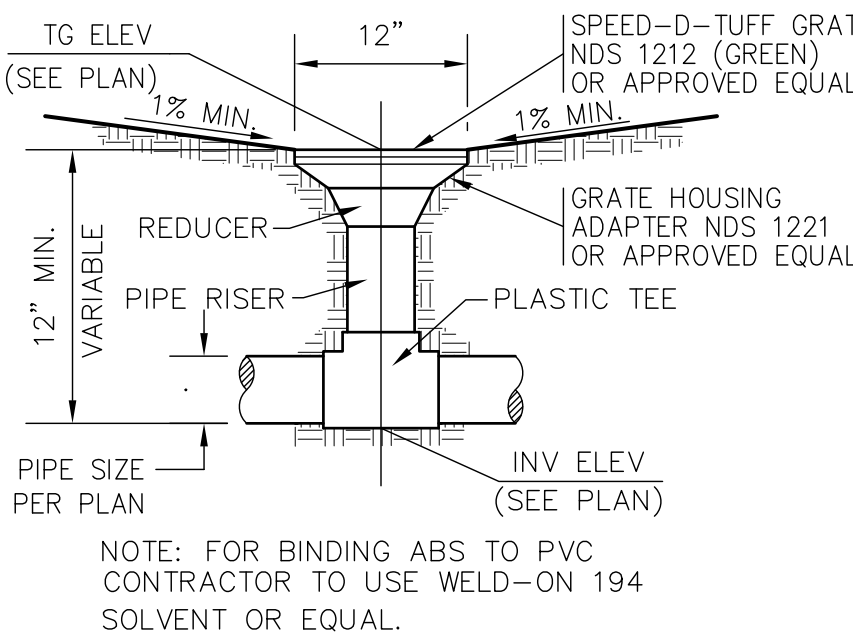


MODULAR WETLAND



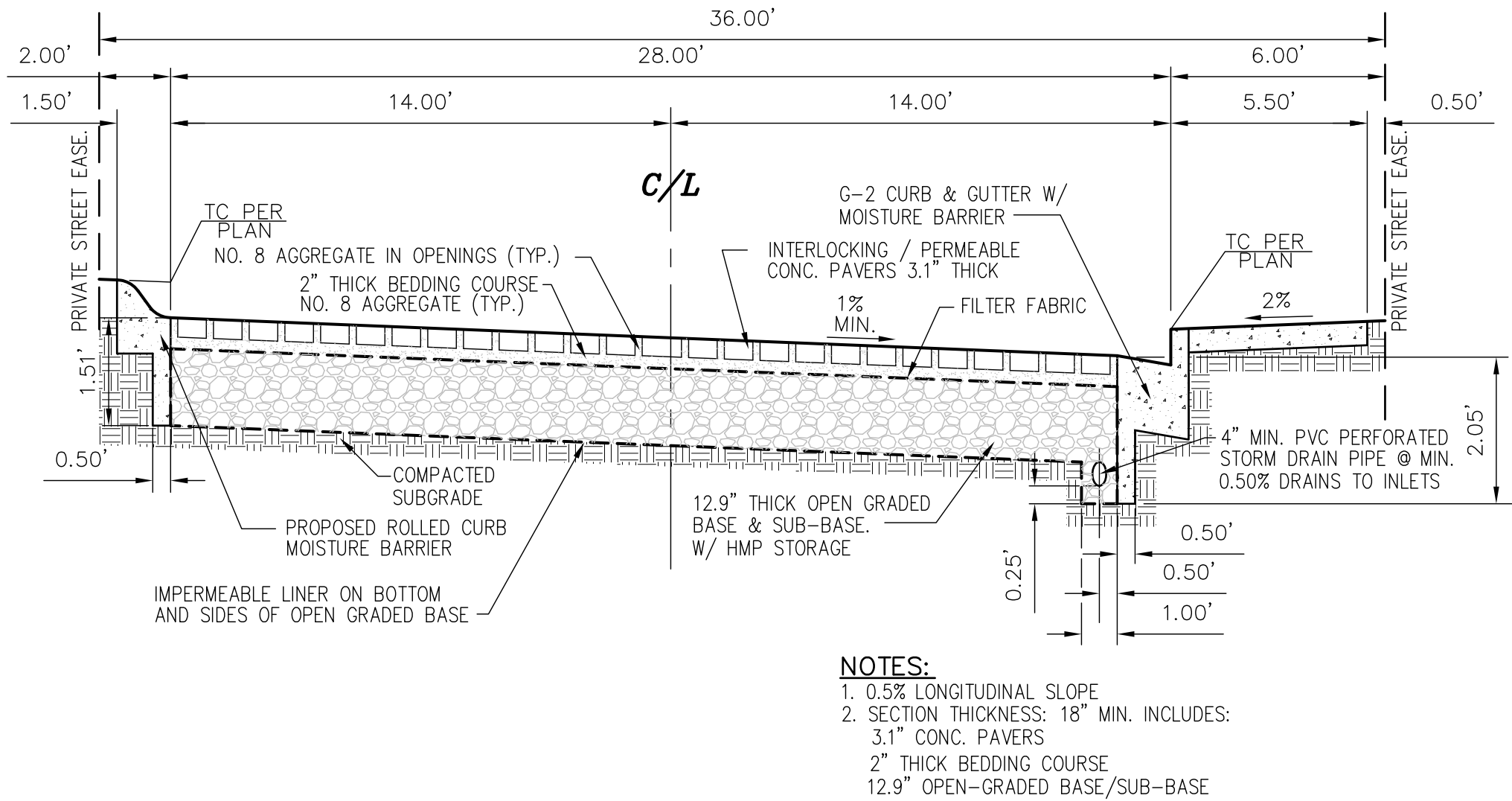
TYPICAL PAVER SECTION FOR PRIVATE DRIVEWAY "B"
18' WIDTH FOR PARKING LOT ACCESS

NOT TO SCALE



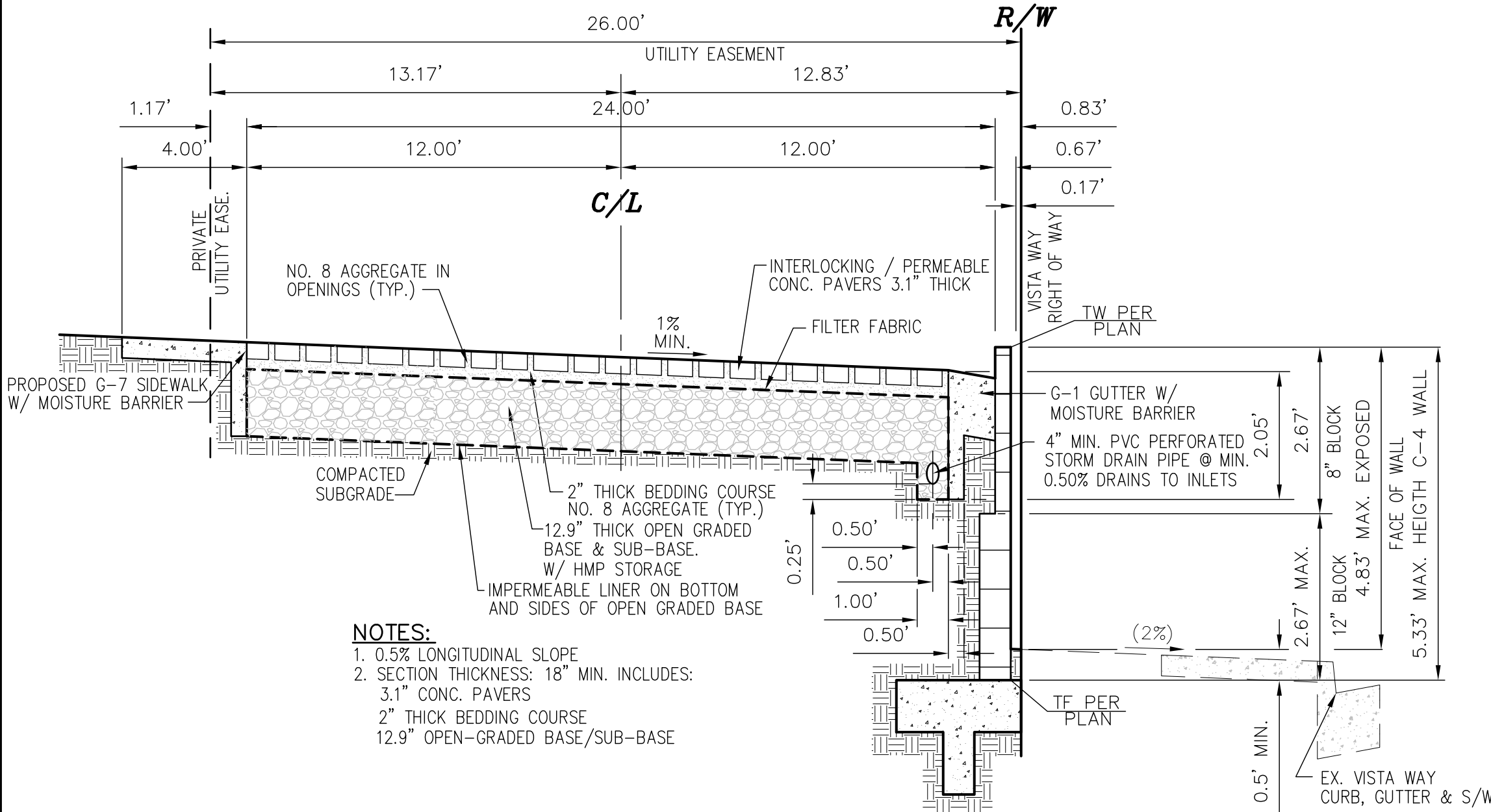
PRIVATE
LANDSCAPE AREA DRAIN DETAIL

NO SCALE



TYPICAL PAVER SECTION FOR PRIVATE STREET "A"

NOT TO SCALE
ALL PRIVATE STREET SURFACES TO BE H-20 LOADING



TYPICAL PAVER SECTION FOR PRIVATE DRIVEWAY "B"
24' WIDTH FOR EMERGENCY (FIRE) ACCESS

NOT TO SCALE
PRIVATE DRIVEWAY SURFACES TO BE H-20 LOADING

TENTATIVE MAP T21-00002

General Notes

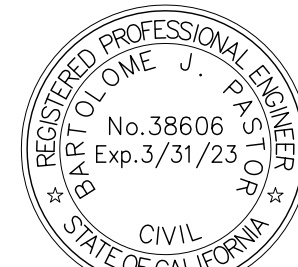
THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT ALONG

