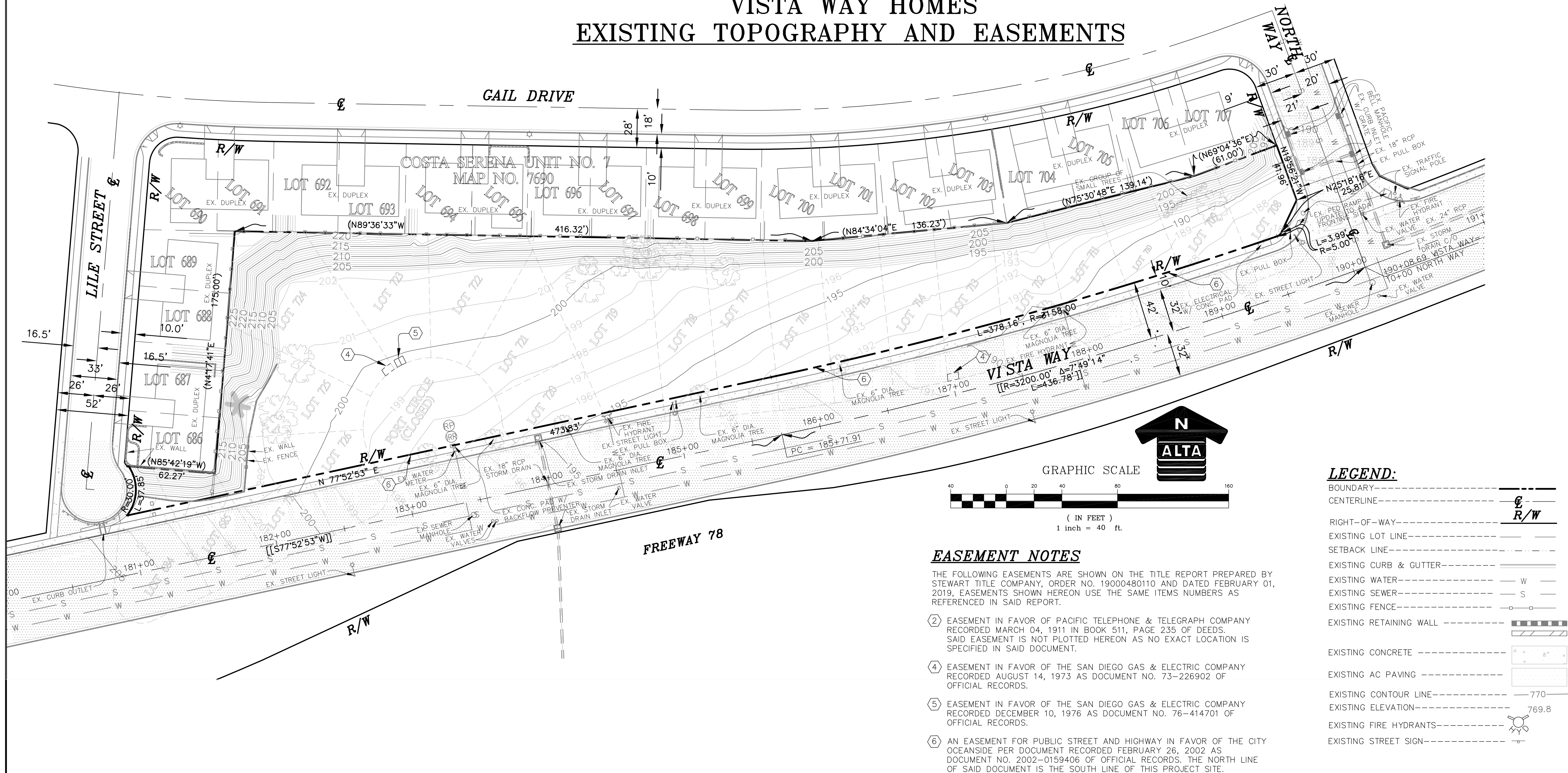


VISTA WAY HOMES EXISTING TOPOGRAPHY AND EASEMENTS

General Notes

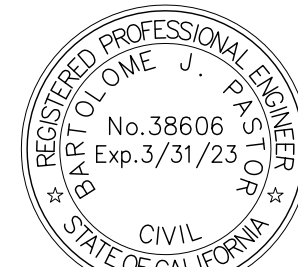
THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AEREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AEREA: 1.97 AC
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12



ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



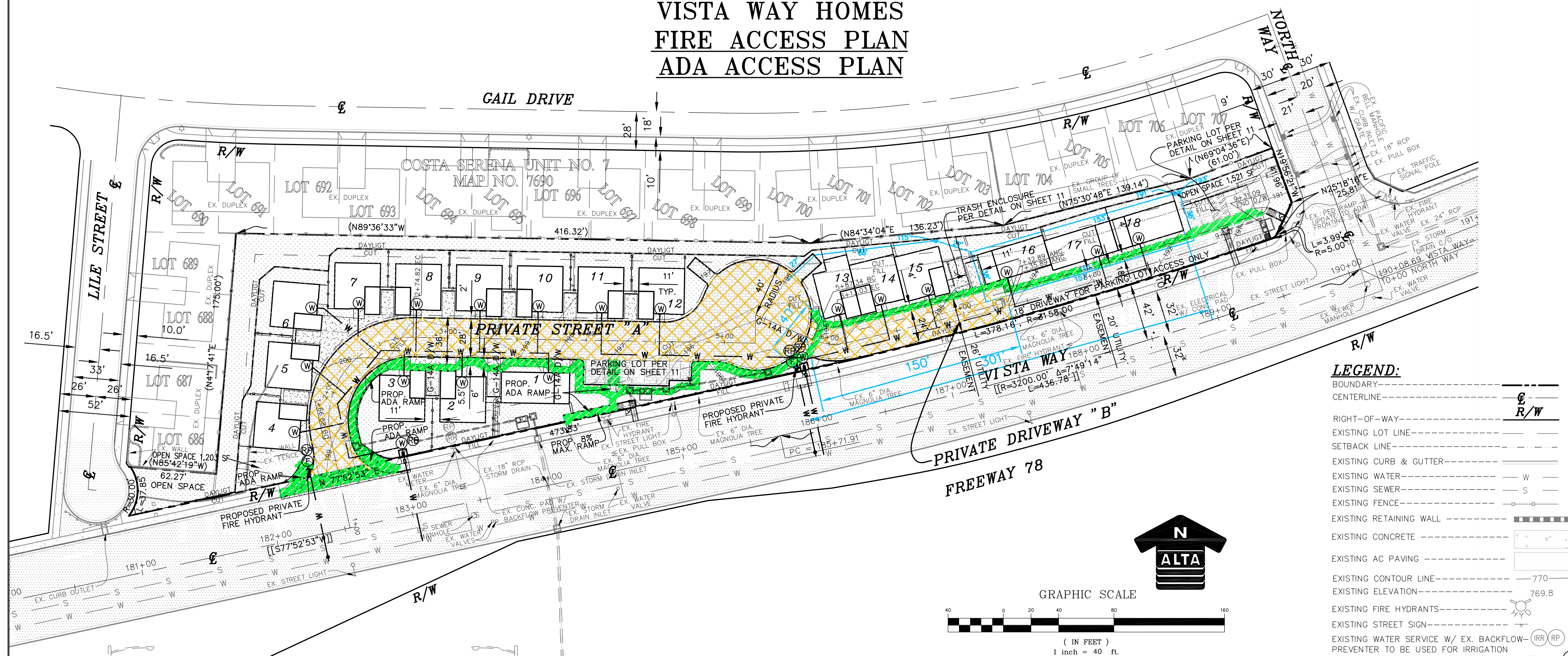
ALTA CONSULTANTS PLANNING ENGINEERING SURVEYING

12883 E. Main St., Ste. 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 2 OF 14

VISTA WAY HOMES FIRE ACCESS PLAN ADA ACCESS PLAN



General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- 5 UNITS 1,16-18 ARE 1,069 SF; 15 UNITS 2-14 ARE 1,089 SF
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=21
 - UNATTACHED COMPACT PARKING SPACES (14'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF OF COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (78,000 LBS) MUST BE INSTALLED. IN ADDITION THE APPROVED, PERMANENT WATER SUPPLY (FIRE HYDRANTS MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- ADDRESSES SHALL BE 4" IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BEING DROPPED ON SITE.

FIRE LANE
FIRE LINE PULL

WATER AND SEWER NOTES:

- THE WATER AND SEWER FOR THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY THE HOA.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH UNIT MAINTAINED AND BILLED BY THE HOA.
- (2) TWO 2" WATER METERS & SERVICES ARE PROPOSED FOR THIS PROJECT AND BILLED TO THE HOA. UNITS 1-10 TO BE SERVICED THE WESTERLY WATER METER, UNITS 11-18 TO BE SERVICED BY THE EASTERLY WATER METER.
- (2) TWO 6" SEWER SERVICES ARE PROPOSED FOR THIS PROJECT UNITS 1-10 TO BE SERVICED BY THE WESTERLY SEWER SERVICE UNITS 11-18 TO BE SERVICED BY THE EASTERLY SEWER SERVICE.
- EACH UNIT WILL HAVE A 4" SEWER LATERAL WITH CLEANOUT THAT CONNECTS TO THE 6" SEWER SERVICE.

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES
CONCEPT SEWER & WATER PLAN

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690

FD. 3/4" IRON
PIPE
OPEN

(N89°36'33"W

416.32'

FD. 3/4" IRON PIPE
MRKED RCE-1405

FD. 3/4" IRON PIPE
MRKED RCE-1405

FD. 3/4" IRON PIPE
MRKED RCE-1405

LOT 688

LOT 687

LOT 686

EX. WALL
FD. LEAD & TACK

(N85°42'19"W 62.27')

182+33.59, 48.57' LT.
& 2.5' OFF FACE OF CURB
PROP. PRIVATE FIRE-HYDRANT

182+00

182+33.59, 10' RT. VISTA WAY=

0+90 STREET "A" INSTALL
SEWER MAHOLE PER

182+33.59, 20' RT. WET TAP
6" FIRE SERVICE

182+53.59 VISTA WAY=

1+00 PRIVATE STREET "A"

182+53.59, 10' RT. VISTA WAY=

0+90 STREET "A" INSTALL
SEWER MAHOLE PER

182+53.59, 20' RT. WET TAP
6" FIRE SERVICE

182+53.59, 10' RT. VISTA WAY=

0+90 STREET "A" INSTALL
SEWER MAHOLE PER

182+53.59, 20' RT. WET TAP
6" FIRE SERVICE

182+53.59, 10' RT. VISTA WAY=

0+90 STREET "A" INSTALL
SEWER MAHOLE PER

182+53.59, 20' RT. WET TAP
6" FIRE SERVICE

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.



WATER NOTES:

- 1) CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- 2) CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- 3) CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR CODED AS FOLLOWS:
 - a) 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
 1. NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
 - b) 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS, SEE TABLE
 1. RECLAIMED WATER: PURPLE IN COLOR (PANTONE #512) AND SHALL BE IMPRINTED IN NORMAL 1/2 INCH HIGH, BLACK, UPPER CASE LETTERS, WITH THE WORDS "CAUTION: RECLAIMED WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
- 4) CPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS) REFERENCED IN TABLE 611.4. WASTE DISCHARGE FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- 5) CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES: BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING RECOGNIZED STANDARDS OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION THAT ARE CONSISTENT WITH THE INTENT OF THIS CODE.
 - a) TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (CPC SECTION 603.2).
 - b) COPIES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- 6) PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT. THESE PRIVATE WATER METERS WILL BE MAINTAINED AND MANAGED BY THE HOA FOR THIS PROJECT.

LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER----- W -----
- EXISTING SEWER----- S -----
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE----- 770 -----
- EXISTING ELEVATION----- 769.8 -----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION
- PROPOSED 2" WATER SERVICE----- W -----
- W/ BACKFLOW PREVENTER
- PROPOSED 6" FIRE SERVICE----- W -----
- W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT
- PROPOSED 1" WATER SERVICE W/----- W -----
- PRIVATE WATER METER TO BE MAINTAINED BY HOA
- PROPOSED PRIVATE 4"SEWER LATERAL----- S -----
- 6" SEWER LATERAL W/ SEWER MH ----- S -----
- PARKING SPACE NUMBER ----- 1 -----
- PROPOSED G-2 CURB & GUTTER-----
- PROPOSED G-1 GUTTER-----
- PROPOSED ROLLED CURB-----
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVER -----
- PER DETAIL ON SHEET NO. 10
- TRENCH RESURFACING M_3A-----
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE----- CUT -----
- DIRECTION OF FLOW-----
- (PVT.) PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- (PVT.) PROPRIETARY TREATMENT UNIT-----
- PER DETAIL ON SHEET NO. 10
- (PVT.)MODIFIED TYPE A CLEANOUT -----
- W/SUMP PUMP
- (PVT.) 3636 OR 1818 BROOKS BOX -----
- W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
- (PVT.) 2424 BROOKS BOX W/-----
- PARKWAY GRATE PER DETAILS ON SHEET 11
- AREA DRAIN PER DETAIL ON SHEET 10-----

MATCH LINE SEE SHEET NO. 5

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- 7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=19
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIENT: 2:1
22. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
23. AREA/PERCENT OF SITE IN OPEN SPACE: 0
24. AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
27. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES
CONCEPT WATER & SEWER PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1

- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

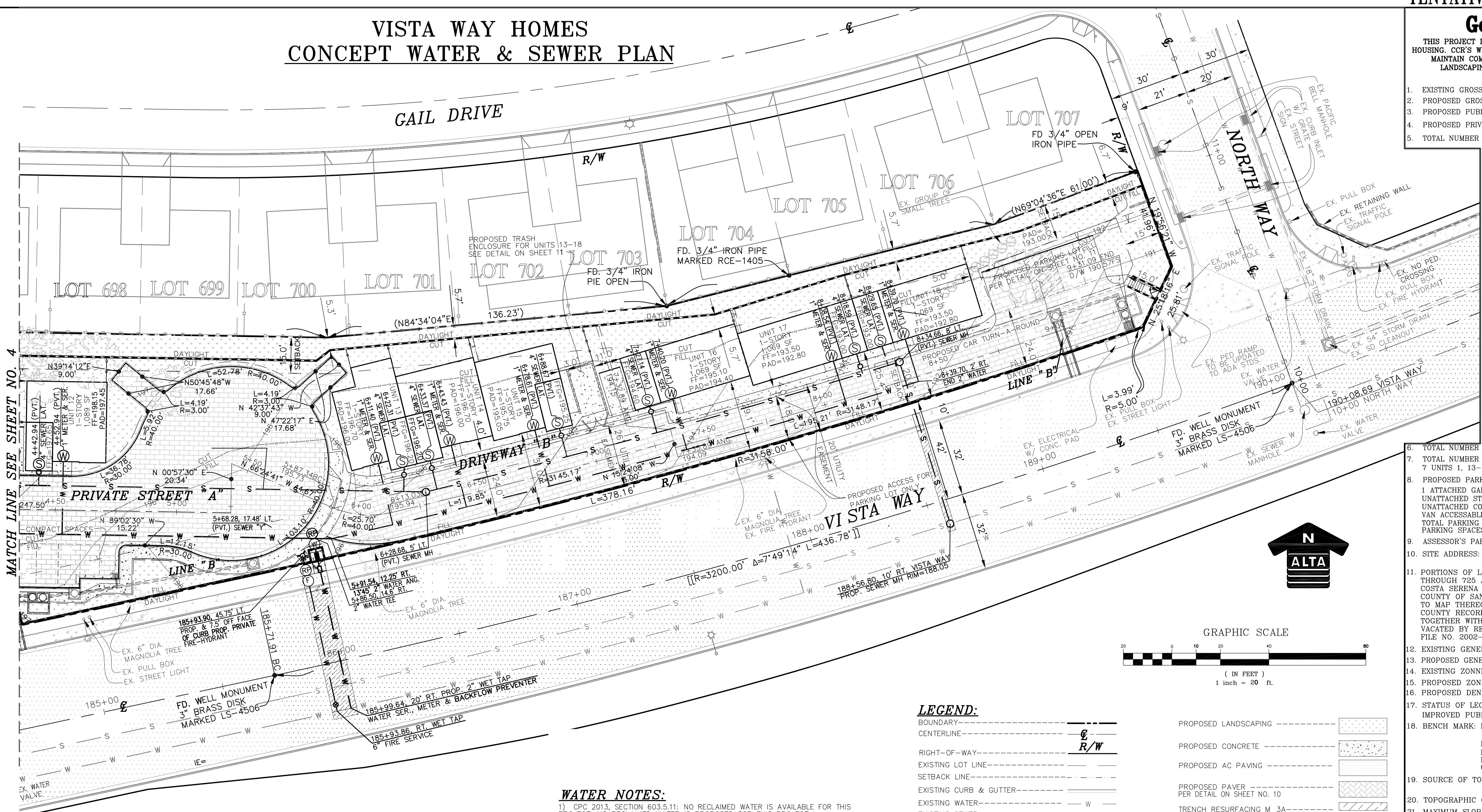
BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021

ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATED NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 5 OF 14



MATCH LINE SEE SHEET NO. 4

WATER NOTES:

- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR COATED AS FOLLOWS:
 - 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
 - NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
 - 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS. SEE TABLE
- CPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS REFERENCED IN TABLE 611.4. WASTE DISCHARGE FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES, BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING RECOGNIZED STANDARDS OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION THAT ARE CONSISTENT WITH THE INTENT OF THIS CODE.
 - TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (CPC SECTION 603.2).
 - COPIES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT. THESE PRIVATE WATER METERS WILL BE MAINTAINED AND MANAGED BY THE HOA FOR THIS PROJECT.

LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4" SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

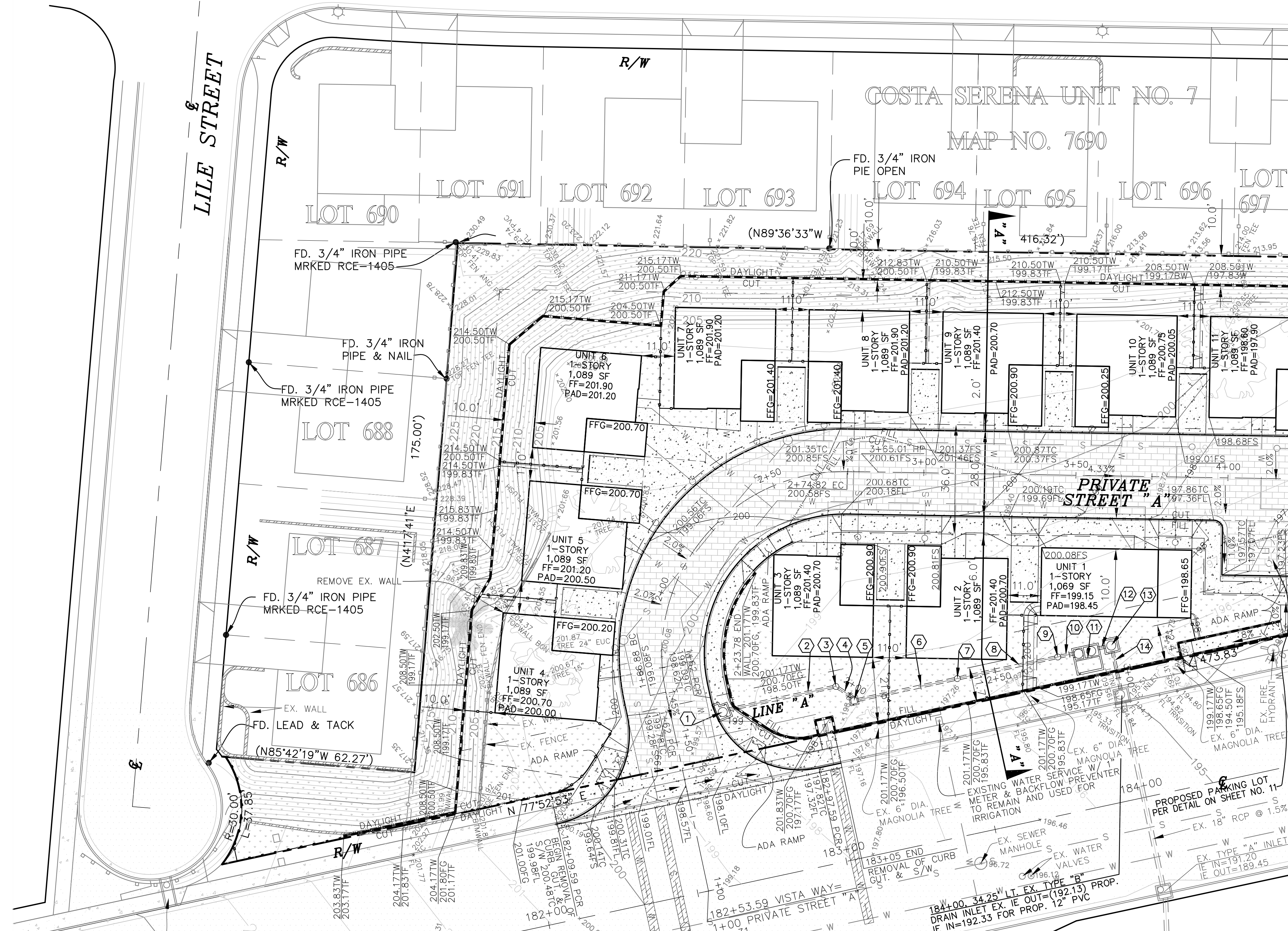
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
(PVT.) PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 10	---
(PVT.) MODIFIED TYPE A CLEANOUT W/ SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

VISTA WAY HOMES
CONCEPT GRADING PLAN

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690



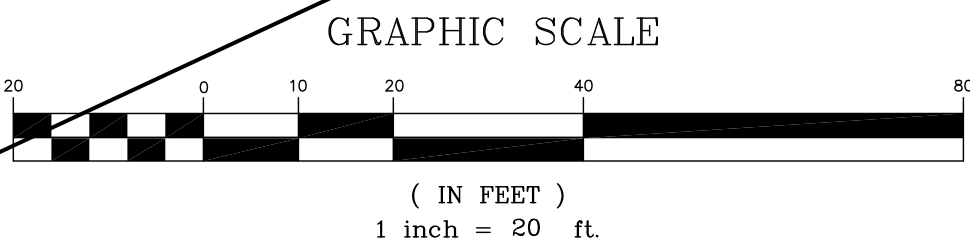
MATCH LINE SEE SHEET NO. 7

LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4"SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(P.V.T.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25A	---
(P.V.T.) PROPRIETARY TREATMENT UNIT	---
PER DETAIL ON SHEET NO. 10	---
(P.V.T.)MODIFIED TYPE A CLEANOUT	---
W/SUMP PUMP	---
(P.V.T.) 3636 OR 1818 BROOKS BOX	---
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(P.V.T.) 2424 BROOKS BOX W/	---
PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

PRIVATE STORM DRAIN: LINE "A" DATA
SEE SHRTT 8 FOR PROFILE

- 1+56.60 PROP. 6" B-1 INLET PER D-2
TC=199.03, FL=199.20, IE=194.86 Q₁₀₀=1.44 CFS
- 2 PROP. 36.21 LF N77°52'53"E OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=1.44 CFS, V₁₀₀=4.29 F/S
- 3 1+94.81 PROP. AREA DRAIN & 45' ANG.TG=200.70
IE=194.50 Q₁₀₀=0.29 CFS PER DETAIL ON SHEET 10
- 4 PROP. 6.86 LF N57°07'07"E OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=1.72 CFS, V₁₀₀=4.50 F/S
- 5 2+02.64 PROP. 2424 BROOKS BOX C/O W/
PARKWAY SOLID COVER TG=201.20, IE IN=194.43
IE OUT=194.33 PER DETAIL SHEET 11
- 6 PROP. 33.75 LF N77°52'53"E OF 12" PVC STORM
DRAIN @ 0.50% Q₁₀₀=1.72 CFS, V₁₀₀=4.50 F/S
- 7 2+37.35 PROP. AREA DRAIN TG=200.70
IE=194.16, Q₁₀₀=0.21 CFS PER DETAIL ON SHEET 10
- 8 PROP. 33.75 LF N77°52'53"E OF 12" PVC STORM
DRAIN @ 0.50% Q₁₀₀=1.93 CFS, V₁₀₀=4.63 F/S
- 9 2+71.50 PROP. AREA DRAIN TG=198.45
IE=193.99, Q₁₀₀=0.22 CFS PER DETAIL ON SHEET 10
- 10 PROP. 5.5 LF N77°52'53"E OF 12" PVC STORM
DRAIN @ 0.50% Q₁₀₀=2.15 CFS, V₁₀₀=4.75 F/S
- 11 2+80.60 STORMWATER BIO-FILTRATION
SYSTEM BIO-CLEAN UNIT MWS L-8-8-4'-6"-V
RIM=198.95 SEE DETAILS ON SHEET 10
IE IN=193.96, IE OUT=192.63
- 12 PROP. 2.0 LF N77°52'53"E OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=2.15 CFS, V₁₀₀=4.75 F/S
- 13 2+89.10 PROP. A-4 CLENOT PER D-9
RIM=196.95, IN=192.61, IE OUT=192.51
- 14 PROP. 12.89 LF N12°07'07"E OF 12" PVC STORM
DRAIN @ 1.40% Q₁₀₀=2.15 CFS, V₁₀₀=5.39 F/S



