

VISTA WAY HOMES

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING, AND UTILITIES. THESE AREAS ARE INTENDED AS A PART OF THIS PROJECT ALONG WITH DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS STREET DEDICATION: 9 AC
- PROPOSED PRIVATE STREET AREA: 9 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- ATTACHED GARAGE SPACE PER UNIT=18 UNATTACHED STANDARD PARKING SPACES (18x29)=19 UNATTACHED IMPACT PARKING SPACES (16x8)=2 TOTAL PARKING SPACES PROPOSED=39
- ASSASSOR'S PARCEL NUMBER: 165-493-47

- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92036
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, CALIFORNIA, COUNTY OF SAN DIEGO, ARE HEREBY FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL-SANIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE RECORD NO. 680 NAV 88 CITY OF OCEANSIDE #1024

- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HERETO NO. 7690 11, NORTH 69°04'36" EAST.

- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,288 SF OR .26%
- MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF. MINIMUM OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF. EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE

- AREA/PERCENT OF SITE IN LANDSCAPING: 28,698 SF OR .33% AREA/PERCENT OF SITE IN PARKING: 27,615 SF OR .32%
- ON-SITE GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.

- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C070665 DATED: 2/16/12

- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELING ALLOWED BY THIS SUBDIVISION.
- RENEWABLE ENERGY: SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2022
OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890 RANCHO SANTA FE, CA 92067
TELEPHONE: (866) 401-9090
E-MAIL: rezashere@gmail.com
BY: REZA SHERA
T21-00002
D21-00005
DB21-00003

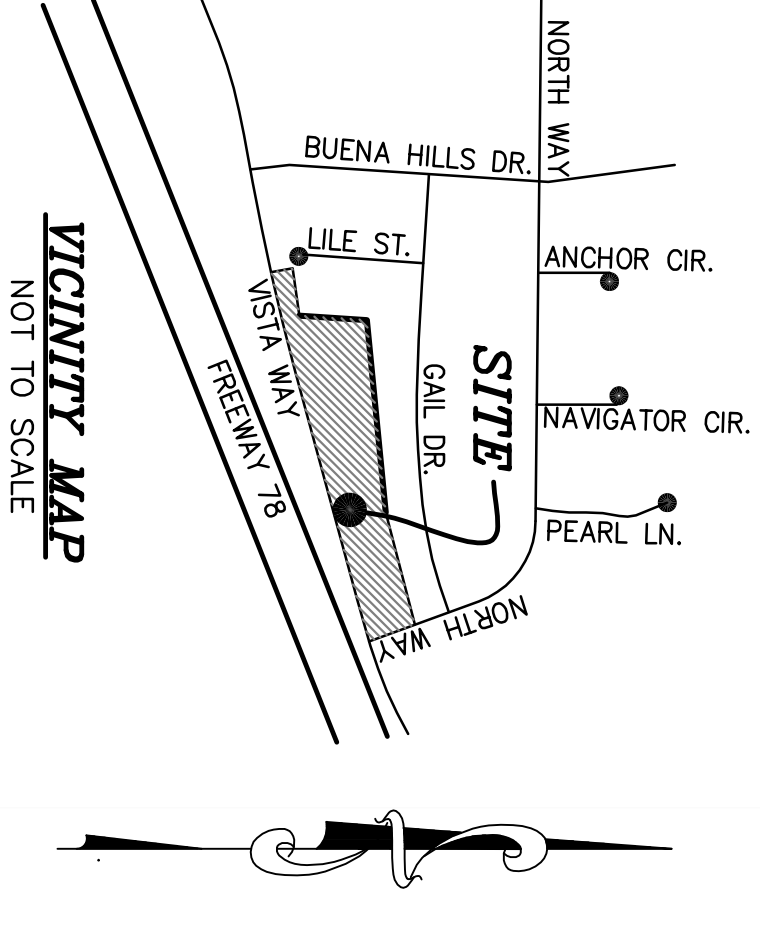


ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 100, El Cerrito, CA 94521 (916) 746-8818 Fax (916) 746-8815
JOB NO. 499-01, DATE MAY 24, 2022

PARKING SCHEDULE

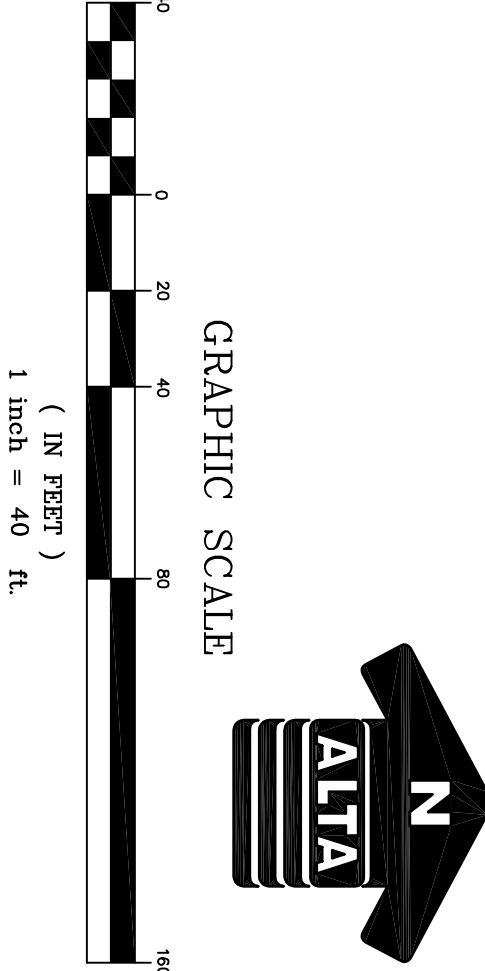
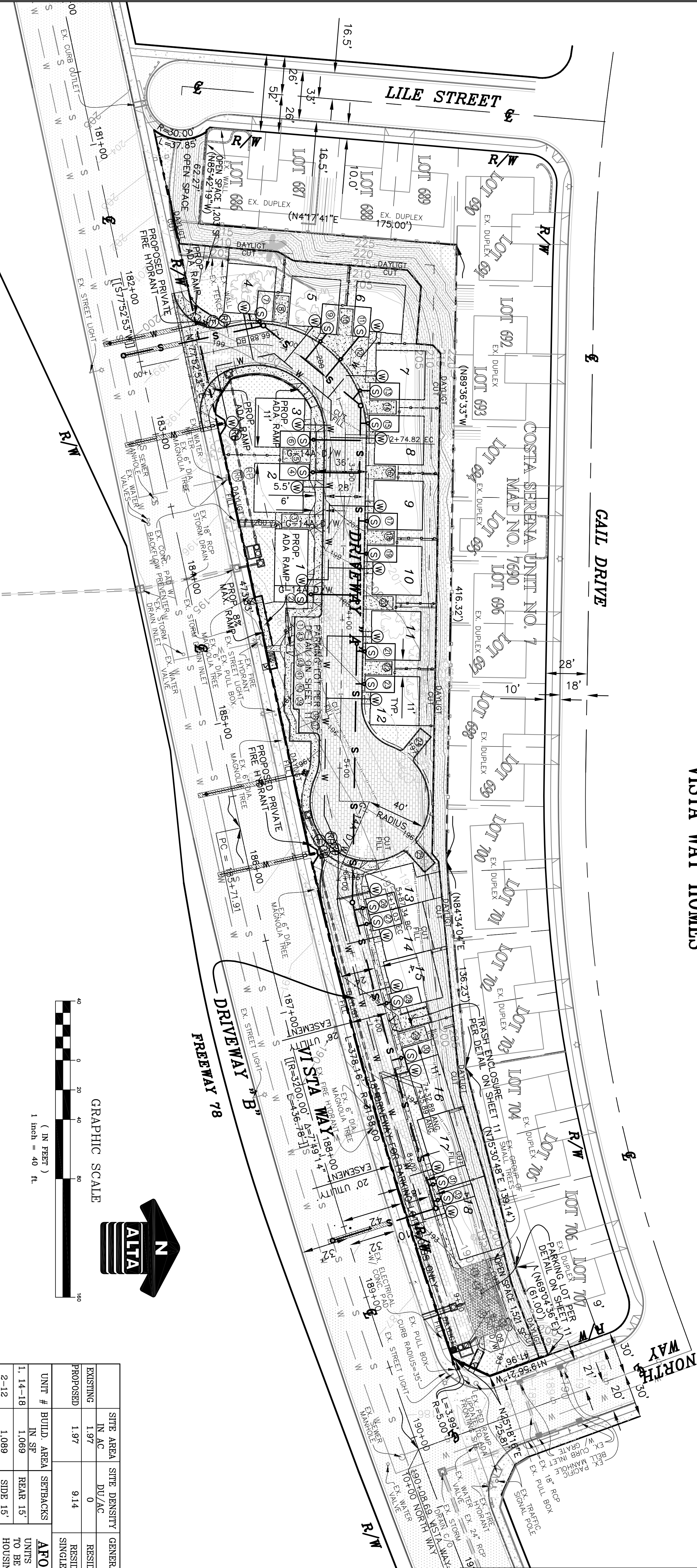
UNIT NO.	GARAGE	DETACHED
1	2	1
2	4	5
3	7	6
4	7	8
5	9	10
6	11	12
7	13	14
8	15	16
9	17	18
10	19	20
11	20	21
12	22	23
13	26	25
14	27	24
15	28	35
16	30	29
17	31	34
18	32	33
UNASSIGNED PARKING SPACES 38-43		