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
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- PROPOSED PRIVATE STREET AREA: 0 AC
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- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: 12RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: NOVEMBER 3, 2021



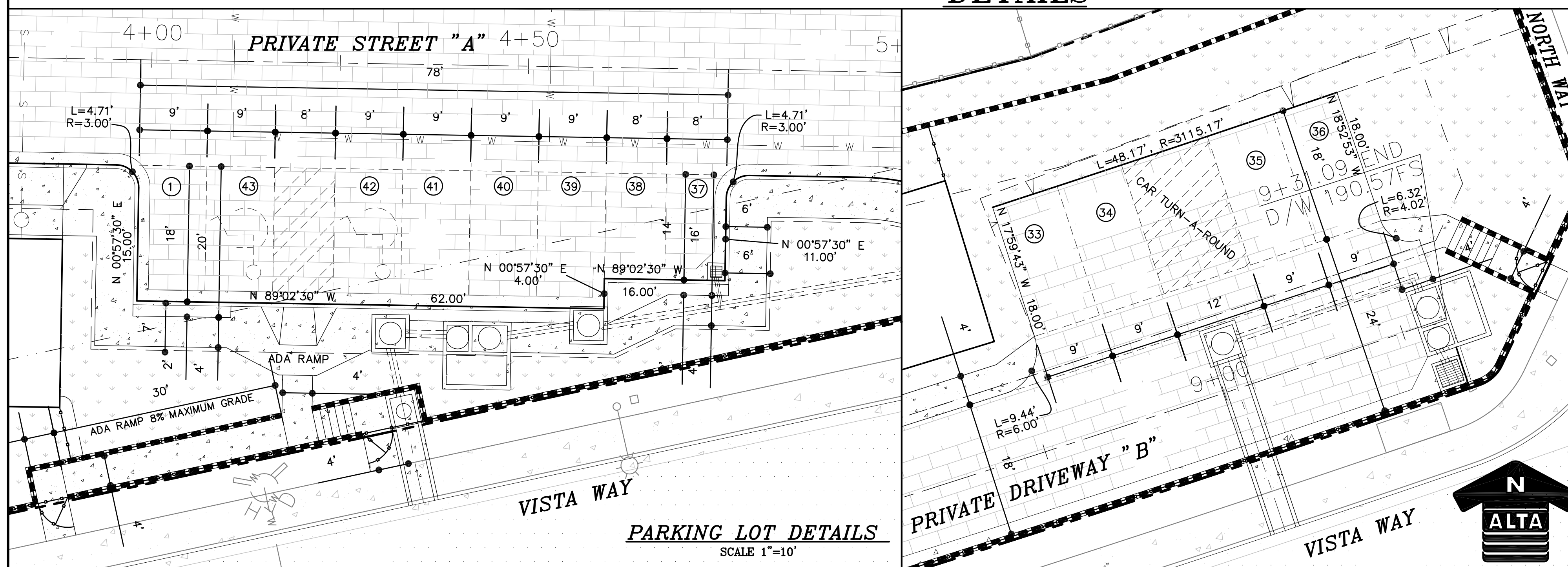
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