General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIENT: 2:1
22. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
23. AREA/PERCENT OF SITE IN OPEN SPACE: 0
24. AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
25. ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
26. GRADED AREA: 1.63 AC=82% OF SITE
27. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS PLANS FOR THIS PROJECT.
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/21

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



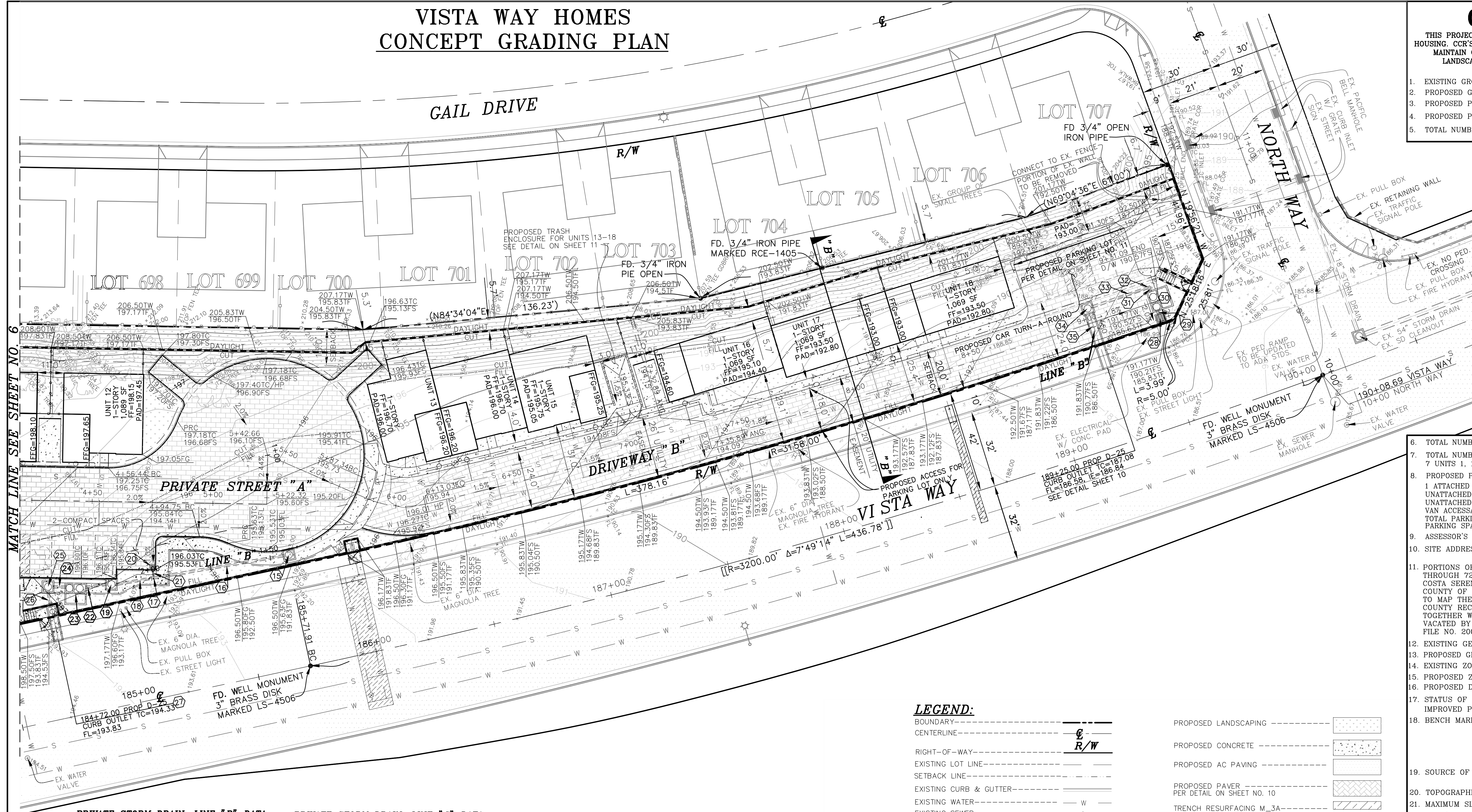
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES CONCEPT GRADING PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1



PRIVATE STORM DRAIN: LINE "B" DATA SEE SHEET 8 FOR PROFILE

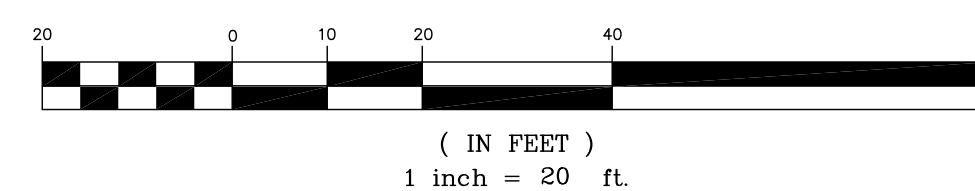
- 15 1+42.17 PROP 5' B INLET PER D-2 TC=195.51
FL=194.68, IE=192.00 Q₁₀₀=0.67 CFS
- 16 PROP. 54.8 LF N50°17'51"E OF 12" PVC STORM
DRAIN @ 0.50% Q₁₀₀=0.67 CFS, V₁₀₀=2.72 F/S
- 17 1+98.99 PROP. 12" PVC STORM DRAIN @ 0.50%
Q₁₀₀=0.28 CFS
- 18 PROP. 18.8 LF N50°17'51"E OF 12" PVC STORM
DRAIN @ 0.50% Q₁₀₀=0.96 CFS, V₁₀₀=2.99 F/S
- 21 2+16.77 PROP 5' B INLET PER D-2
IE IN=191.54, IE OUT=191.44, Q₁₀₀=1.56 CFS
- 20 1+98.96, 4.55' RT. PROP. 1818 BROOKS BOX W/
TRAFFIC GRATE TO=195.53, IE=191.92, Q₁₀₀=0.28 CFS
PER DETAIL SHEET 11
- 21 PROP. 3.8 LF N09°42'09"E OF 6" PVC STORM
DRAIN @ 1.00% Q₁₀₀=0.28 CFS, V₁₀₀=2.86 F/S
- 22 PROP. 8.89 LF N81°14'49"E OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=2.51 CFS, V₁₀₀=4.92 F/S
- 23 2+31.66 STORMWATER BIO-FILTRATION SYSTEM
BIO-CLEAN UNIT MWS L-8-8-4'-6"-V
RIM=196.65 SEE DETAILS ON SHEET 10
IE IN=191.35, IE OUT=190.02
- 24 PROP. 5.5 LF N89°02'30"W OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=2.51 CFS, V₁₀₀=4.92 F/S
- 25 2+43.16 PROP. MOD. A-4 CLENOUT W/PUMP
PER D-9 RIM=196.95, IE IN=189.91
IE OUT PRESSURE=194.33
- 26 PROP. 6.5 LF N12°11'57"E OF 12" PVC STORM
DRAIN @ 3.20% Q₁₀₀=2.51 CFS, V₁₀₀=7.63 F/S
- 27 PROP. 14.42 LF N12°11'57"W OF D-25A CURB
OUTLET @ 2.00% Q₁₀₀=2.51 CFS
FL=193.83

PRIVATE STORM DRAIN: LINE "C" DATA SEE SHEET 8 FOR PROFILE

- 28 1+98.44 PROP. 3636 BROOKS BOX W/
TRAFFIC GRATE TO=190.39, IE=187.37, Q₁₀₀=
PER DETAIL SHEET 11
- 29 PROP. 1.80 LF N28°52'18"W OF 12" PVC STORM
DRAIN @ 5.00% Q₁₀₀=1.37 CFS, V₁₀₀=7.59 F/S
- 30 1+91.08 STORMWATER BIO-FILTRATION SYSTEM
BIO-CLEAN UNIT MWS L-8-8-4'-6"-V
RIM=190.81 SEE DETAILS ON SHEET 10
IE IN=187.28, IE OUT=185.95
- 31 PROP. 2.00 LF N18°57'17"E OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=1.37 CFS, V₁₀₀=4.24 F/S
- 32 1+85.08 PROP. 12" PVC 90° ANG. IE=185.93
- 33 PROP. 24.91 LF N71°02'43"W OF 12" PVC STORM
DRAIN @ 1.00% Q₁₀₀=1.37 CFS, V₁₀₀=4.24 F/S
- 34 1+58.15 PROP. MOD. A-4 CLEANOUT W/PUMP
PER D-9 RIM=191.13, IE IN=186.59
IE OUT PRESSURE=187.07
- 35 PROP. 24.17 LF N18°29'53"W OF D-25A CURB
OUTLET @ 2.00% Q₁₀₀=1.37 CFS
FL=186.59



GRAPHIC SCALE



LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/--- PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4"SEWER LATERAL---	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
(PVT.) PROPRIETARY TREATMENT UNIT	---
PER DETAIL ON SHEET NO. 10	---
(PVT.)MODIFIED TYPE A CLEANOUT	---
W/SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX	---
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/---	---
PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-16 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (16'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721
THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF
COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING
TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE
COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973,
TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS
VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS
FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY
IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL. MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22.588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37.993 OR 44%
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO
ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR
FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G
DATED: 5/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 7 OF 14