SITE AREA	SITE DENSITY	GENERAL PLAN	ZONING	LANDSCAPING
IN AC	DU/AC		RM-A	100%
EXISTING	1.97	0	RESIDENTIAL	
PROPOSED	1.97	9.14	RESIDENTIAL SINGLE-FAMILY	40%
UNIT #	BUILD AREA	SETBACKS	AFFORDABLE HOUSING	
1, 14-18	IN SF	REAR 15'	UNITS 16, 17 & 18 ARE PROPOSED TO BE AFFORDABLE. THE AFFORDABLE HOUSING UNITS FOR THIS SITE, 3/18-16.7 OF THE PROPOSED DWELLINGS FOR THIS SITE WILL BE AFFORDABLE HOUSING.	
2-12	1,089	SIDE 15'		
13	1,114	FRONT 20'		
18 UNITS TOTAL				



EXISTING EASEMENTS NOTES

SEE SHEET NO. 2 FOR LOCATIONS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 19000480110 AND DATED FEBRUARY 10, 2019 EASEMENTS SHOWN HEREON USE THE SAME ITEM NUMBERS AS REFERENCED IN SAID REPORT.
SHEET INDEX
TENTATIVE PARCEL MAP SHEET 1
SITE TOPO & EX. EASEMENTS SHEET 2
FIRE ACCESS PLAN, ADA ACCES..... SHEET 3
& TYPICAL STREET SECTIONS SHEET 3
CONCEPT WATER & SEWER PLANS..... SHEET 4-5
CONCEPT GRADING PLAN SHEET 6-7
CONCEPT SECTIONS AND DRIVEWAY "B" SHEET 9
PRIVATE STREET "A" PROFILE & SITE SECTIONS SHEET 10
CONCEPT STORM DRAIN PROFILES SHEET 11
MISC. DETAILS SHEET 11
EXHIBITS FOR PROPOSED BUILDING SETBACKS..... SHEET 12-13
PROPOSED DMA PLAN SHEET 14
WAIVER EXHIBIT SHEET 15



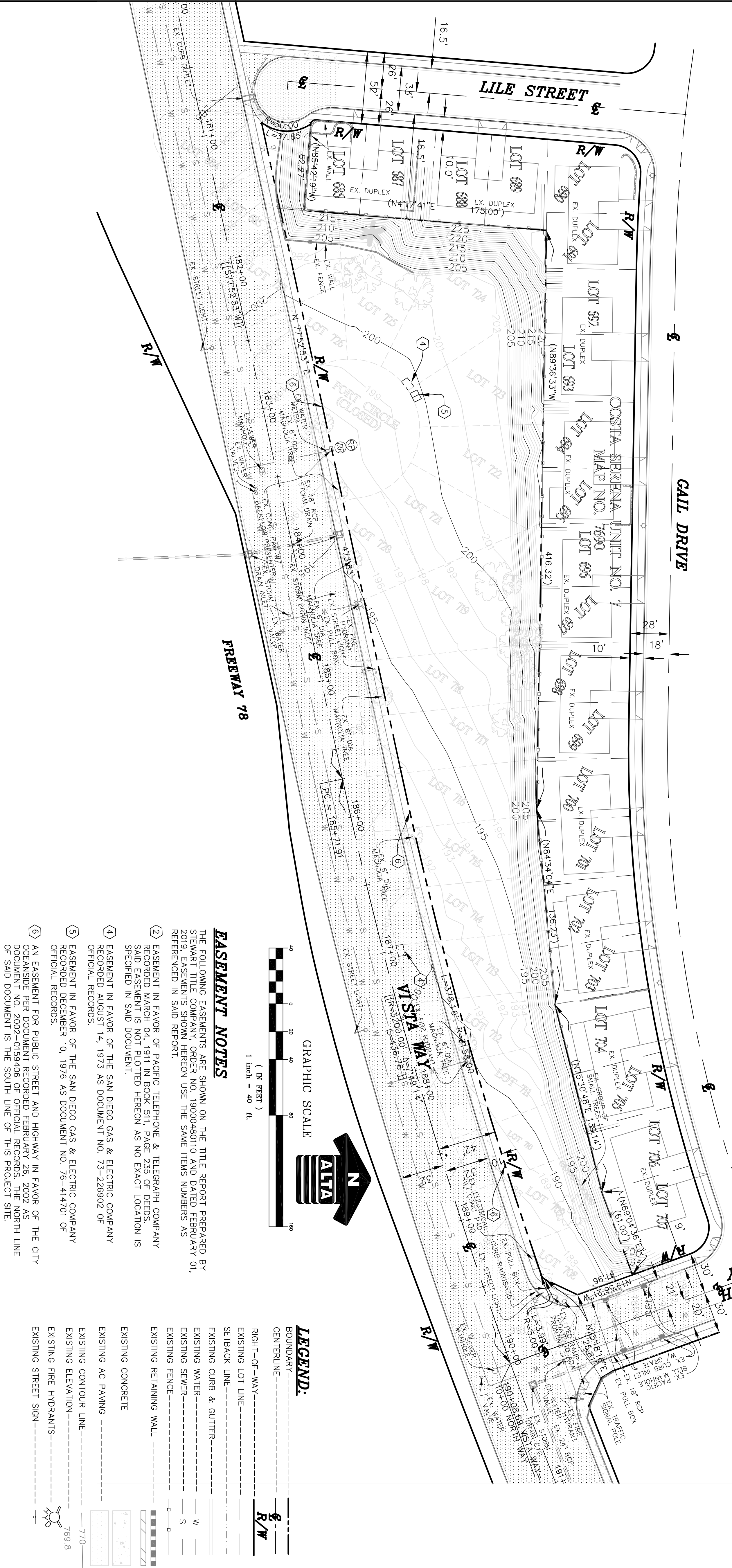
LEGEND:

BOUNDARY-----		PROPOSED LANDSCAPING-----	
CENTERLINE-----		PROPOSED CONCRETE-----	
RIGHT-OF-WAY-----		PROPOSED AC PAVING-----	
EXISTING LOT LINE-----		PROPOSED PAYER-----	
SETBACK LINE-----		PER DETAIL ON SHEET NO. 10	
EXISTING CURB & GUTTER-----		TRENCH RESURFACING M. 3A-----	
EXISTING WATER-----		PROPOSED WATER STORAGE	
EXISTING SEWER-----		SEE SWAMP FOR DETAILS	
EXISTING FENCE-----		PROPOSED RETAINING WALL-----	
EXISTING RETAINING WALL-----		2:1 SLOPE-----	
EXISTING CONCRETE-----		DAYLIGHT LINE-----	
EXISTING AC PAVING-----		DIRECTION OF FLOW-----	
EXISTING CONTOUR LINE-----		(PVT) PROPOSED STORM DRAIN-----	
EXISTING ELEVATION-----		CURB OUTLET PER D-25A-----	
EXISTING FIRE HYDRANTS-----		(PVT) PROPRIETARY TREATMENT UNIT-----	
EXISTING STREET SIGN-----		PER DETAIL ON SHEET NO. 10	
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION-----		(PVT) MODIFIED TYPE A-4 CLEANOUT-----	
PROPOSED 2" WATER SERVICE-----		W/ SWAMP PUMP-----	
W/ BACKFLOW PREVENTER-----		(PVT) 36x6 OR 18x18 BROOKS BOX-----	
PROPOSED 8" FIRE SERVICE-----		W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	
FOR PVT. FIRE HYDRANT-----		PARKWAY GRATE PER DETAILS ON SHEET 11	
PROPOSED 1" WATER SERVICE W/-----		AREA DRAIN PER DETAIL ON SHEET 10-----	
PRIVATE WATER METER TO BE MAINTAINED BY HOA-----			
PROPOSED PRIVATE 4" SEWER LATERAL-----			
8" PRIVATE SEWER MAIN W/ SEWER MH-----			
PARKING SPACE NUMBER-----			
PROPOSED G-2 CURB & GUTTER-----			
PROPOSED G-1 GUTTER-----			
PROPOSED ROLLED CURB-----			
SEE LANDSCAPE PLANS FOR DETAILS			

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING, AND OTHERS. THE PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - ASSESSOR'S PARCEL NUMBER: 165-483-47
 - SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92036
 - PORTIONS OF LOTS 694, 685, 708 THROUGH 720, LOTS 721 THROUGH 726 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, CALIFORNIA, ARE BEING OFFERED FOR SALE TO THE PUBLIC BY THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
 - BENCH MARK: DESCRIPTION: CI MONUMENT 3.5" BRASS DISC LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
 - SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HERBOR NO. 7690 I.E. NORTH 69°04'58" EAST.
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06072C0786G DATED: 5/16/12

VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS



ENGINEER OF WORK

Baritone J. Pastor
No. 38606
BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2022



T21-00002
D21-00005
DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
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JOB NO. 499-01, DATE MAY 24, 2022

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COERS WILL BE REQUIRED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON AREAS, INCLUDING BUT NOT LIMITED TO: PARKING, LANDSCAPING, AND OTHER AMENITIES. PARKING SHALL BE PROVIDED AS A PART OF THIS PROJECT ALONG WITH DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (16'x29')=19
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056

- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0194407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CI MONUMENT 3.5" BRASS DISC LOCATION: INT VISTA WAY AND BUENA HILLS ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690 I.E. NORTH 69°04'56" EAST.
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,268 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 OR 44%
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
- PLANS FOR THIS PROJECT.
- FEHA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODPLAIN OR FLOODPLAIN PER FEHA MAP 06073C07696 DATED: 5/16/12

ENGINEER OF WORK

BAETOLOONE J. PASTOR, RCE 38606
DATED: MAY 2022



WATER NOTES:

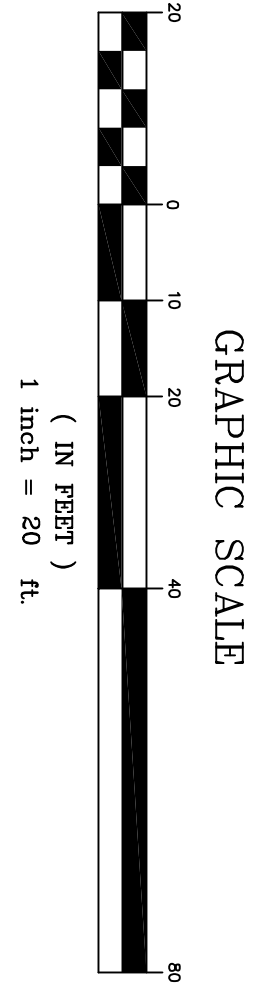
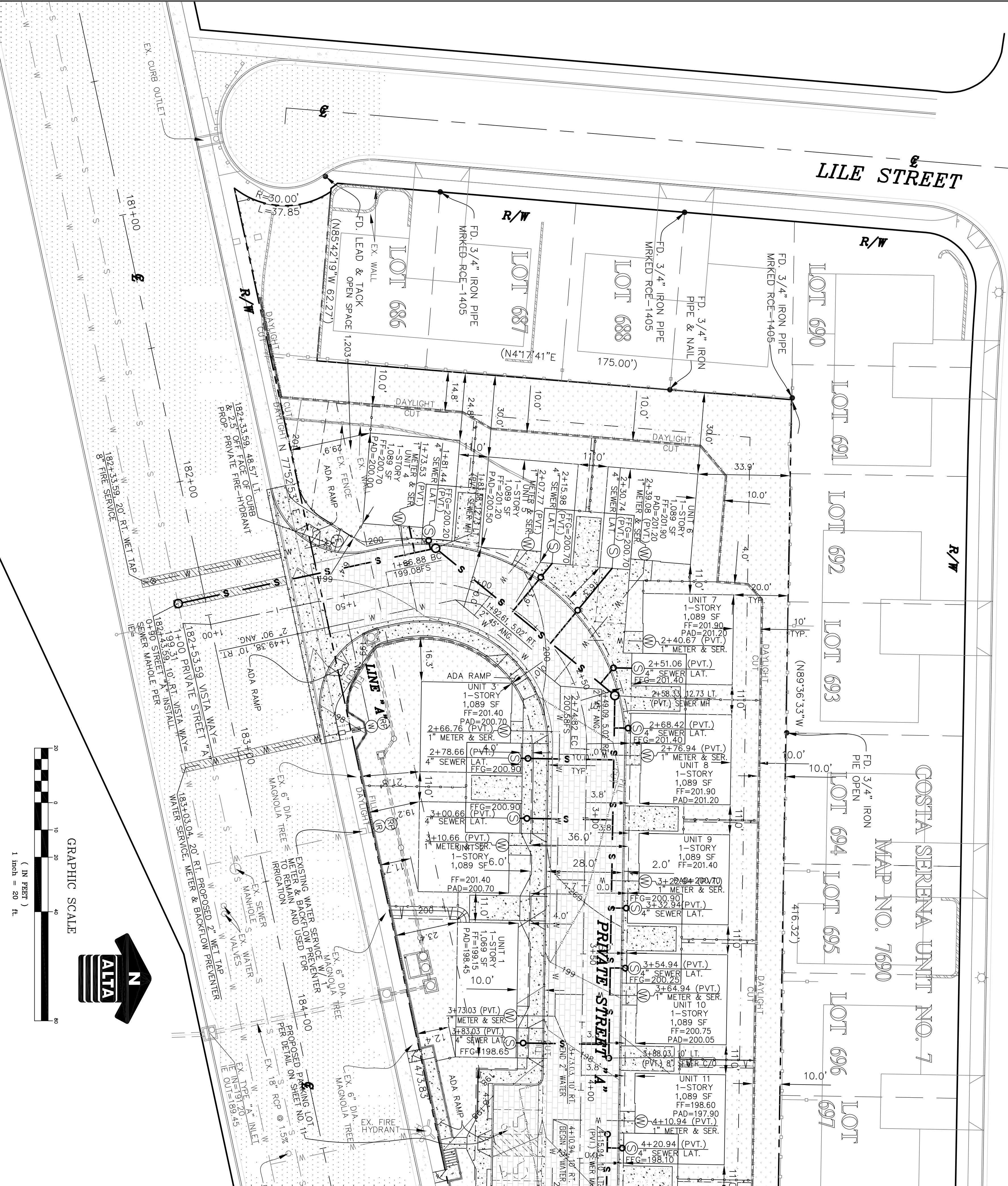
- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR COATED AS FOLLOWS:
 - 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
 - 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS, SEE TABLE
1. NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
1. RECLAIMED WATER: PURPLE IN COLOR (PANTONE #512) AND SHALL BE IMPRINTED IN NORMAL 1/2 INCH HIGH BLACK, UPPER CASE LETTERS, WITH THE WORDS "CAUTION: RECLAIMED WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
- CPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS, REFERENCED IN TABLE 611.4, WASTE DISCHARGE FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES, BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING, RECOGNIZED FROM THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES, BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING, RECOGNIZED FROM THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (CPC SECTION 603.2)
- COPIES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT. THESE METERS WILL BE MAINTAINED AND MANAGED BY THE HOA FOR THIS PROJECT.
- THERE ARE (2) 2" PUBLIC WATER METERS PROPOSED FOR THIS SITE.
- THE PROPOSED 2" WATER METER AT STA. 183+104.04 SERVES UNITS 3-10.
- THE PROPOSED 2" WATER METER AT STA. 185+99.64 SERVES UNITS 11-18.
- PUBLIC WATER METERS SHALL A MINIMUM 3" SPACING / CLEARANCE ALL AROUND METER FOR MAINTENANCE.
- FIRE HYDRANTS FOR SHALL A MINIMUM 5' SPACING / CLEARANCE ALL AROUND FIRE HYDRANTS FOR MAINTENANCE.

LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE-----
- EXISTING ELEVATION-----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- EXISTING WATER SERVICE W/ EX. BACKFLOW-----
- PREVENTER TO BE USED FOR IRRIGATION-----
- PROPOSED 2" WATER SERVICE-----
- W/ BACKFLOW PREVENTER-----
- PROPOSED 8" FIRE SERVICE-----
- FOR PVT. FIRE HYDRANT-----
- PROPOSED 1" WATER SERVICE W/-----
- PRIVATE WATER METER TO BE MAINTAINED BY HOA-----
- PROPOSED PRIVATE 4" SEWER LATERAL-----
- 8" PRIVATE SEWER MAIN W/ SEWER MH-----
- PARKING SPACE NUMBER-----
- PROPOSED G-2 CURB & GUTTER-----
- PROPOSED G-1 GUTTER-----
- PROPOSED ROLLED CURB-----
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS-----
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVES-----
- PER DETAIL ON SHEET NO. 10-----
- TRENCH RESURFACING M.3A-----
- PROPOSED WATER STORAGE-----
- SEE SWAMP FOR DETAILS-----
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- (PVT.) PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- (PVT.) PROPRIETARY TREATMENT UNIT-----
- PER DETAIL ON SHEET NO. 10-----
- (PVT.) MODIFIED TYPE A CLEANOUT-----
- W/SUMP PUMP-----
- (PVT.) 3636 OR 1818 BROOKS BOX-----
- W/ TRAFFIC GRATE PER DETAILS ON SHEET 11-----
- (PVT.) 2424 BROOKS BOX W/-----
- PARKWAY GRATE PER DETAILS ON SHEET 11-----
- AREA DRAIN PER DETAIL ON SHEET 10-----