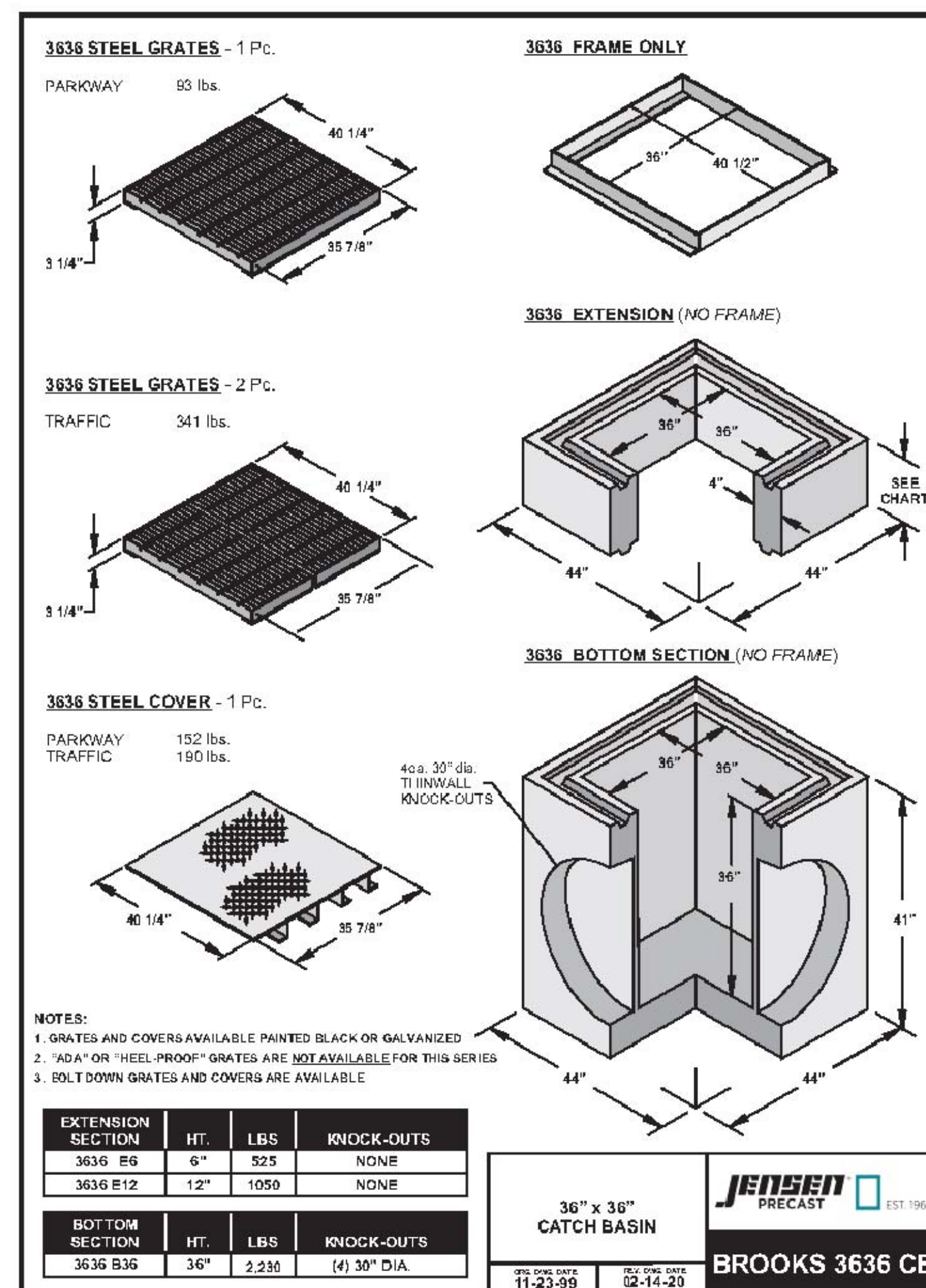
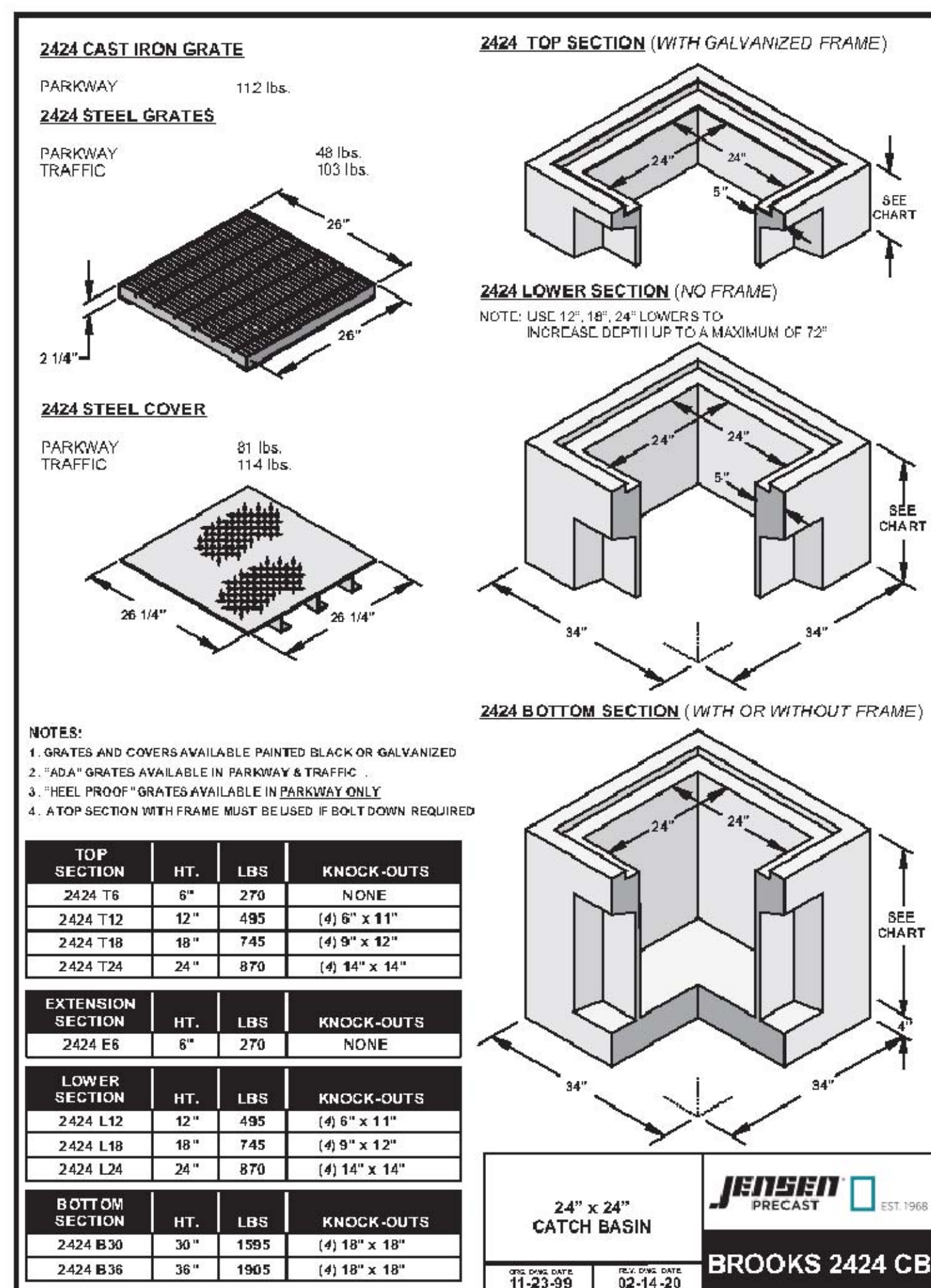