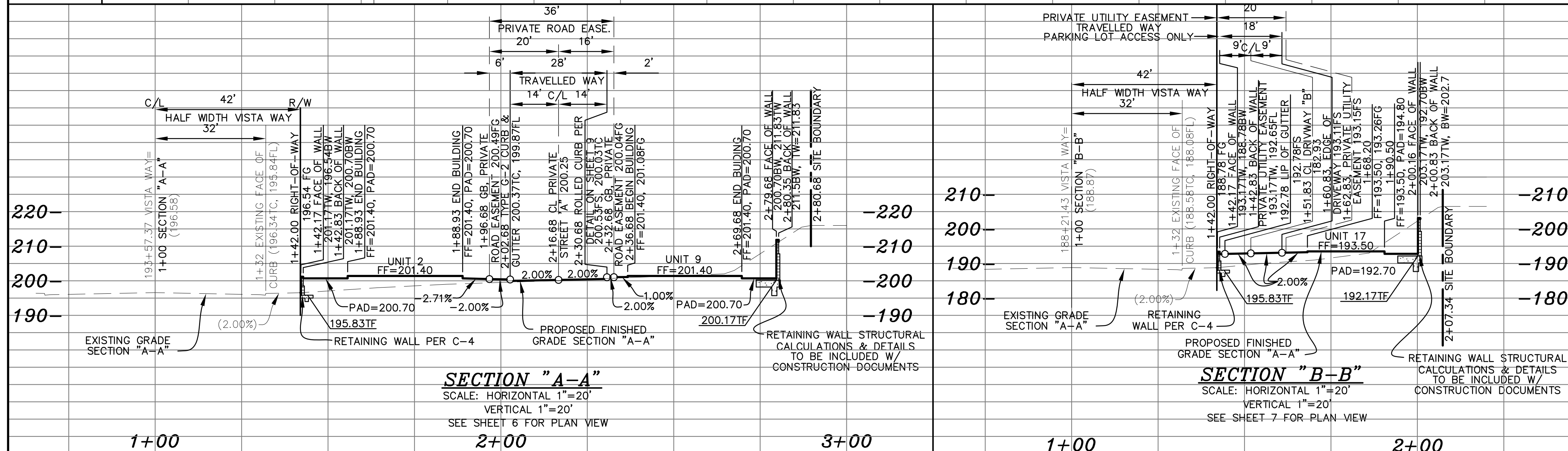
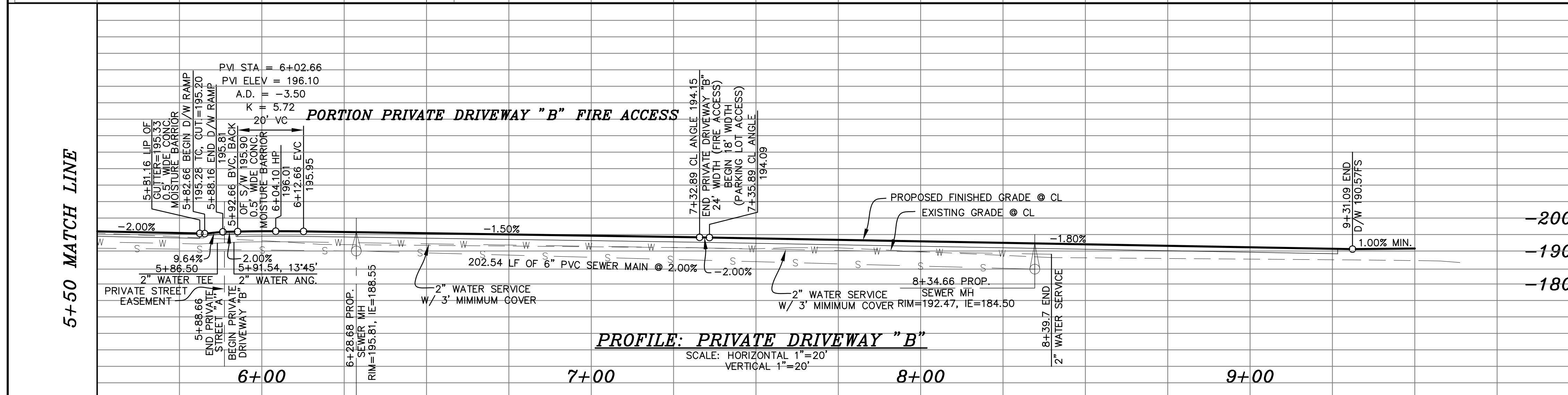
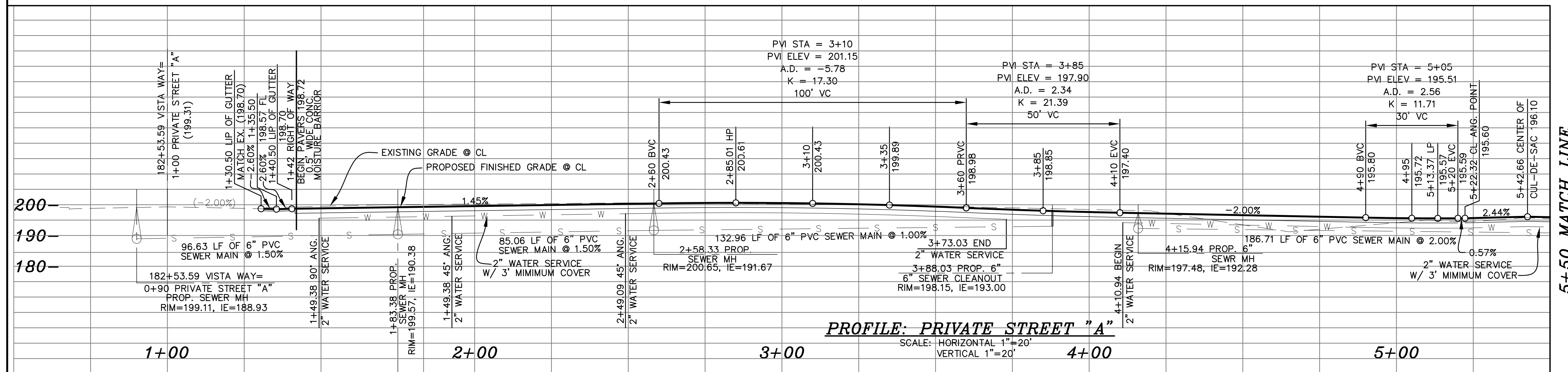
VISTA WAY HOMES

CONCEPT PROFILES AND SECTIONS

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1.069 SF; 11 UNITS 2-12 ARE 1.069 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (16'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
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13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: 12RM-A
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16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY
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STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT



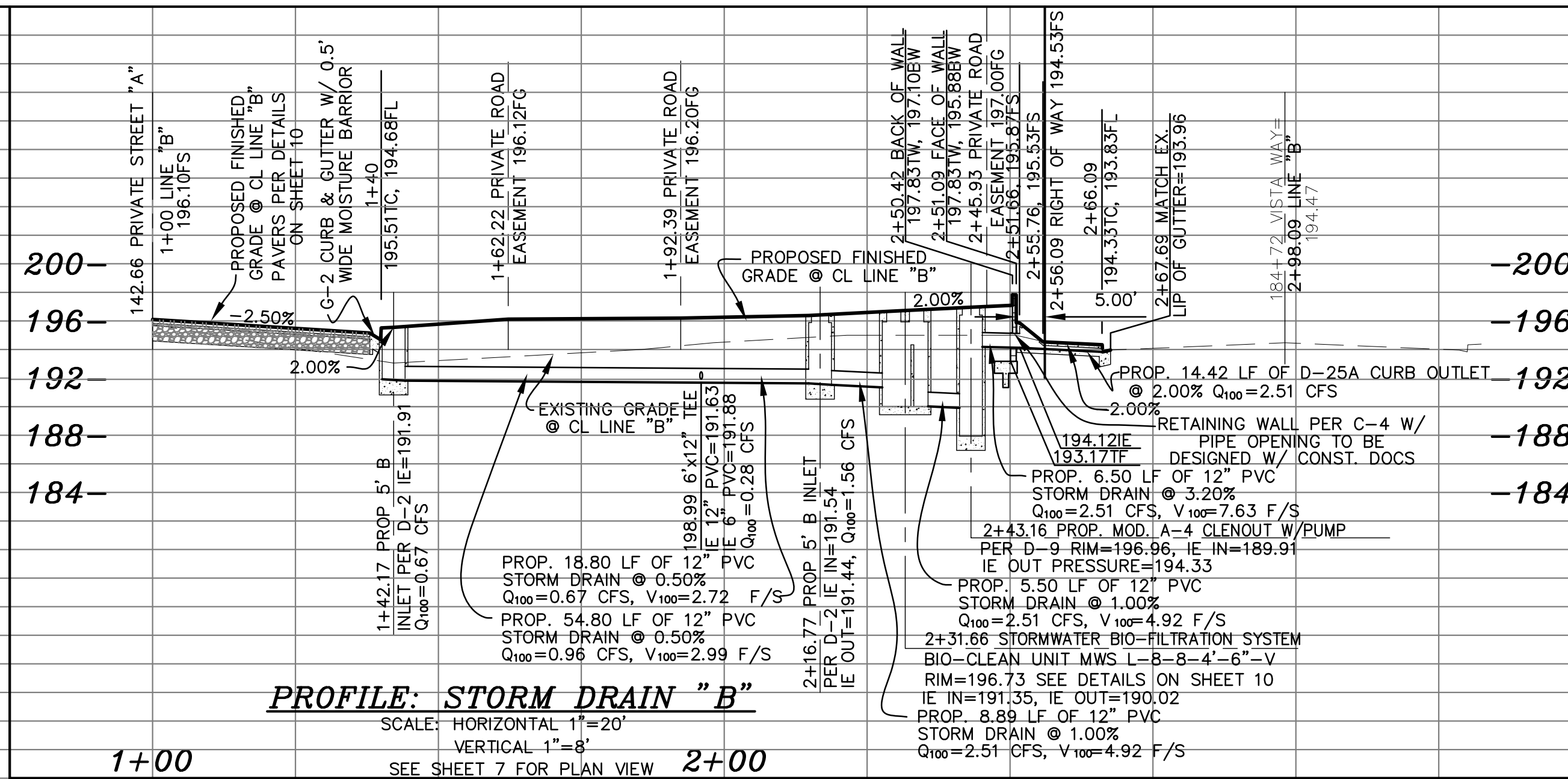
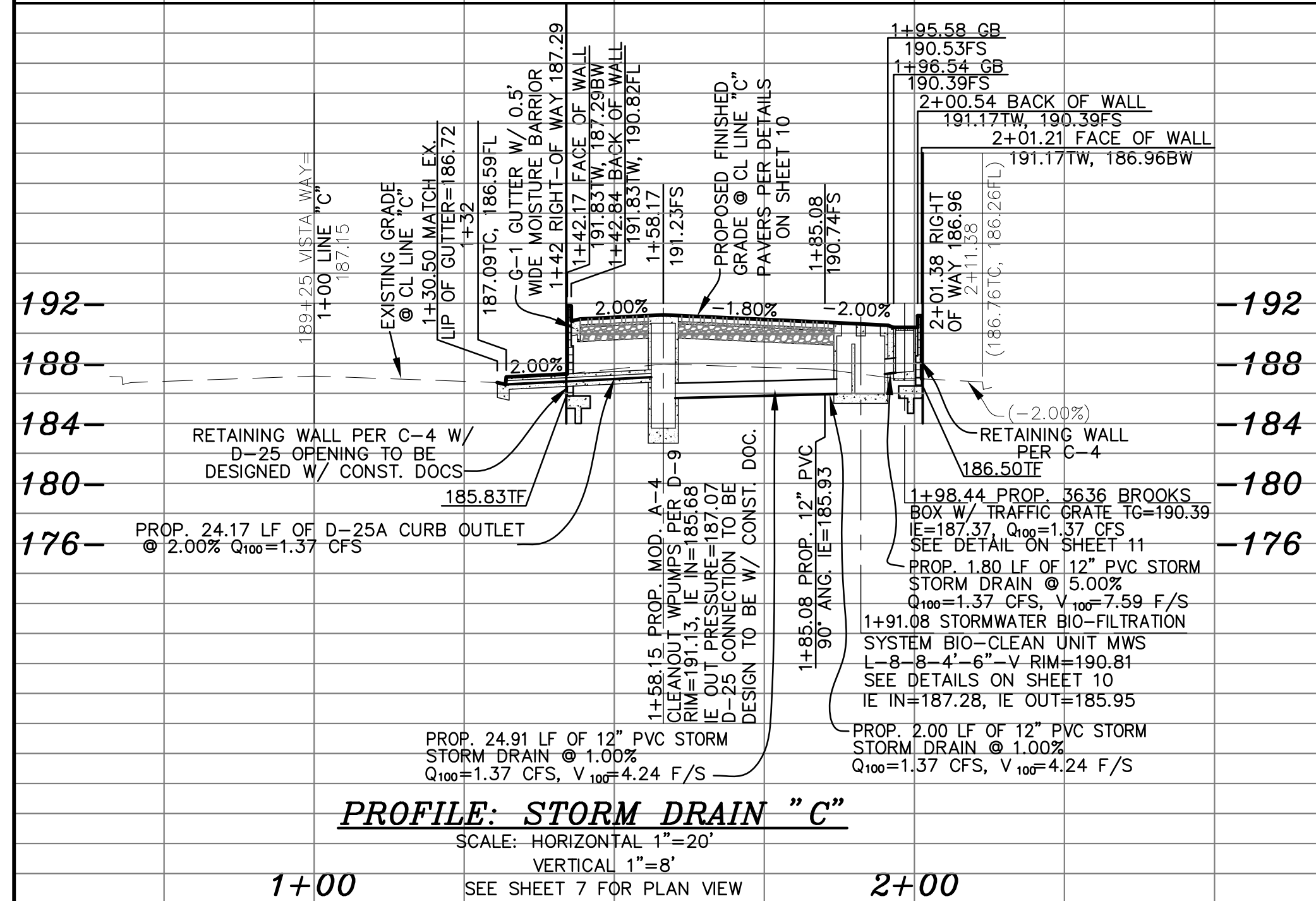
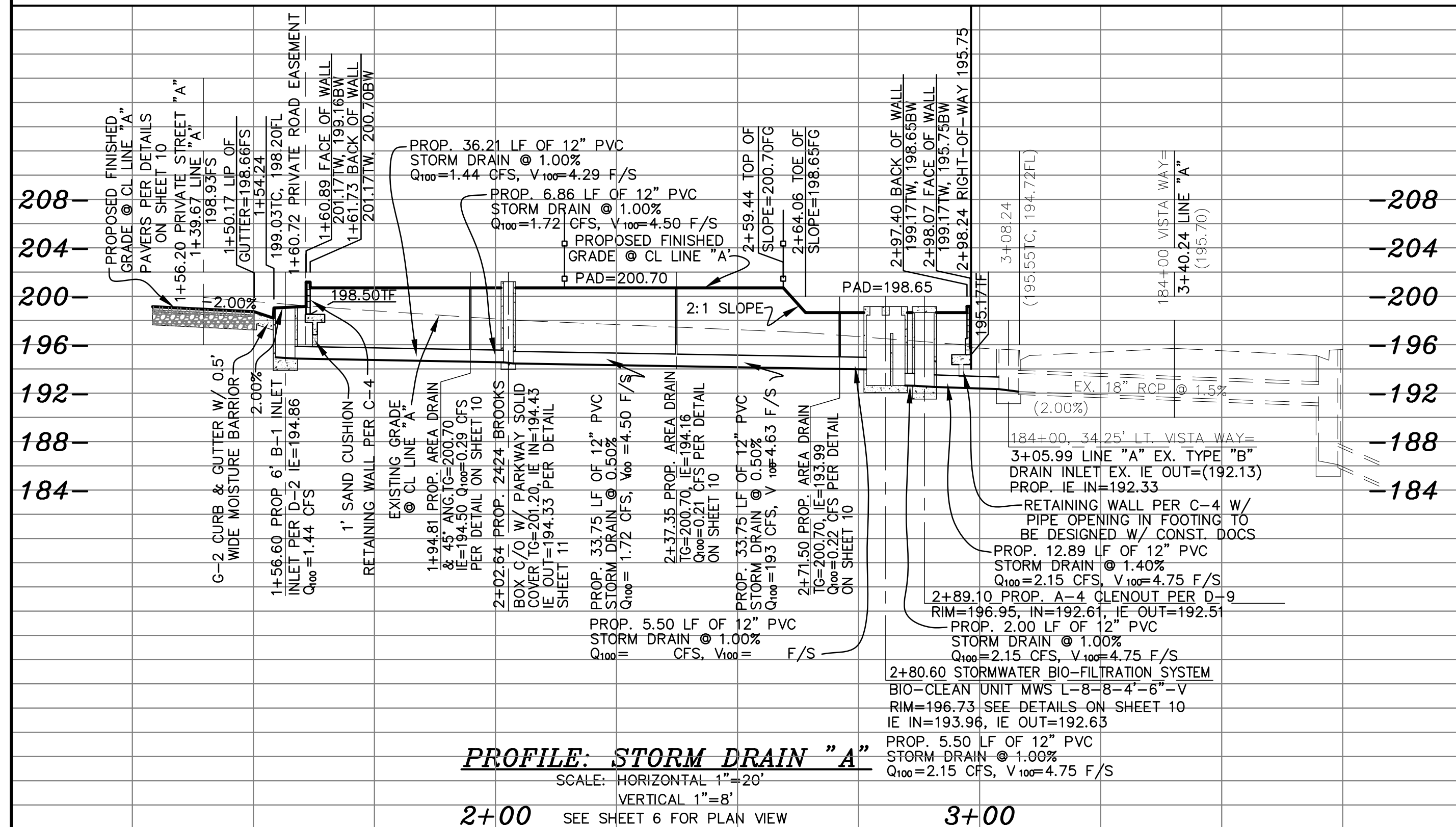
ENGINEER OF WORK


BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
 1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES CONCEPT STORM DRAIN PROFILES

TENTATIVE MAP T21-00002

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

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4. PROPOSED PRIVATE STREET AREA: 0 AC
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OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: 12RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.6' DATUM: NAV 88
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

ENGINEER OF WORK


BARTOLOME J. PASTOR, RCE 38606
DATED: _____ NOVEMBER 3 _____, 2021

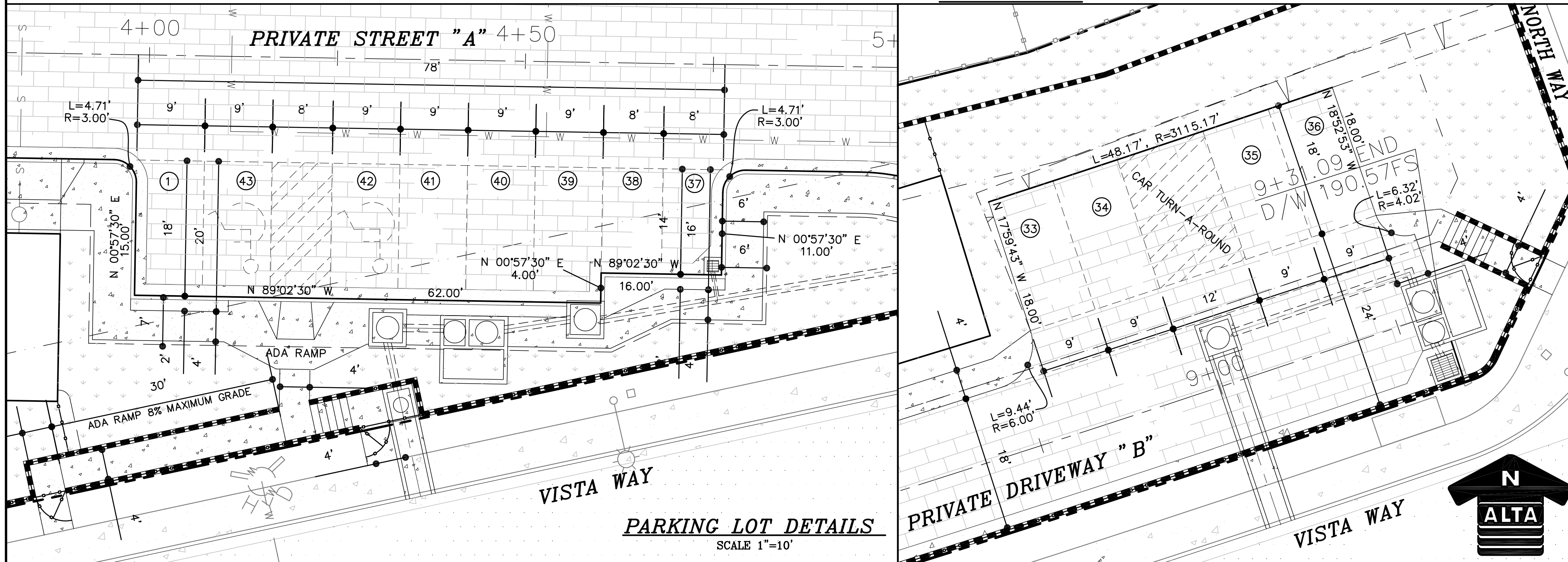


ALTA CONSULTANTS

1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021 SHEET 10 OF 14

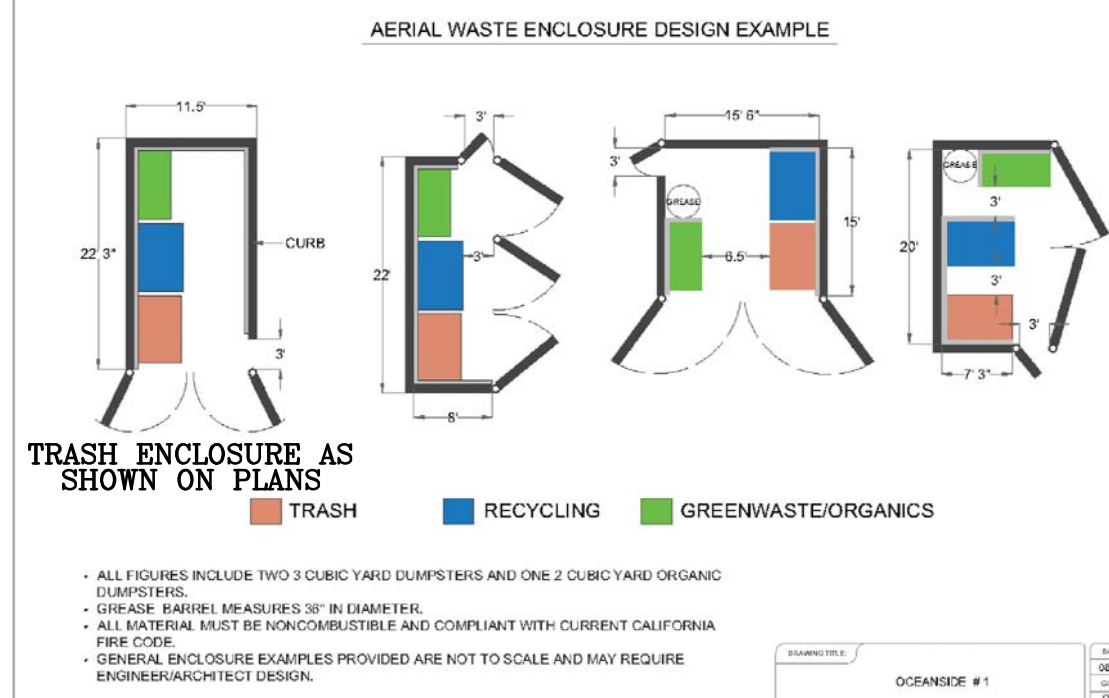
VISTA WAY HOMES DETAILS



LEGEND:

BOUNDARY	---
CENTERLINE	---C---
RIGHT-OF-WAY	---R/W---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---W---
EXISTING SEWER	---S---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---770---
EXISTING ELEVATION	769.8
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4" SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED TYPE G PER G-2 CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
(PVT.) PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 10	---
(PVT.) MODIFIED TYPE A CLEANOUT W/ SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

Enclosure Construction Design Example



General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED SATNDARD PARKING SPACES (16'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47

10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056

11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET

18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020

19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020

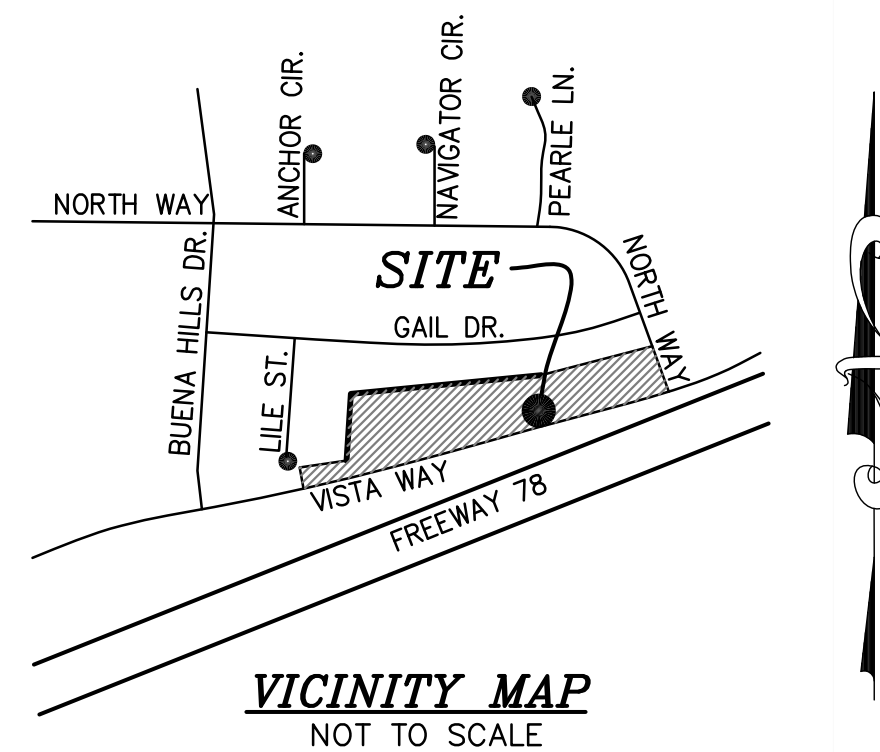
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