VISTA WAY HOMES
CONCEPT SEWER & WATER PLAN

GAIL DRIVE



MATCH LINE SEE SHEET NO. 5

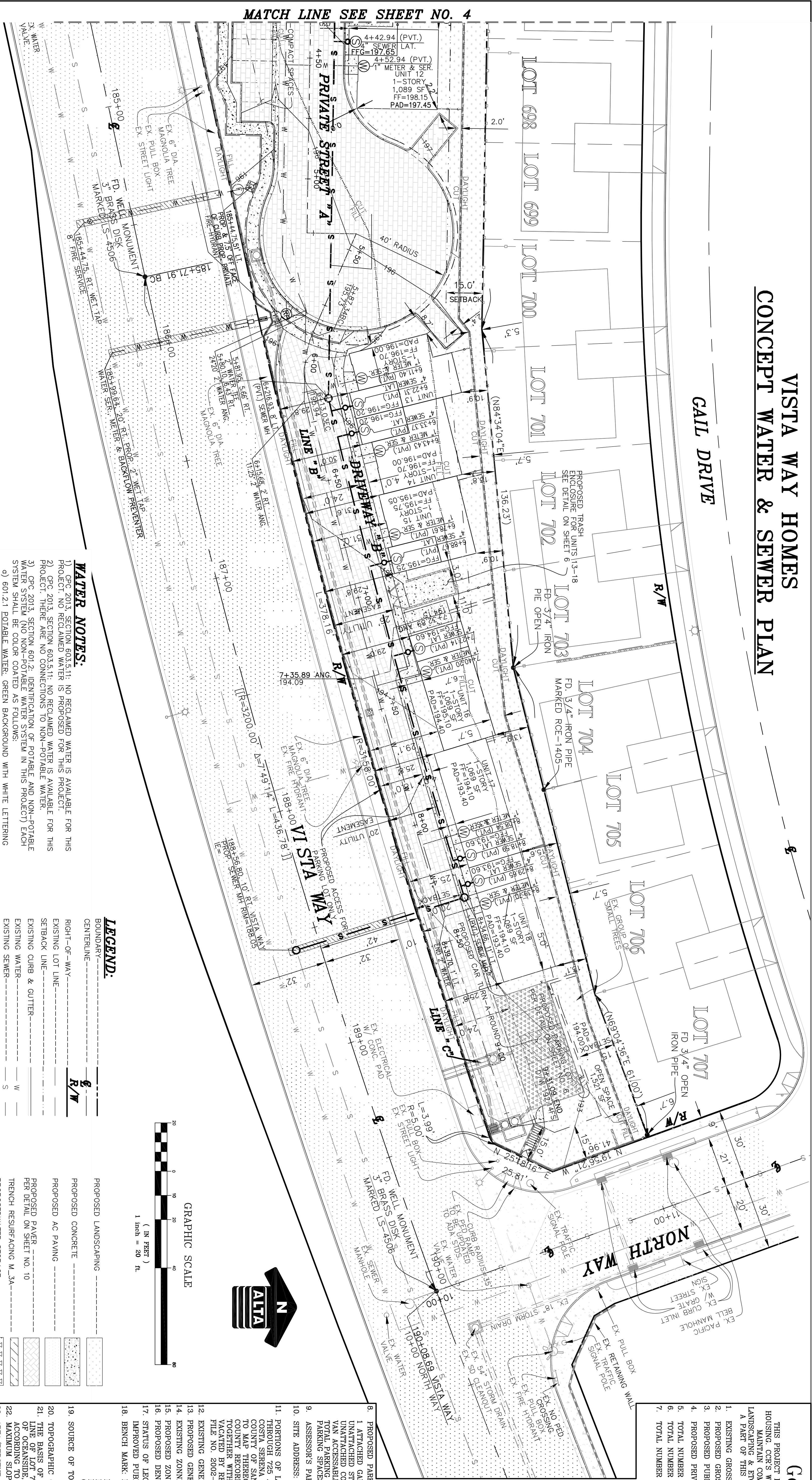
General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CERS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING, AND UTILITIES. THE PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

VISTA WAY HOMES
CONCEPT WATER & SEWER PLAN

GAIL DRIVE

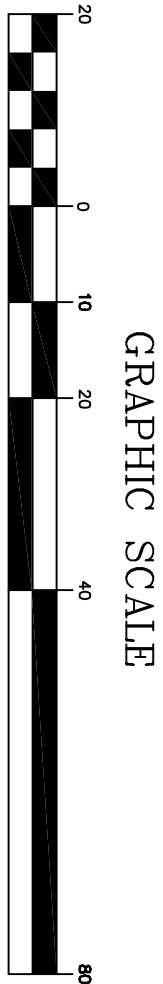


WATER NOTES:

- 1) CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- 2) CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- 3) CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR COATED AS FOLLOWS:
 - a) 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK."
 - b) 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS: SEE TABLE PROVIDED" [HCD 1 & 2]

LEGEND:

BOUNDARY-----	R/W
RIGHT-OF-WAY-----	
EXISTING LOT LINE-----	
SEBACK LINE-----	
EXISTING CURB & GUTTER-----	
EXISTING WATER-----	
EXISTING SEWER-----	
EXISTING FENCE-----	
EXISTING RETAINING WALL-----	
EXISTING CONCRETE-----	
EXISTING AC PAVING-----	
EXISTING CONTOUR LINE-----	
EXISTING ELEVATION-----	
EXISTING FIRE HYDRANTS-----	
EXISTING STREET SIGN-----	
EXISTING WATER SERVICE W/ EX. BACKFLOW-----	
PREVENTER TO BE USED FOR IRRIGATION-----	
PROPOSED 2" WATER SERVICE-----	
PROPOSED 8" FIRE SERVICE-----	
FOR PVT. FIRE HYDRANT-----	
PROPOSED 1" WATER SERVICE W/ EX. BACKFLOW-----	
PRIVATE WATER METER TO BE MAINTAINED BY HOA-----	
8" PRIVATE SEWER MAIN W/ SEWER MH-----	
PARKING SPACE NUMBER-----	
PROPOSED C-2 CURB & GUTTER-----	
PROPOSED C-1 GUTTER-----	
PROPOSED ROLLED CURB-----	
PROPOSED FENCE-----	
SEE LANDSCAPE PLANS FOR DETAILS-----	



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2022

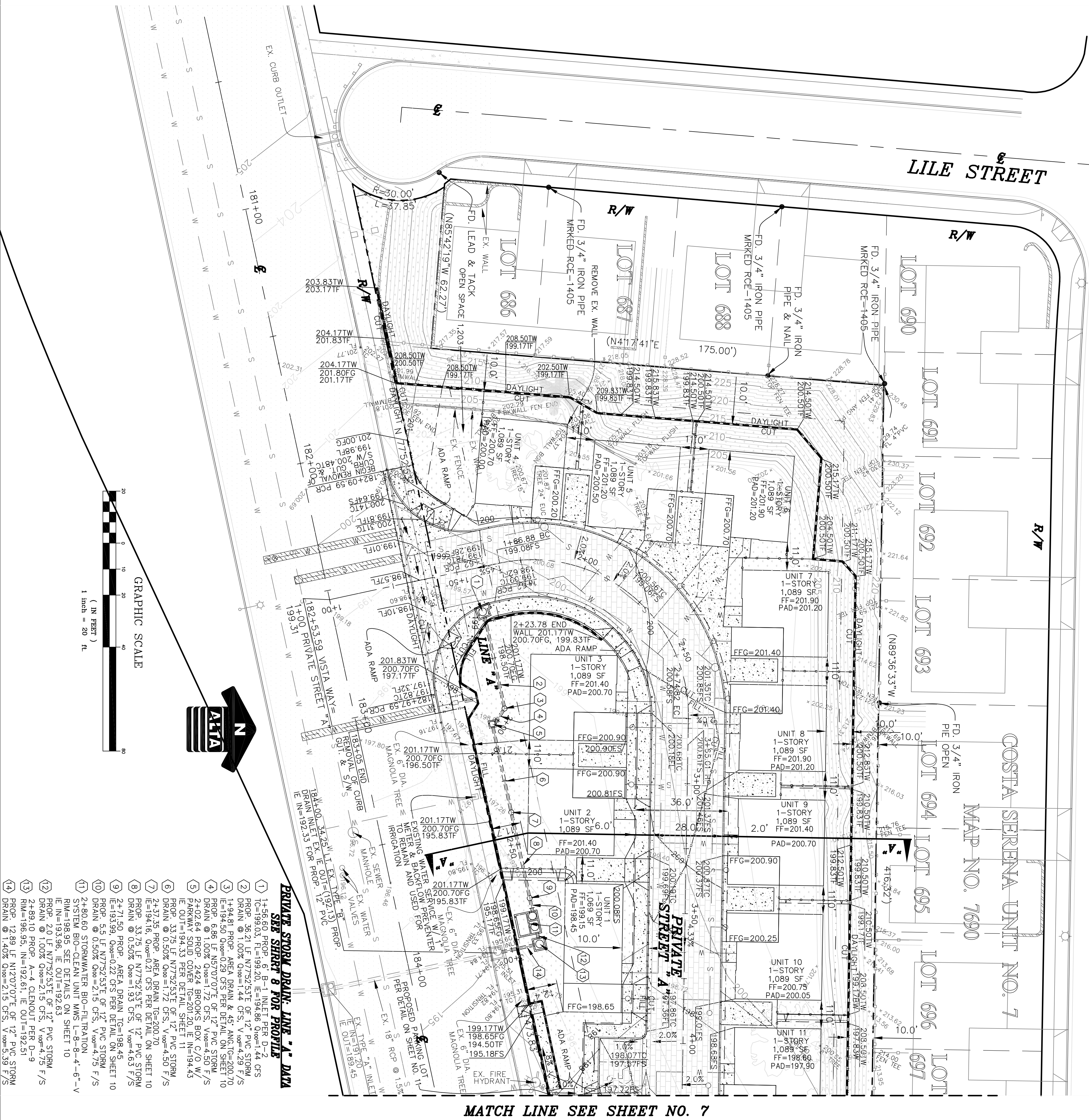


T21-00002 DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 100, #100, CA 92021 (619) 746-8818 Fax (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2022

VISTA WAY HOMES
CONCEPT GRADING PLAN

GAIL DRIVE



LEGEND:

BOUNDARY LINE-----
CENTERLINE-----
R/W-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING AC PAVING-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING STREET SIGN-----
EXISTING WATER SERVICE W/ EX BACKFLOW PREVENTER TO BE USED FOR IRRIGATION
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER
PROPOSED 8" FIRE SERVICE FOR P.V.T. FIRE HYDRANT
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA
PROPOSED PRIVATE 4" SEWER LATERAL
PRIVATE SPACE NUMBER
PROPOSED 6-2 CUB & CUTTER
PROPOSED 6-1 GUTTER
PROPOSED ROLLED CURB-----
PROPOSED FENCE-----
SEE LANDSCAPE PLANS FOR DETAILS
PROPOSED LANDSCAPING-----
PROPOSED CONCRETE-----
PROPOSED AC PAVING-----
PROPOSED RAVER-----
PER DETAIL ON SHEET NO. 10
TRENCH RESURFACING M. 3A-----
PROPOSED WATER STORAGE-----
SEE SWAMP FOR DETAILS
PROPOSED RETAINING WALL-----
2-1 SLOPE-----
DAYLIGHT LINE-----
DIRECTION OF FLOW-----
(P.V.T.) PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25A-----
(P.V.T.) PROPRIETARY TREATMENT UNIT-----
PER DETAIL ON SHEET NO. 10
(P.V.T.) MODIFIED TYPE A CLEANOUT W/ SWAMP PUMP-----
(P.V.T.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRADE PER DETAILS ON SHEET 11
(P.V.T.) 2424 BROOKS BOX W/ PARKWAY GRADE PER DETAILS ON SHEET 11
PEAK DRAIN PER DETAIL ON SHEET 10-----

General Notes

MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (16'x9')=19
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=43
PARKING SPACES PER UNIT=2.39
9. ASSESSORS PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 664, 665, 708 THROUGH 720, LOTS 721
THROUGH 723 AND PORTIONS OF LOTS 726 AND 727 OF
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING
TO MAP THEREOF NO. 7699, FILED IN THE OFFICE OF THE
COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973,
TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS
VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS
FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 9.14 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY
IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED IS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORDING DATE: OCEANSIDE
RECORDING BOOK: 100640
CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH
LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY
OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,
ACCORDING TO MAP HEREOF NO. 7690 (I.E. NORTH 69°04'36" EAST
22. MAXIMUM SLOPE GRADIENT: 2:1
23. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
24. MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF
EXISTING OPEN SPACE IS 5,400 SF OR 28% OF 19,200 SF
EACH LOT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
25. AREA/PERCENT OF SITE IN LANDSCAPING: 37,893 SF OR 44%
26. NESTER GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO
ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
27. GRADED AREA: 1.63 AC=62% OF SITE
28. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
FOR THIS PROJECT.
29. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR
FLOODWAY OR FLOODPLAIN PER FEMA MAP 060703C766G
DATED: 2/16/12

ENGINEER OF WORK

Bartholome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
 DATED: _____ MAY _____, 20____



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1263 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8618 Fax: (619) 749-8619
TOR NO. 400 OF DATE MAY 24 2003

Date: 5/24/2022

SHEET 6 OF 15

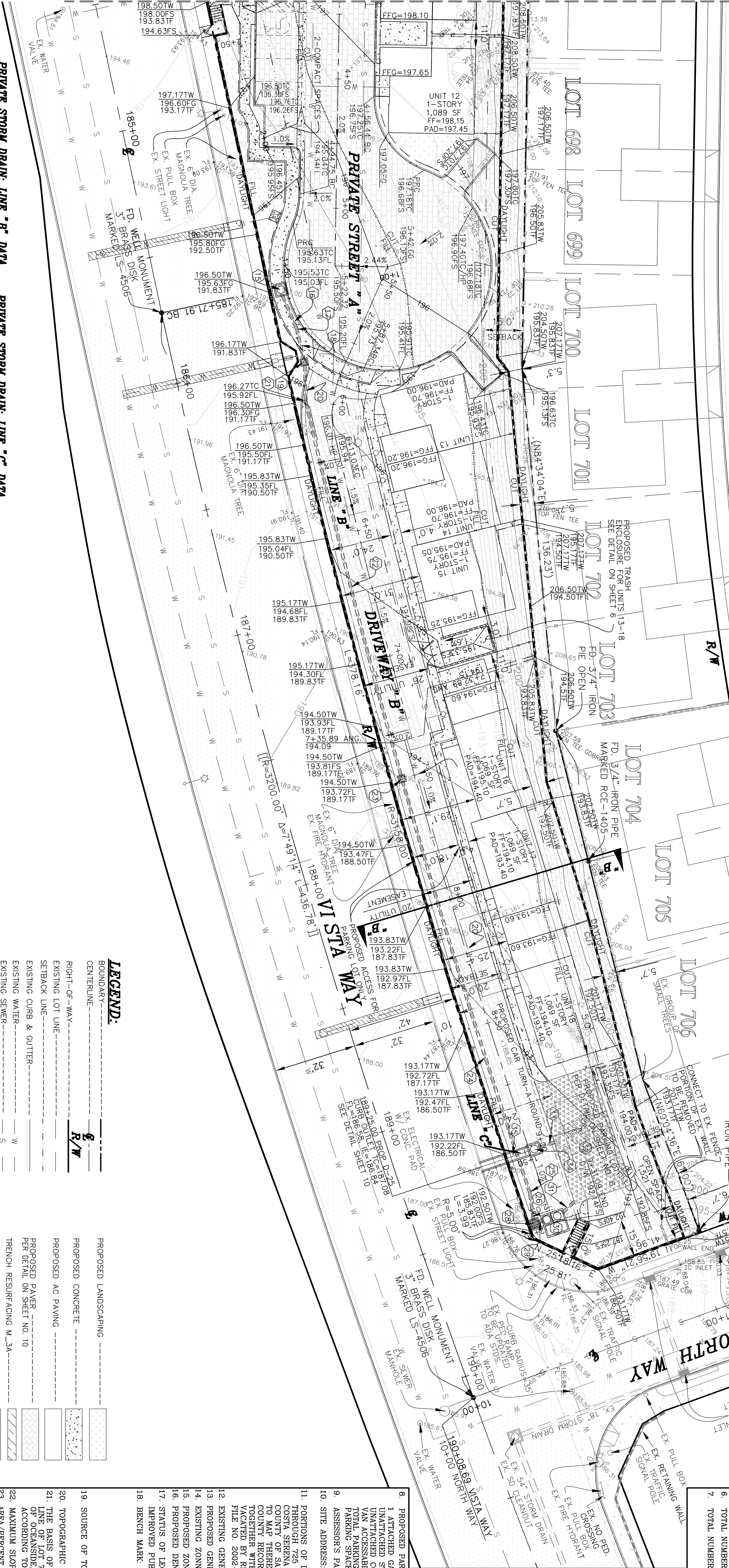
General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPE, AND OTHER AREAS. THE PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

VISTA WAY HOMES
CONCEPT GRADING PLAN

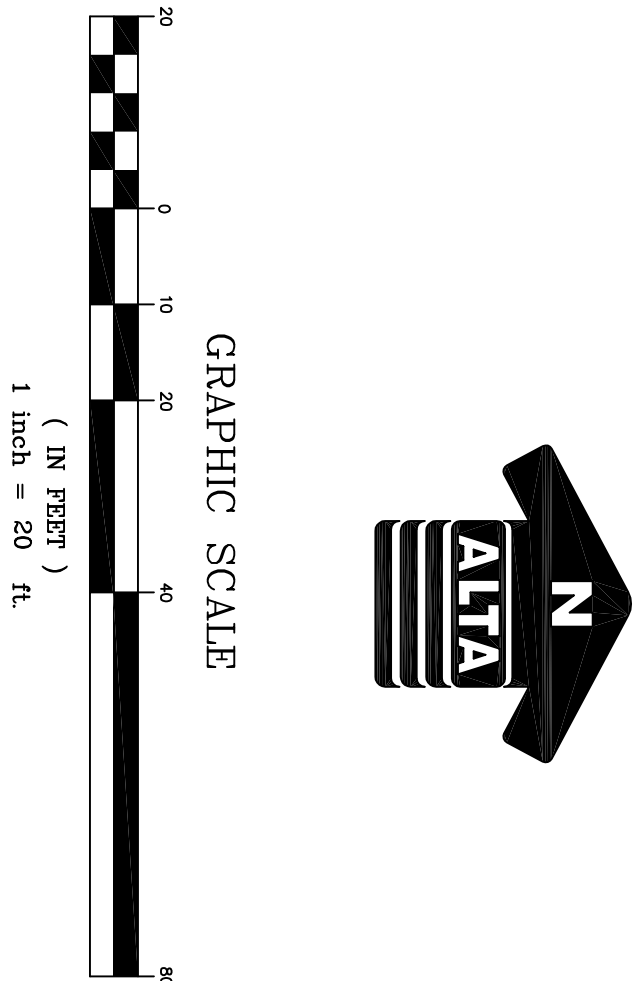
GAIL DRIVE



PRIVATE STORM DRAIN, LINE "B" DATA
SEE SHEET 8 FOR PROFILE

PRIVATE STORM DRAIN, LINE "C" DATA
SEE SHEET 8 FOR PROFILE

- 15 5+67.28, 34.24' RT. PROP. 5' B INLET PER D-2 TO=195.51, FL=194.68, IE=191.73, Q₁₀₀=1.64 CFS
- 16 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S
- 17 IE=19.85 24.46 RT. PROP. 12' PVC 11.25' ANG
- 18 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S
- 19 1+88.76, 14.83' RT. PROP. 24.24' BROOKS BOX C/O
- 20 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S
- 21 IE=191.49 PER DETAIL ON SHEET 11
- 22 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S
- 23 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S
- 24 IE=191.42
- 25 PROP. 149.73 LF, R=3.153, 17' DELTA=02.4315'E
- 26 OF 12' PVC STORM DRAIN @ 0.50% Q₁₀₀=1.64 CFS
- 27 V₁₀₀=3.42 F/S
- 28 PROP. 24.24' BROOKS BOX C/O
- 29 IE=190.67
- 30 PROP. 166.34 LF, R=3.153, 17' DELTA=03.0121'E
- 31 OF 12' HOPE STORM DRAIN @ 0.50% Q₁₀₀=1.64 CFS
- 32 V₁₀₀=3.42 F/S
- 33 9+170.73, 5.01' RT. PROP. 12' HOPE 11.25' ANG
- 34 9+187.73, 5.01' RT. PROP. 12' HOPE 11.25' ANG
- 35 DRAIN @ 0.50% Q₁₀₀=1.64 CFS, V₁₀₀=3.42 F/S



LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE-----
- EXISTING ELEVATION-----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- EXISTING WATER SERVICE W/ EX. BACKFLOW-----
- PREVENTER TO BE USED FOR IRRIGATION-----
- PROPOSED 2" WATER SERVICE-----
- W/ BACKFLOW PREVENTER-----
- PROPOSED 8" FIRE SERVICE-----
- FOR PVT. FIRE HYDRANT-----
- PROPOSED 4" WATER SERVICE W/-----
- PRIVATE WATER METER TO BE MAINTAINED BY HOA-----
- PROPOSED PRIVATE 4" SEWER LATERAL-----
- 8" PRIVATE SEWER MAIN W/ SEWER MH-----
- PARKING SPACE NUMBER-----
- PROPOSED 6-2 CURB & GUTTER-----
- PROPOSED G-1 GUTTER-----
- PROPOSED ROLLED CURB-----
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS-----

- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVING-----
- PER DETAIL ON SHEET NO. 10
- TRENCH RESURFACING W. 3A-----
- PROPOSED WATER STORAGE
- SEE SWAMP FOR DETAILS
- PROPOSED RETAINING WALL-----
- 2.1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- (PVT.) PROPRIETARY TREATMENT UNIT-----
- PER DETAIL ON SHEET NO. 10
- (PVT.) MODIFIED TYPE A CLEANOUT-----
- W/ SWAMP PUMP-----
- (PVT.) 3636 OR 1818 BROOKS BOX-----
- W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
- (PVT.) 2424 BROOKS BOX W/-----
- PARKWAY GRATE PER DETAIL ON SHEET 10-----
- AREA DRAIN PER DETAIL ON SHEET 10-----

ENGINEER OF WORK

BARTOLOME J. PASTOR, REG. 38606
MAY 2022

T21-00002 D21-00005 DB21-00003

ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 100, Bldg. C-100, CA 92021 (951) 746-8818 FAX (951) 746-8818
JOB NO. 499-01, DATE MAY 24, 2022

Date: 5/24/2022

SHEET 7 OF 15

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COCS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMONLY AREAS SUCH AS DRIVEWAYS, PARKING, AND LANDSCAPING. THE PROJECT WILL BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

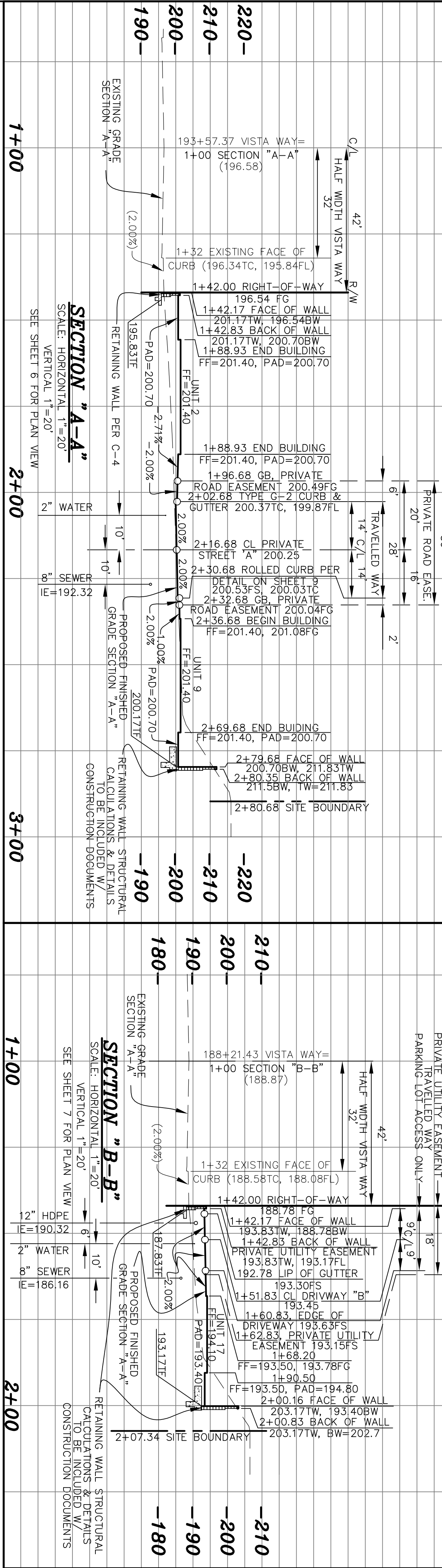
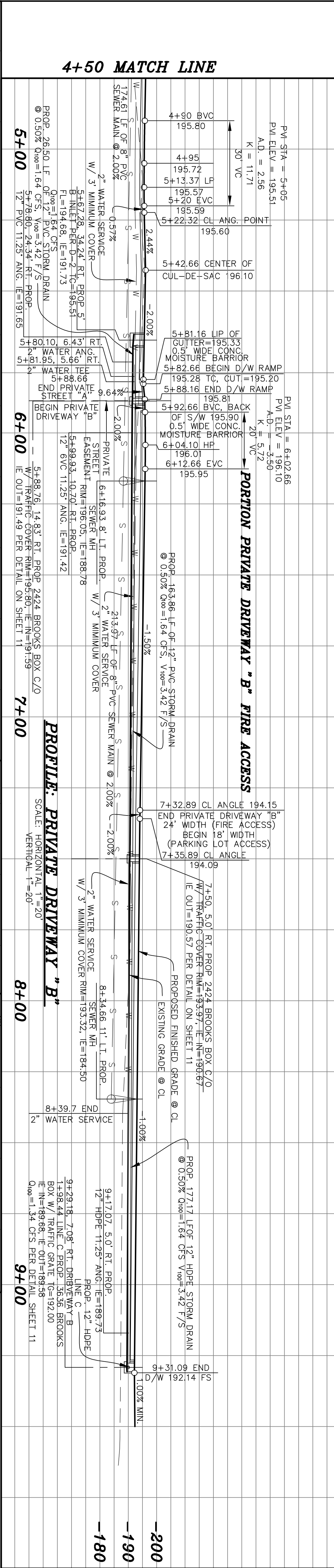
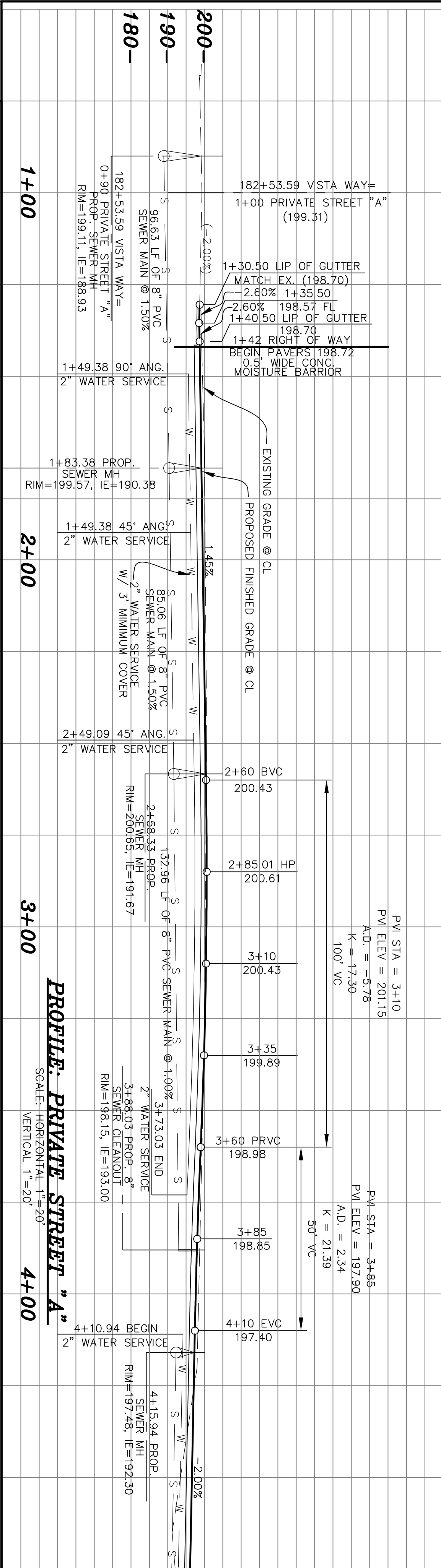
- EXISTING GROSS SUBDIVISION AREA: 1.27 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.27 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- PROPOSED PARKING:
- 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED PARKING SPACES (18*2)=19
 - UNATTACHED COMPACT PARKING SPACES (16*2)=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39

- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 694, 695, 709 THROUGH 720, LOTS 721 THROUGH 725, AND LOTS 726 THROUGH 727 OF THE SAN GABRIEL COSTA SEBENA UNIT NO. 2 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONNING: 12RM-A
- PROPOSED ZONNING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STATIONED 5-4606
- LOCATION: INT. VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020

- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SEBENA UNIT NO. 2 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690 I.E. NORTH 69°04'36" EAST.
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SEBENA UNIT NO. 2 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690 I.E. NORTH 69°04'36" EAST.