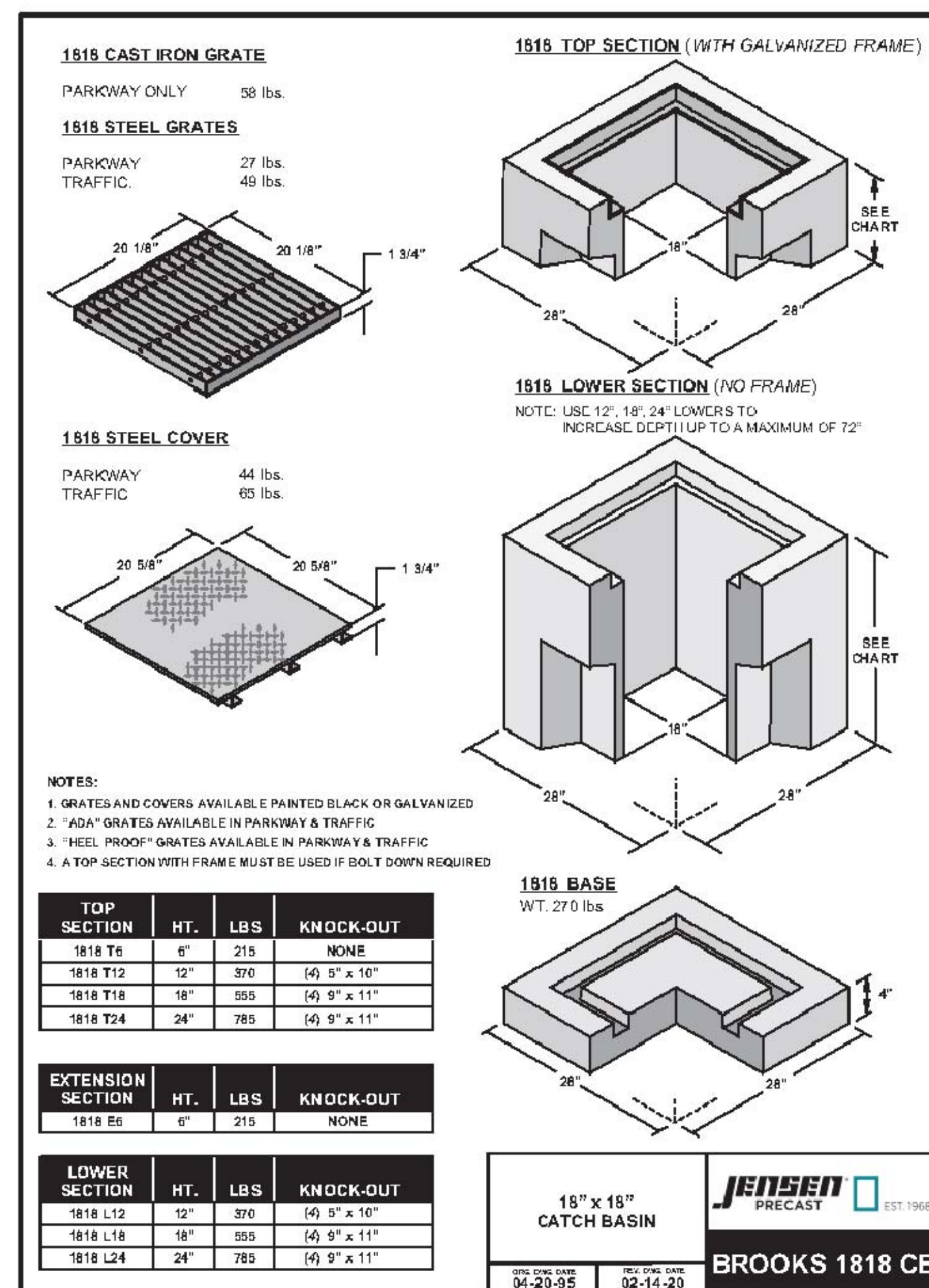
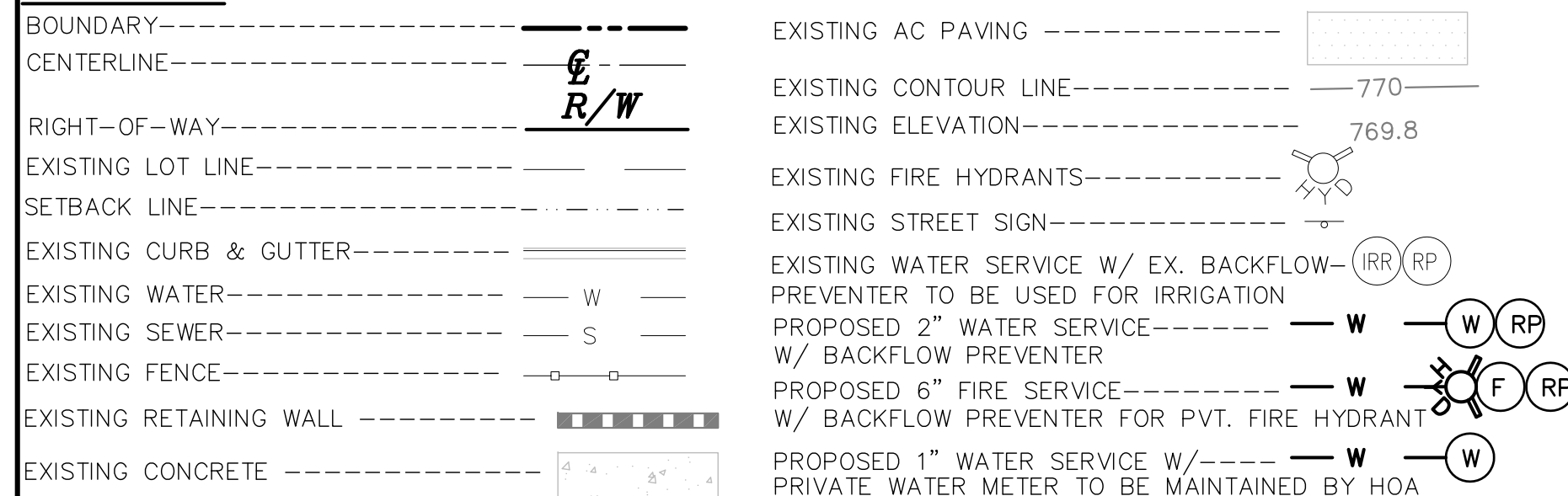
Date: 11/03/2021