21. MAXIMUM SLOPE GRADIENT: 2:1

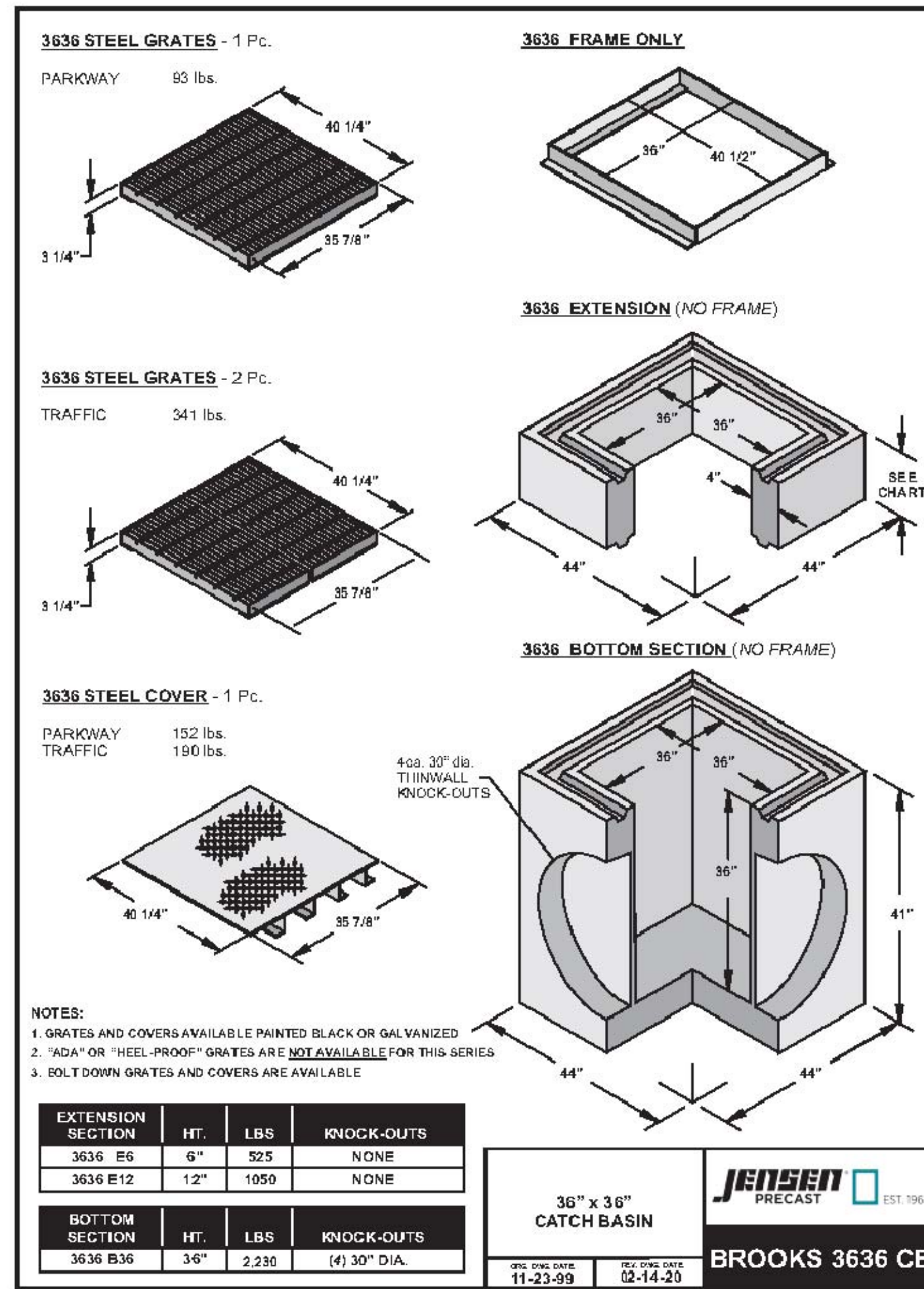
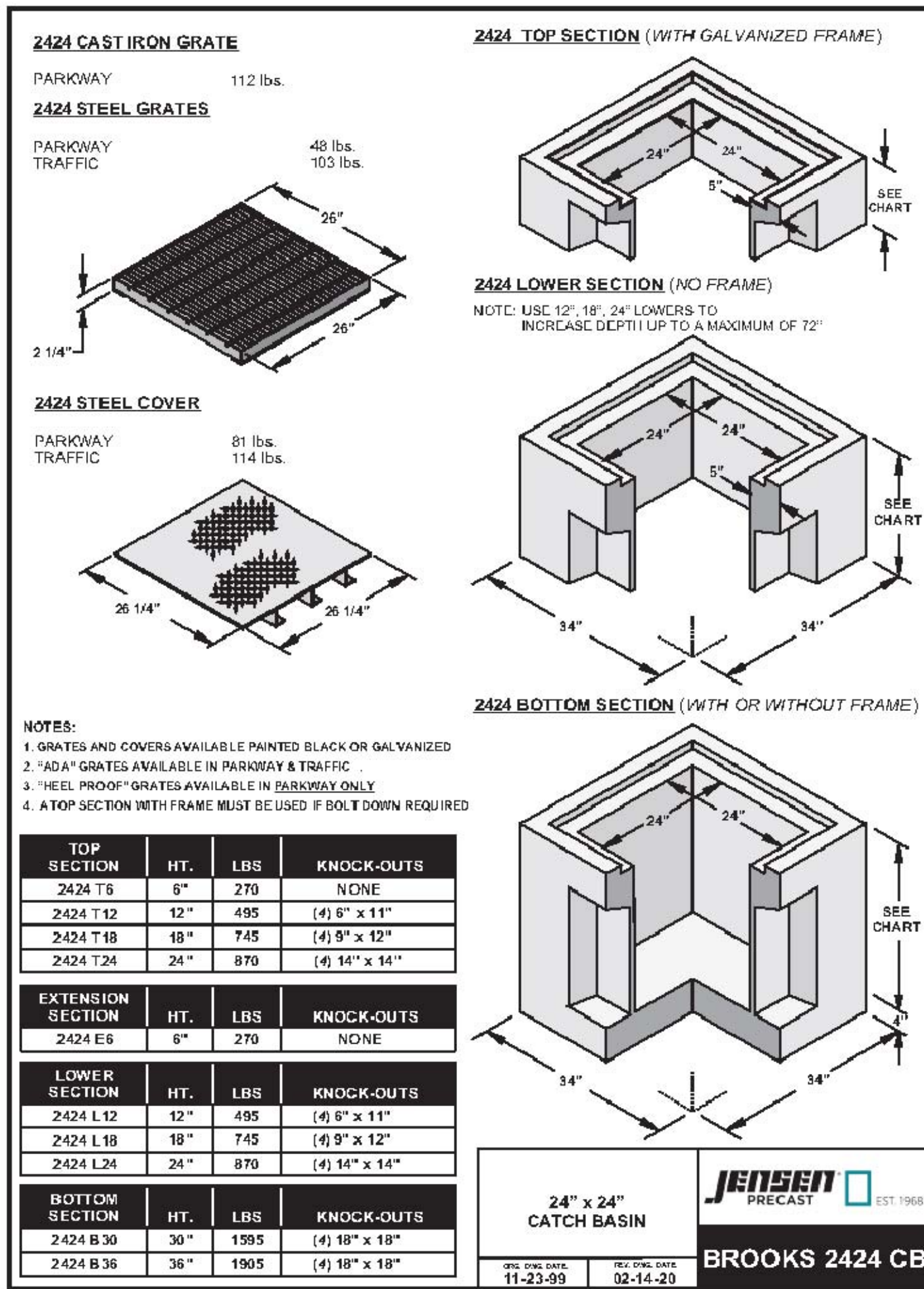
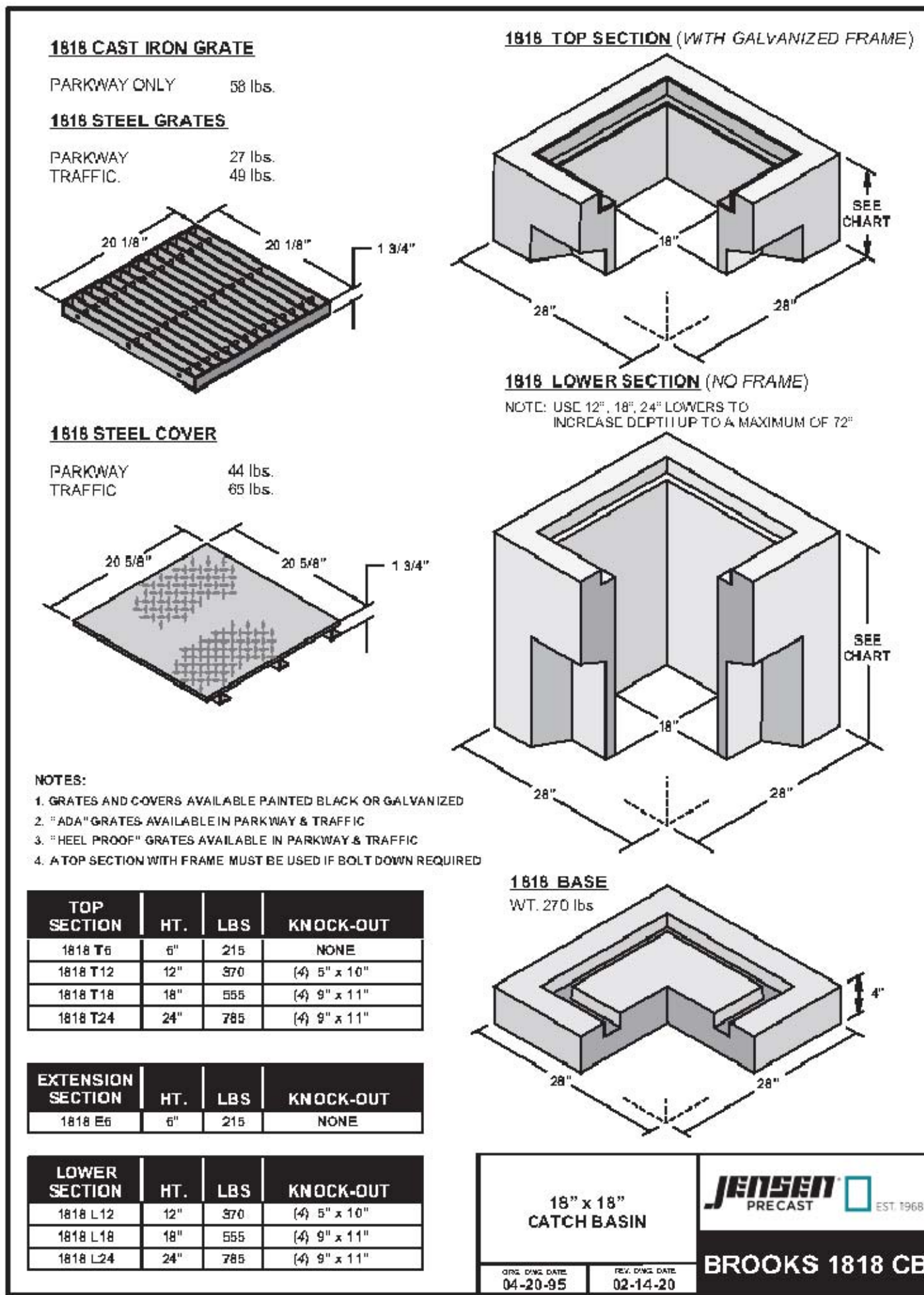
25. ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.