VISTA WAY HOMES
CONCEPT PROFILES AND SECTIONS



ENGINEER OF WORK
BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2022

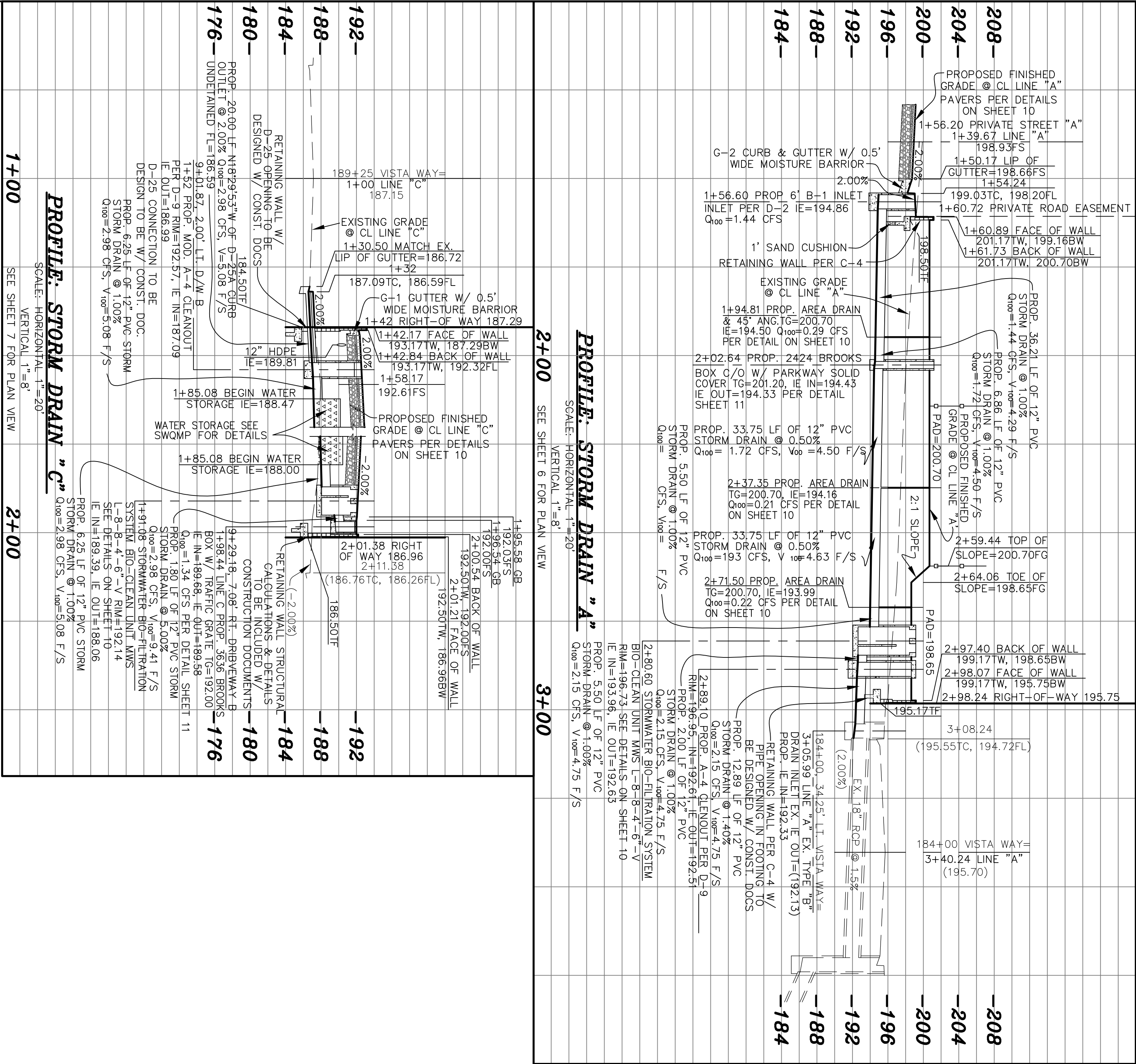


ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 106, Bldg. C-005, CA 92021 (619) 746-8618 FAX (619) 746-8616
JOB NO. 499-01, DATE MAY 24, 2022

T21-00002
D21-00005
DB21-00003

VISTA WAY HOMES

CONCEPT STORM DRAIN PROFILES



General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COCS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING, AND UTILITIES. THE PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.27 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.27 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=19
 - UNATTACHED PARKING SPACES (18'x21')=19
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 694, 695, 709 THROUGH 720, LOTS 721 THROUGH 725, AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 2 IN THE CITY OF OCEANSIDE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONNING: 12RM-A
- PROPOSED ZONNING: RM-A
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CI MONUMENT 3.5" BRASS DISC STATIONED 5.4506 LOCATION: INTERSECTION OF VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7 IN THE CITY OF OCEANSIDE, SAN DIEGO COUNTY, CALIFORNIA, ACCORDING TO MAP THEROR NO. 7690 1E, NORTH 69°04'58" EAST.

ENGINEER OF WORK

BARTOLOME J. PASTOR, PCE 38606
DATED: MAY 2022

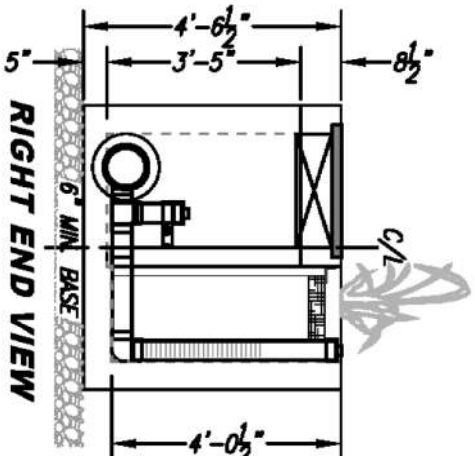
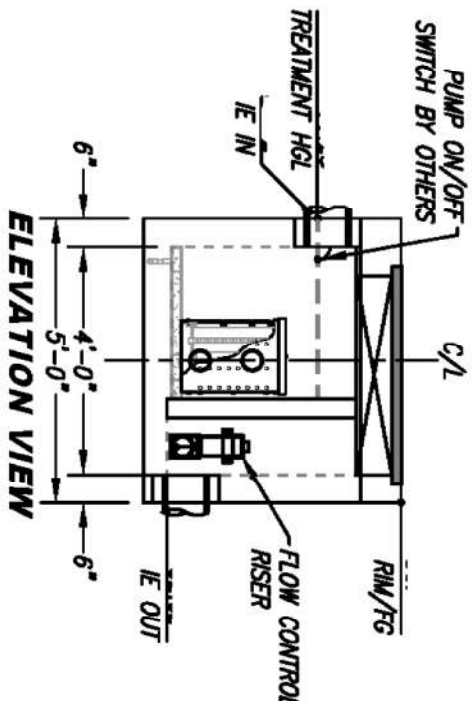
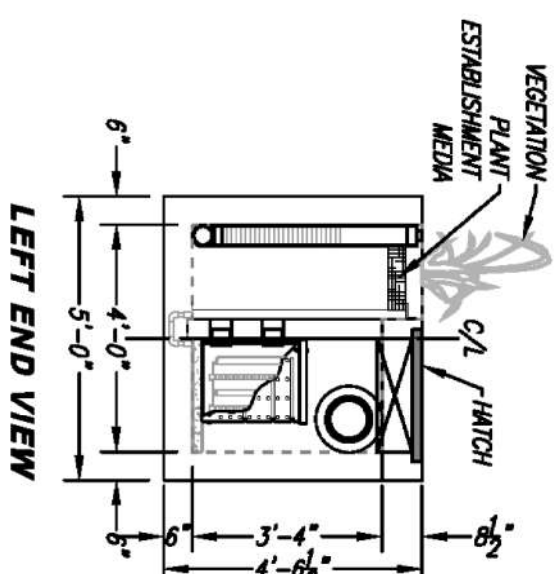
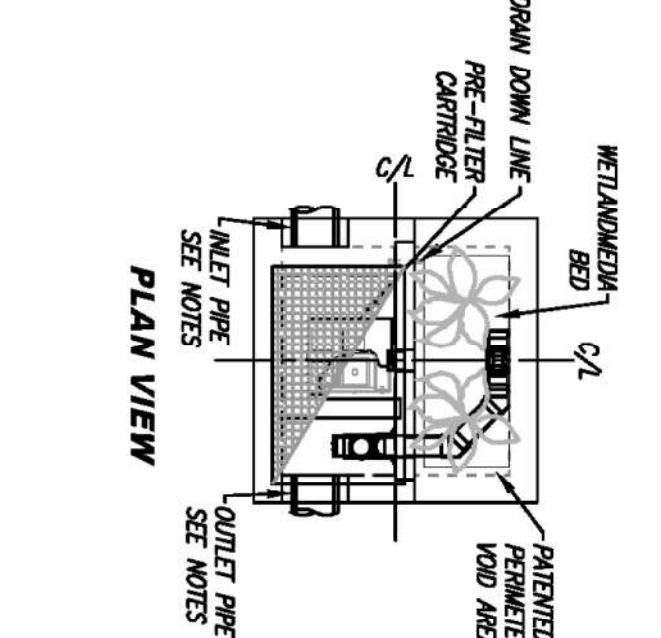