SHEET 7 OF 8

VISTA WAY HOMES DETAILS



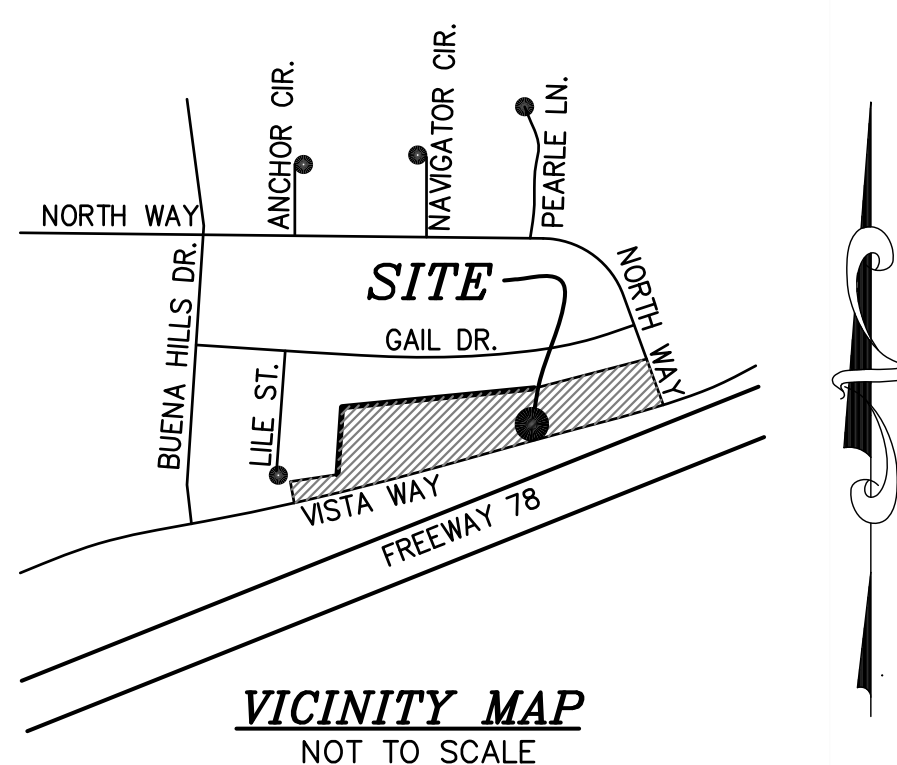
LEGEND:



General Notes

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- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
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- PROPOSED PRIVATE STREET AREA: 0 AC
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- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/12/16