26. GRADED AREA: 1.63 AC=82% OF SITE

27. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/12/16



VICINITY MAP
NOT TO SCALE



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: NOVEMBER 3, 2021



ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING

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JOB NO. 499-01, DATE NOVEMBER 3, 2021

Date: 11/03/2021

SHEET 11 OF 14

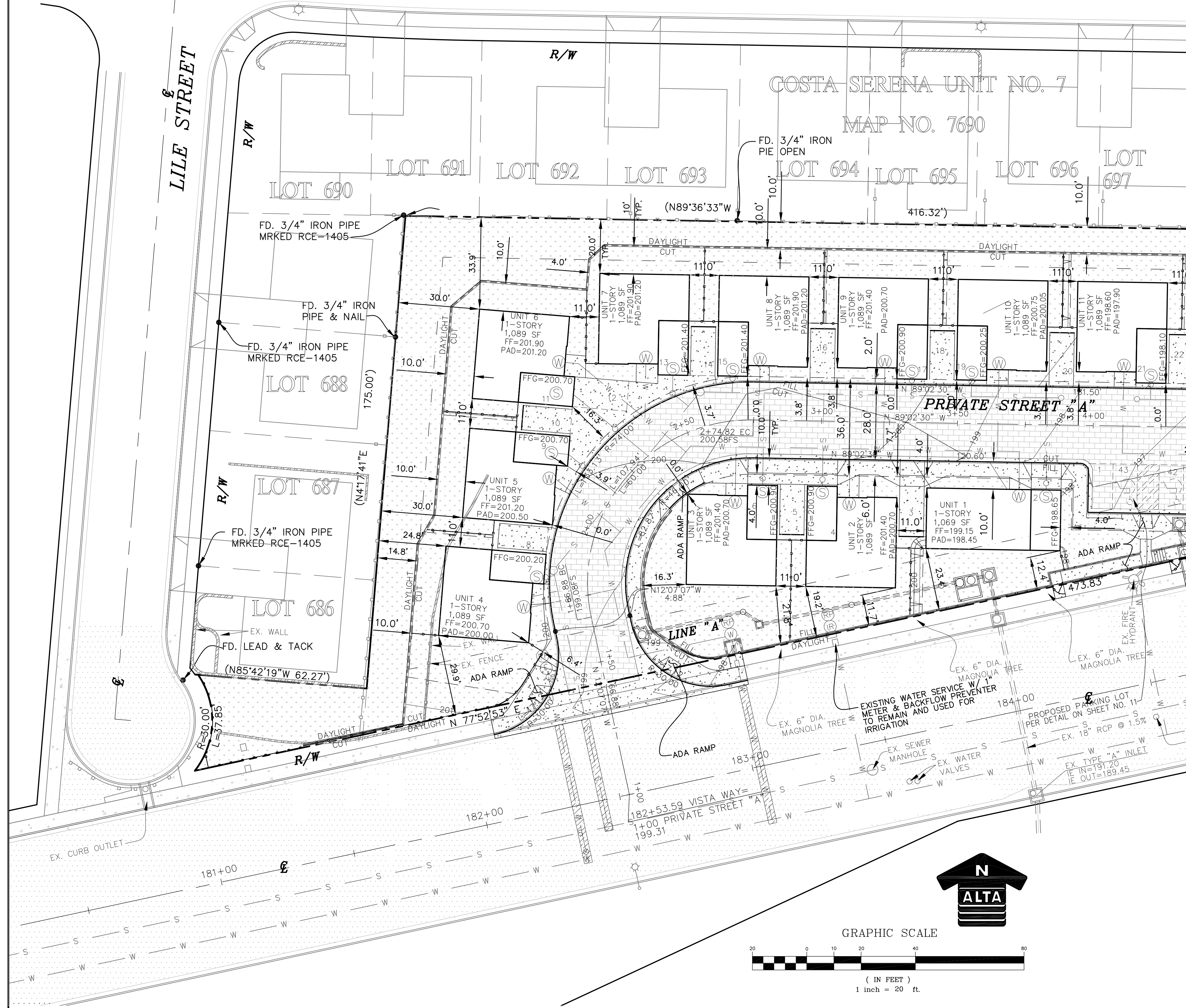
VISTA WAY HOMES
SETBACK EXHIBIT

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690

LILE STREET



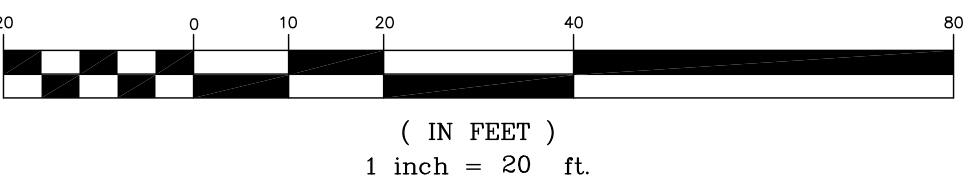
LEGEND:

- BOUNDARY-----
CENTERLINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING AC PAVING-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING STREET SIGN-----
EXISTING WATER SERVICE W/ EX. BACKFLOW-
PREVENTER TO BE USED FOR IRRIGATION
PROPOSED 2" WATER SERVICE-----
W/ BACKFLOW PREVENTER
PROPOSED 6" FIRE SERVICE-----
W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT
PROPOSED 1" WATER SERVICE W/-----
PRIVATE WATER METER TO BE MAINTAINED BY HOA
PROPOSED PRIVATE 4"SEWER LATERAL-----
6" SEWER LATERAL W/ SEWER MH-----
PARKING SPACE NUMBER-----
PROPOSED G-2 CURB & GUTTER-----
PROPOSED G-1 GUTTER-----
PROPOSED ROLLED CURB-----
PROPOSED FENCE-----
SEE LANDSCAPE PLANS FOR DETAILS
PROPOSED LANDSCAPING-----
PROPOSED CONCRETE-----
PROPOSED AC PAVING-----
PROPOSED PAVER-----
PER DETAIL ON SHEET NO. 10
TRENCH RESURFACING M_3A-----
PROPOSED RETAINING WALL-----
2:1 SLOPE-----
DAYLIGHT LINE-----
DIRECTION OF FLOW-----
(PVT.) PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25-----
(PVT.) PROPRIETARY TREATMENT UNIT-----
PER DETAIL ON SHEET NO. 10
(PVT.)MODIFIED TYPE A CLEANOUT-----
W/SUMP PUMP
(PVT.) 3636 OR 1818 BROOKS BOX-----
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
(PVT.) 2424 BROOKS BOX W/-----
PARKWAY GRATE PER DETAILS ON SHEET 11
AREA DRAIN PER DETAIL ON SHEET 10-----

MATCH LINE SEE SHEET NO. 13



GRAPHIC SCALE



- General Notes**
- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS PART OF THIS PROJECT
- EXISTING GROSS SUBDIVISION AEREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AEREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 1
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
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1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HADICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
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 - ASSESSOR'S PARCEL NUMBER: 165-493-47
 - SITE ADDRESS: 3710 VISTA WAY
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 - PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
 - EXISTING ZONING: RM-A
 - PROPOSED ZONING: RM-A
 - PROPOSED DENSITY: 10.15 DU/AC
 - STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
 - BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
 - SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - MAXIMUM SLOPE GRADIENT: 2:1
 - AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
 - AREA/PERCENT OF SITE IN OPEN SPACE: 0
 - AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
 - FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: NOVEMBER 3, 2021



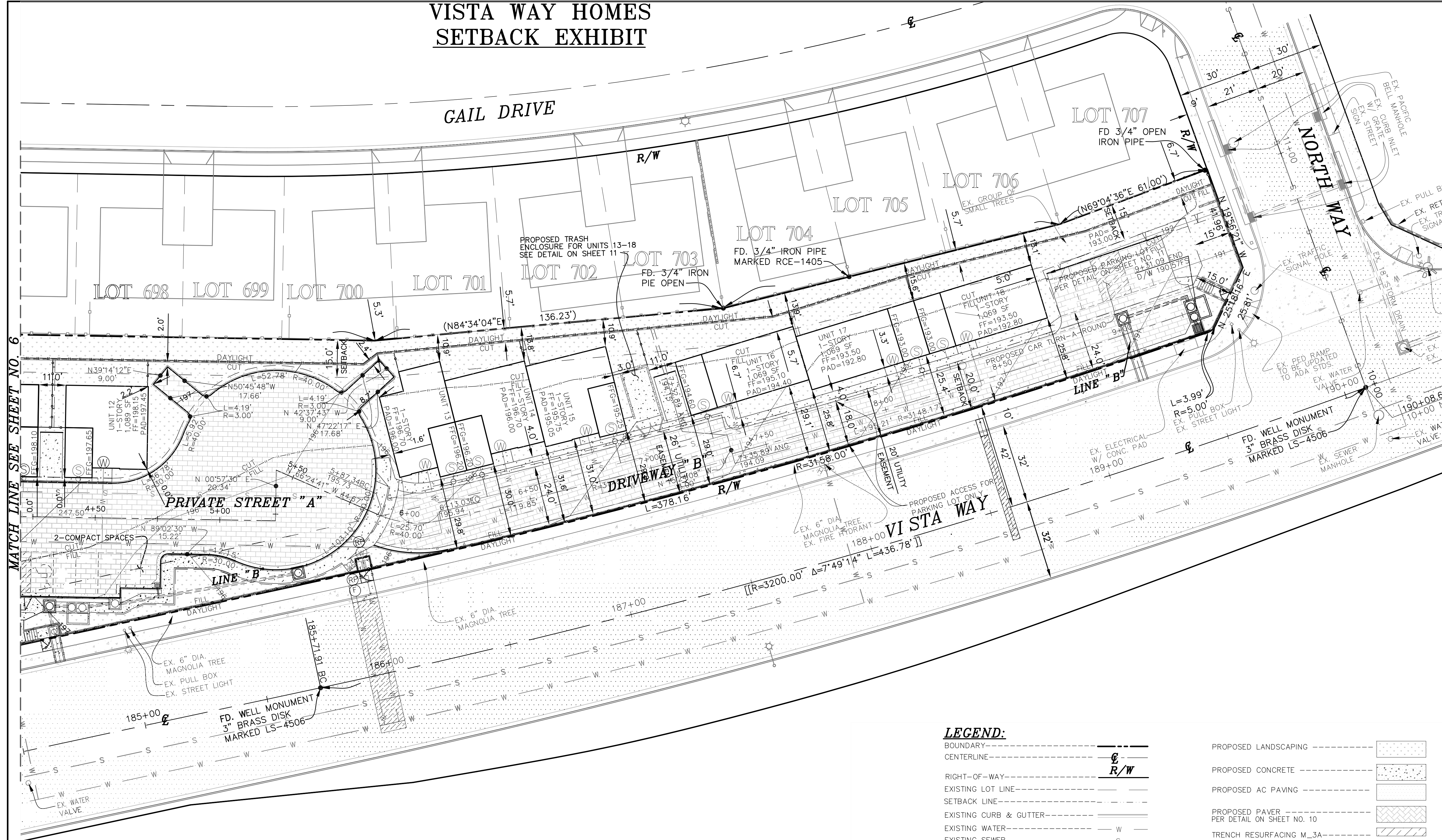
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PLANNING ENGINEERING SURVEYING
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JOB NO. 499-01, DATE NOVEMBER 3, 2021

VISTA WAY HOMES
SETBACK EXHIBIT

General Notes

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- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1



LEGEND:

- BOUNDARY-----
CENTERLINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING AC PAVING-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING STREET SIGN-----
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PROPOSED 2" WATER SERVICE-----
W/ BACKFLOW PREVENTER-----
PROPOSED 6" FIRE SERVICE-----
W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT-----
PROPOSED 1" WATER SERVICE W/-----
PRIVATE WATER METER TO BE MAINTAINED BY HOA-----
PROPOSED PRIVATE 4"SEWER LATERAL-----
6" SEWER LATERAL W/ SEWER MH-----
PARKING SPACE NUMBER-----
PROPOSED G-2 CURB & GUTTER-----
PROPOSED G-1 GUTTER-----
PROPOSED ROLLED CURB-----
PROPOSED FENCE-----
SEE LANDSCAPE PLANS FOR DETAILS

- PROPOSED LANDSCAPING-----
PROPOSED CONCRETE-----
PROPOSED AC PAVING-----
PROPOSED PAVER-----
TRENCH RESURFACING M_3A-----
PROPOSED RETAINING WALL-----
2:1 SLOPE-----
DAYLIGHT LINE-----
DIRECTION OF FLOW-----
(PVT.) PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25-----
(PVT.) PROPRIETARY TREATMENT UNIT-----
PER DETAIL ON SHEET NO. 10-----
(PVT.)MODIFIED TYPE A CLEANOUT-----
W/SUMP PUMP-----
(PVT.) 3636 OR 1818 BROOKS BOX-----
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11-----
(PVT.) 2424 BROOKS BOX-----
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11-----
PARKWAY GRATE PER DETAILS ON SHEET 11-----
AREA DRAIN PER DETAIL ON SHEET 10-----