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: NOVEMBER 3, 2021



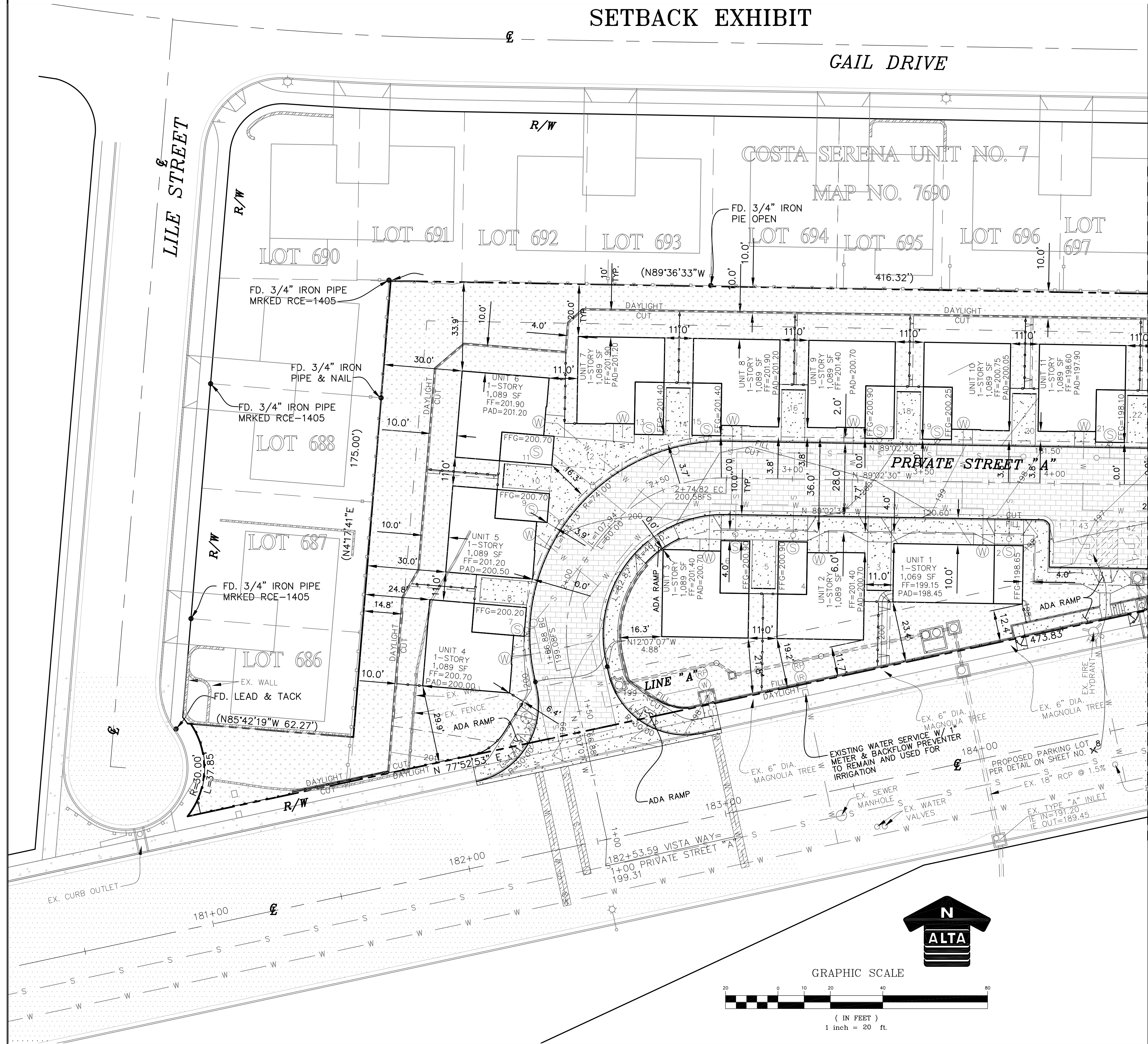
ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Suite 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 8 OF 10

VISTA WAY HOMES
SETBACK EXHIBIT



MATCH LINE SEE SHEET NO. 10

LEGEND:

BOUNDARY-----	-----
CENTERLINE-----	-----
RIGHT-OF-WAY-----	-----
EXISTING LOT LINE-----	-----
SETBACK LINE-----	-----
EXISTING CURB & GUTTER-----	-----
EXISTING WATER-----	W
EXISTING SEWER-----	S
EXISTING FENCE-----	-----
EXISTING RETAINING WALL-----	-----
EXISTING CONCRETE-----	-----
EXISTING AC PAVING-----	-----
EXISTING CONTOUR LINE-----	-----
EXISTING ELEVATION-----	-----
EXISTING FIRE HYDRANTS-----	-----
EXISTING STREET SIGN-----	-----
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	W
PROPOSED 2" WATER SERVICE-----	W
W/ BACKFLOW PREVENTER	W
PROPOSED 6" FIRE SERVICE-----	W
W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	W
PROPOSED 1" WATER SERVICE W/-----	W
PRIVATE WATER METER TO BE MAINTAINED BY HOA	W
PROPOSED PRIVATE 4"SEWER LATERAL---	S
6" SEWER LATERAL W/ SEWER MH-----	S
PARKING SPACE NUMBER-----	1
PROPOSED G-2 CURB & GUTTER-----	-----
PROPOSED G-1 GUTTER-----	-----
PROPOSED ROLLED CURB-----	-----
PROPOSED FENCE-----	-----
SEE LANDSCAPE PLANS FOR DETAILS	-----
PROPOSED LANDSCAPING-----	-----
PROPOSED CONCRETE-----	-----
PROPOSED AC PAVING-----	-----
PROPOSED PAVER PER DETAIL ON SHEET NO. 10	-----
TRENCH RESURFACING M_3A-----	-----
PROPOSED RETAINING WALL-----	-----
2:1 SLOPE-----	-----
DAYLIGHT LINE-----	-----
DIRECTION OF FLOW-----	-----
(PVT.) PROPOSED STORM DRAIN-----	-----
CURB OUTLET PER D-25-----	-----
(PVT.) PROPRIETARY TREATMENT UNIT----- PER DETAIL ON SHEET NO. 10	-----
(PVT.)MODIFIED TYPE A CLEANOUT----- W/SUMP PUMP	-----
(PVT.) 3636 OR 1818 BROOKS BOX----- W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	-----
(PVT.) 2424 BROOKS BOX W/----- PARKWAY GRATE PER DETAILS ON SHEET 11	-----
AREA DRAIN PER DETAIL ON SHEET 10-----	-----

- General Notes**
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- EXISTING GROSS SUBDIVISION AEREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AEREA: 1.97 AC
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 - PROPOSED ZONING: RM-A
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ELEVATION: 206.80 DATUM: NAV 88
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 - SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - MAXIMUM SLOPE GRADIENT: 2:1
 - AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
 - AREA/PERCENT OF SITE IN OPEN SPACE: 0
 - AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
 - FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS PLANS FOR THIS PROJECT.
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



VISTA WAY HOMES SETBACK EXHIBIT

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ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



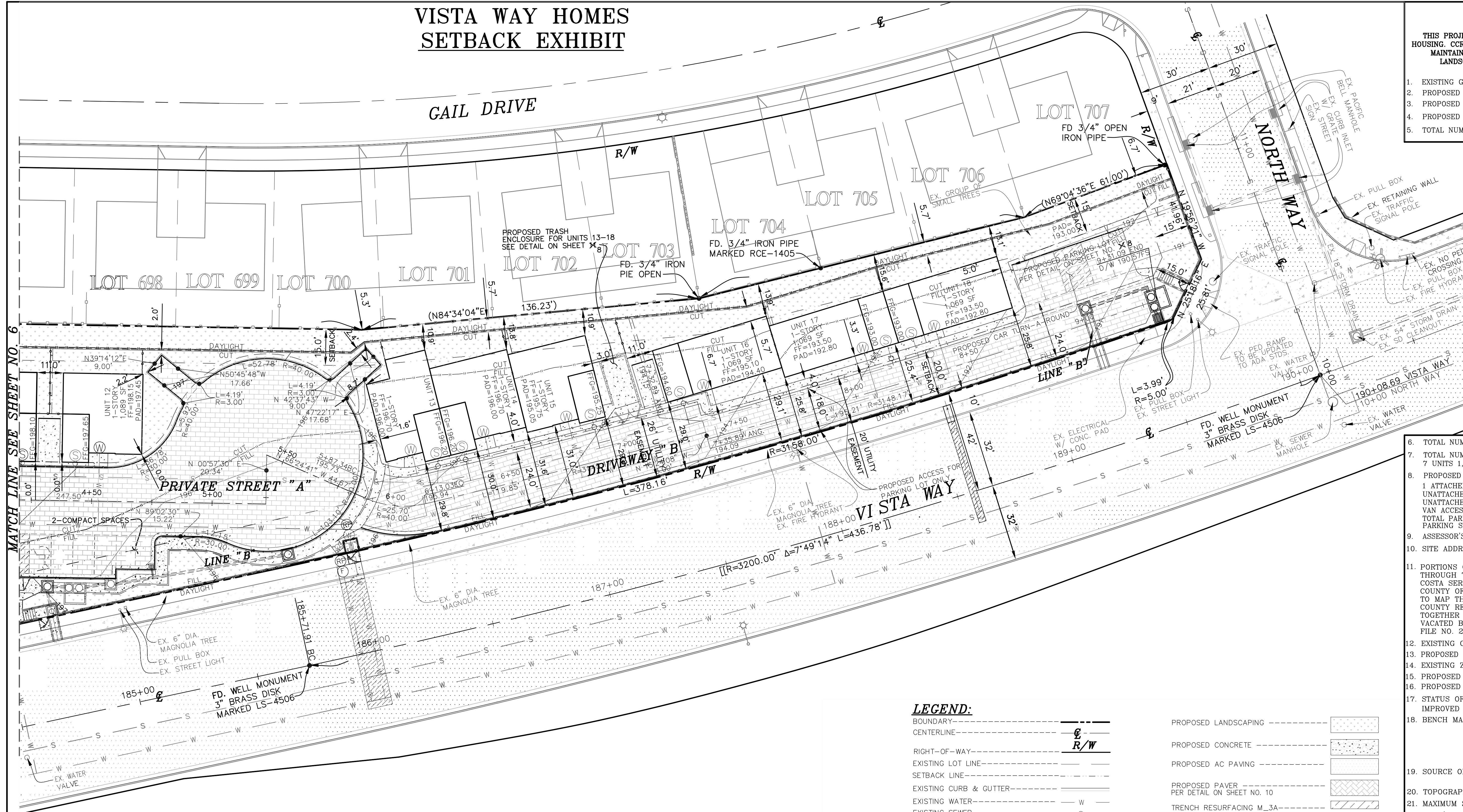
ALTA CONSULTANTS PLANNING ENGINEERING SURVEYING

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JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 10 OF 10

MATCH LINE SEE SHEET NO. 6



LEGEND:

BOUNDARY	---
CENTERLINE	—C—
RIGHT-OF-WAY	—R/W—
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	—W—
EXISTING SEWER	—S—
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
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PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 CUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
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CURB OUTLET PER D-25	---
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(PVT.) MODIFIED TYPE A CLEANOUT W/ SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

GRAPHIC SCALE