- TOTAL NUMBER OF PROPOSED LOTS: 1
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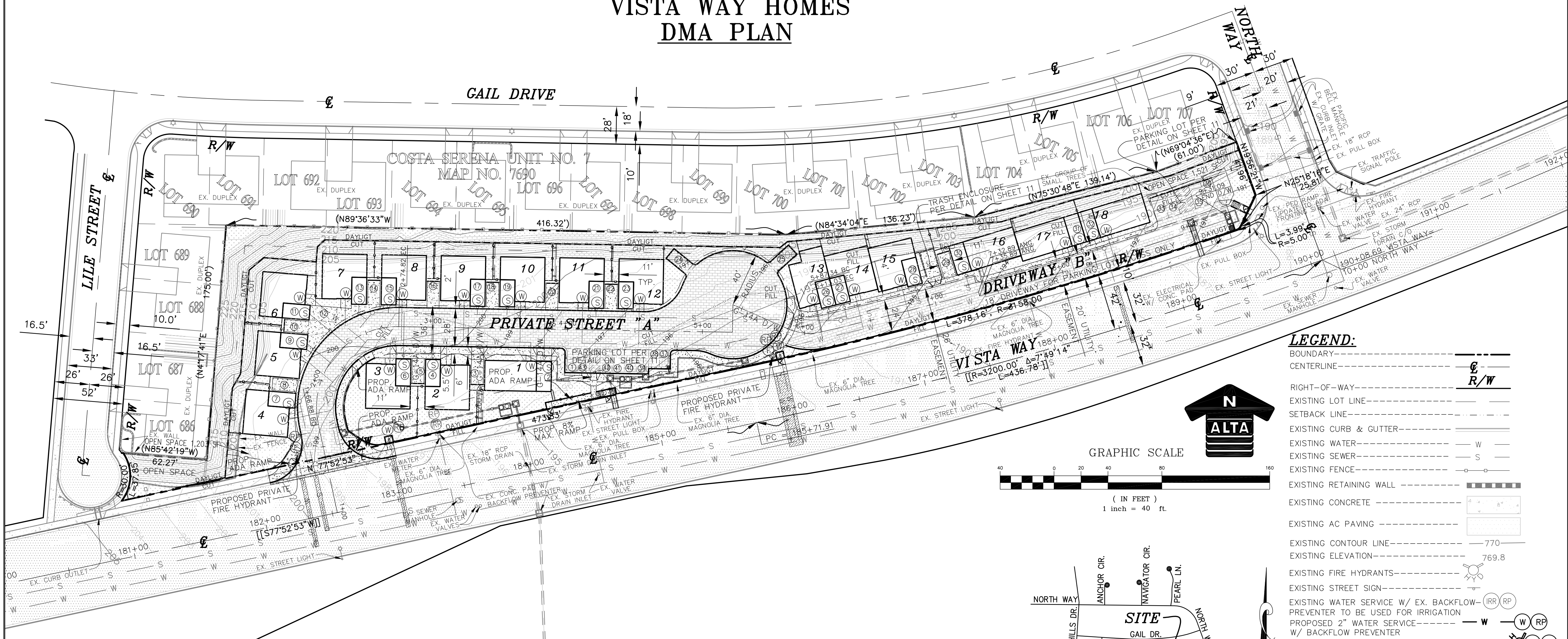
ENGINEER OF WORK

Bartolome J. Pastor, RCE 38606
DATED: NOVEMBER 3, 2021



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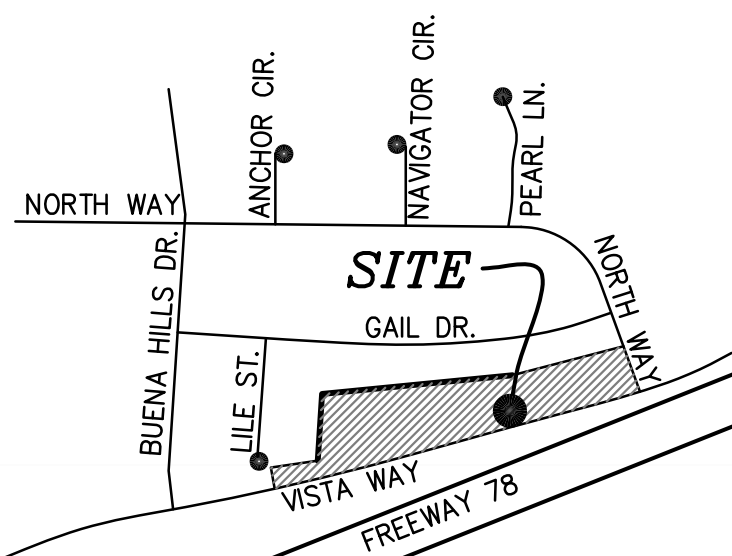
VISTA WAY HOMES DMA PLAN



LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE	---
W/ BACKFLOW PREVENTER	---
PROPOSED 6" FIRE SERVICE	---
W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/----- PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4"SEWER LATERAL	---
6" SEWER LATERAL W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED TYPE G PER G-2 CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 6	---
TRENCH RESURFACING M_3A	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
(PVT.) PROPRIETARY TREATMENT UNIT	---
PER DETAIL ON SHEET NO. 9	---
(PVT.)MODIFIED TYPE A CLEANOUT	---
W/SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX	---
W/ TRAFFIC GRATE PER DETAILS ON SHEET 10	---
(PVT.) 2424 BROOKS BOX W/-----	---
PARKWAY GRATE PER DETAILS ON SHEET 10	---
AREA DRAIN PER DETAIL ON SHEET 10	---

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

VICINITY MAP

NOT TO SCALE

POTENTIAL POLLUTANTS

POLLUTANT	POTENTIAL SOURCE	SOURCE CONTROLS
SEDIMENT	DURING GRADING OPERATIONS	CONST. BMP'S PERMANENT LANDSCAPING AND HARDSCAPE TO BE APPLIED ONLY AS NEEDED
NUTRIENTS	FERTILIZER	TO REMOVE & DISPOSE IN A PROPER MAONOR
TRASH & DEBRIS	GENERAL TRASH	TO REMOVE & DISPOSE IN A PROPER MAONOR
OXYGEN DEMANDING SUBSTANCES	GENERAL	ALL RUNOFF IS DIRECTED TO BIO-FILTRATION UNITS
BACTERIA & VIRUSES	GENERAL	
PESTICIDES	LANDSCAPING	

REQUIRED NOTES FOR THIS EXHIBIT:

1. THE UNDERLYING HYDROLOGIC SOIL GROUP IS "D".
2. THE GROUNDWATER IN THIS AREA IS DEEP ENOUGH NOT TO IMPACT SITE DEVELOPMENT.
3. THERE ARE NO NATURAL HYDROLOGIC FEATURES ON THIS SITE.
4. THERE ARE NO CRITICAL COURSE SEDIMENT YIELD AREAS ON THE PROJECT.
5. THE EXISTING TOPOGRAPHY AND PROPOSED IMPERVIOUS AREAS ARE INDICATED ON THE EXHIBIT.
6. THE EXISTING AND PROPOSED SITE DRAINAGE NETWORK AND CONNECTIONS TO OFFSITE ARE SHOWN.
7. THERE IS NO PROPOSED DEMOLITION ON THIS SITE, OTHER THAN CLEARING & GRUBING, REMOVAL OF EXISTING WALLS, AND SAWCUT AND REMOVAL OF EXISTING PUBLIC IMPROVEMENTS AS NEEDED TO PROVIDE ACCESS AND UTILITIES FOR THIS SITE.
8. THE PROPOSED GRADING IS SHOWN ON THIS EXHIBIT, INCLUDING PROPOSED RETAINING WALLS.
9. THE PROPOSED IMPERVIOUS FEATURES ON THIS PROJECT ARE SHOWN ON THIS EXHIBIT.
10. THE DESIGN FEATURES AND SURFACE TREATMENTS USED TO MAINTAIN IMPERVIOUSNESS ARE SHOWN ON THIS EXHIBIT.
11. DRAINAGE MANAGEMENT AREAS ARE SHOWN AND IDENTIFIED. MINAULMIST AREAS ARE INDICATED.
12. THERE ARE NO POLLUTANT SOURCE AREAS REQUIRING SOURCE CONTROLS ON THIS PROJECT.
13. THE STRUCTURAL (PERMANENT) BMPS ARE SHOWN AND IDENTIFIED ON THIS EXHIBIT.

AREA A LOW IMPACT DEVELOPMENT DESIGN							AREA C LOW IMPACT DEVELOPMENT DESIGN						
DMA NAME	DMA AREA SF	POST PROJECT SURFACE TYPE	% OF A2	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF A2	DMA NAME	DMA AREA SF	POST PROJECT SURFACE TYPE	% OF A1 & A3	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF A1 & A3
ASPHALT	0	ASPHALT	0%	1.0	0	0%	ASPHALT	0	ASPHALT	0%	1.0	0	0%
BUILDINGS	9,053	BUILDINGS	29%	1.0	9,053	29%	BUILDINGS	6,620	BUILDINGS	28%	1.0	6,620	28%
CONCRETE	2,868	CONCRETE	9%	1.0	2,868	9%	CONCRETE	2,332	CONCRETE	10%	1.0	2,444	10%
LANDSCAPING	15,558	LANDSCAPING	49%	0.1	1,556	5%	LANDSCAPING	6,841	LANDSCAPING	29%	0.1	684	3%
WALLS	374	WALLS	1%	1.0	374	1%	WALLS	537	WALLS	2%	1.0	537	2%
PAVERS	3,802	PAVERS	12%	0.2	760	2%	PAVERS	7,222	PAVERS	30%	0.2	1,221	6%
TREATMENT	32	PROPRIETARY	0%	0.1	3	0%	TREATMENT	32	PROPRIETARY	0%	0.1	3	0%
TOTAL DMA AREA	31,687	37% OF TOTAL AREA	100%				TOTAL DMA AREA	23,696	28% OF TOTAL AREA	100%			
TOTAL DMA AREA					14,614	0.04	585	TOTAL DMA AREA				11,753	0.04
AREA B LOW IMPACT DEVELOPMENT							AREA D LOW IMPACT DEVELOPMENT DESIGN						
DMA NAME	DMA AREA SF	POST PROJECT SURFACE TYPE	% OF B1	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF B1	DMA NAME	DMA AREA SF	POST PROJECT SURFACE TYPE	% OF A1 & A3	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF A1 & A3
ASPHALT	0	ASPHALT	0%	1.0	0	0%	ASPHALT	0	ASPHALT	0%	1.0	0	0%
BUILDINGS	4,544	BUILDINGS	15%	1.0	4,544	15%	BUILDINGS	0	BUILDINGS	0%	1.0	0	0%
CONCRETE	4,866	CONCRETE	10%	1.0	4,866	10%	CONCRETE	0	CONCRETE	0%	1.0	0	0%
LANDSCAPING	8,143	LANDSCAPING	27%	0.1	814	3%	LANDSCAPING	4	LANDSCAPING	100%	0.1	0	0%
WALLS	344	WALLS	1%	1.0	344	1%	WALLS	0	WALLS	0%	1.0	0	0%
PAVERS	12,334	PAVERS	41%	0.2	2,468	8%	PAVERS	0	PAVERS	0%	0.2	0	0%
TREATMENT	32	PROPRIETARY	0%	0.1	3	0%	TREATMENT	0	PROPRIETARY	0%	0.1	0	0%
TOTAL DMA AREA	30,268	35% OF TOTAL AREA	100%				TOTAL DMA AREA	4	0% OF TOTAL AREA	100%			
TOTAL DMA AREA					13,038	0.04	522	TOTAL DMA AREA				0	0.04

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED SATNDARD PARKING SPACES (18'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HADICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED 1S-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCENSEIDE #1020
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIANT: 2:1
25. ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
26. GRADED AREA: 1.63 AC=82% OF SITE
27. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C07686G

DMA LEGEND:

DMA AREA	---
WATERSHED NAME	---
WATERSHED DESIGNATION	---
WATERSHED AREA	---
HYDROLOGIC SOIL GROUP "D"	---
DEPTH TO GROUNDWATER > 12	---

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: OCTOBER 29, 2021



ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE OCTOBER 29, 2021

Date: 10/29/2021

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