T21-00002
D21-00005
DB21-00003

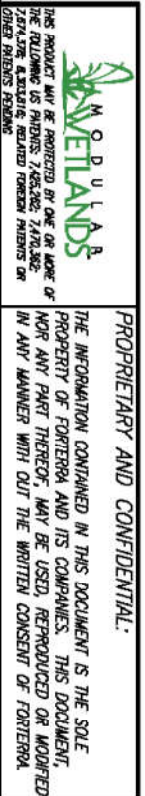
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1385 E. Main St., Ste. 106, Rm C-106, CA 92021 (619) 746-8818 FAX (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2022

VISTA WAY HOMES
STORM WATER DETAILS

SITE SPECIFIC DATA		
PROJECT NUMBER		
PROJECT LOCATION		
TREATMENT REQUIRED		
VOLUME BASED (CFS)	N/A	
1/24H		
ROCK BRUSH REQUIRED (CFS) - 6" APPLICABLE	OPTLINE	
PIPE DATA	I.E.	MATERIAL
INLET PIPE	PVC	DIAMETER
OUTLET PIPE	PVC	8"
PRETREATMENT	BIORETENTION	DISCHARGE
RM ELEVATION	FEDESTRIAN	FEDESTRIAN
SURFACE LOAD	24" X 42"	N/A
RETAINMENT VOLUME (CY)		0.83
ORifice SIZE (0.4 INCHES)		40.48"

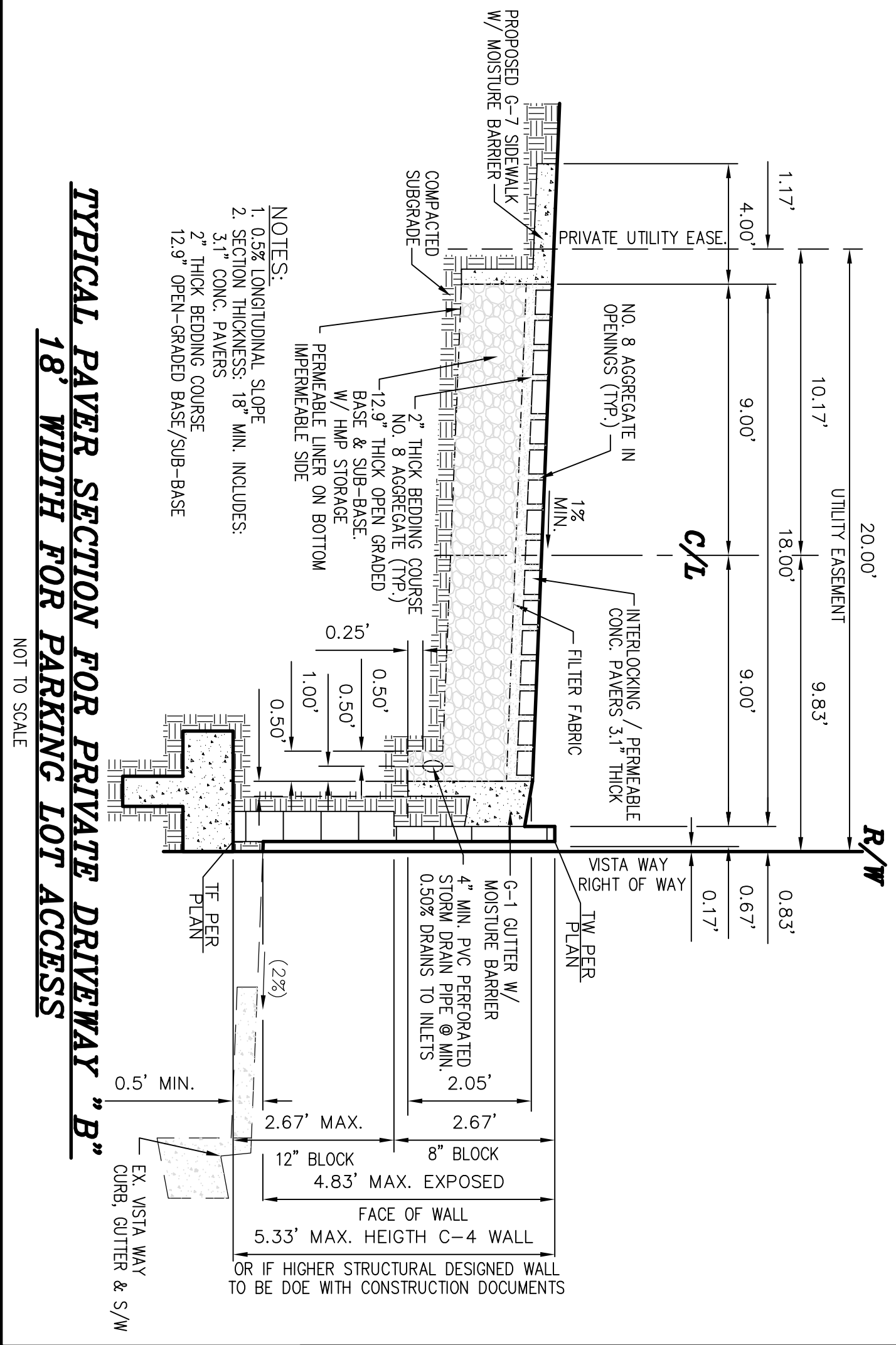


- INSTALLATION NOTES
- CONTRACTOR TO PROVIDE ALL LABOR EQUIPMENT MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND MANUFACTURERS SPECIFICATIONS UNLESS OTHERWISE STATED IN THIS DRAWING.
 - RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY THE PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR REQUIRED TO CONSTRUCT THE SYSTEM. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTERLUDE BEYOND FLUSH). INLET OF OUTLET PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WITH TIGHT PER MANUFACTURERS.
 - CONTRACTOR TO PROVIDE INSULATION OF ALL RISERS, CHAMBERS, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES.
 - VEGETATION SHIPPED AND INSTALLED BY OTHERS. ALL UNITS WITH INSULATION SHALL BE FLUSH WITH INSIDE SURFACE OF CONCRETE.
 - CONTRACTOR RESPONSIBLE FOR CONFINING BIO CLEAN FOR PROPER ACTION BY A BIO CLEAN REPRESENTATIVE.
- GENERAL NOTES
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND ORADINGS ARE SUBJECT TO THE PROJECT ENGINEER'S REVIEW AND APPROVAL. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND ORADINGS ARE SUBJECT TO THE PROJECT ENGINEER'S REVIEW AND APPROVAL.
 - AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

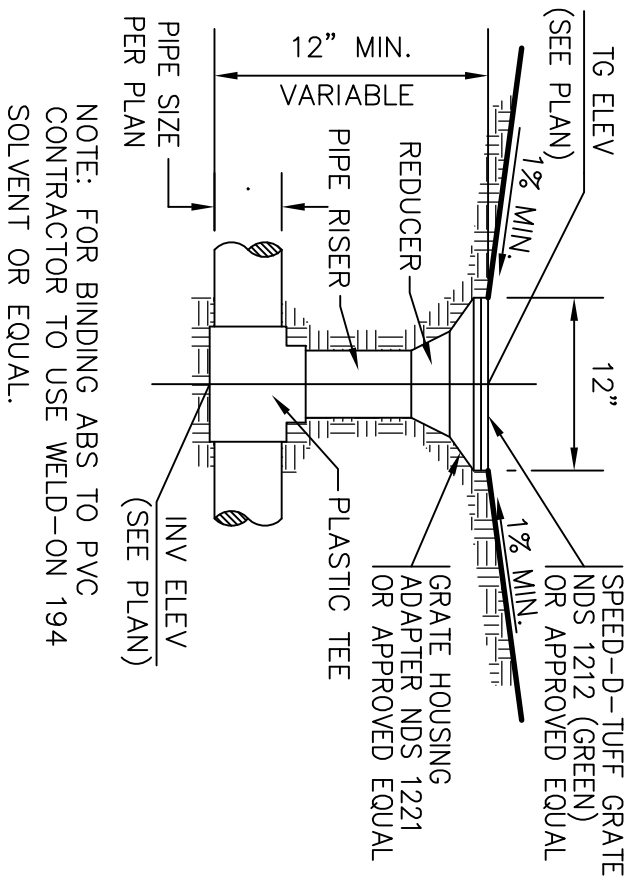


REQUIRED TREATMENT VOLUME (CY)	36
DRAINAGE DIVISION (HOURS)	
MAJOR DISCHARGE RATE PER ACRE (GPM/AC)	2.5
OPERATING HEAD (FT)	2.5
WETLANDS INFILTRATION RATE (IN/H)	0.26
WETLANDS INFILTRATION RATE (GPM/5')	0.26

MM/S-4-4-4-1-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

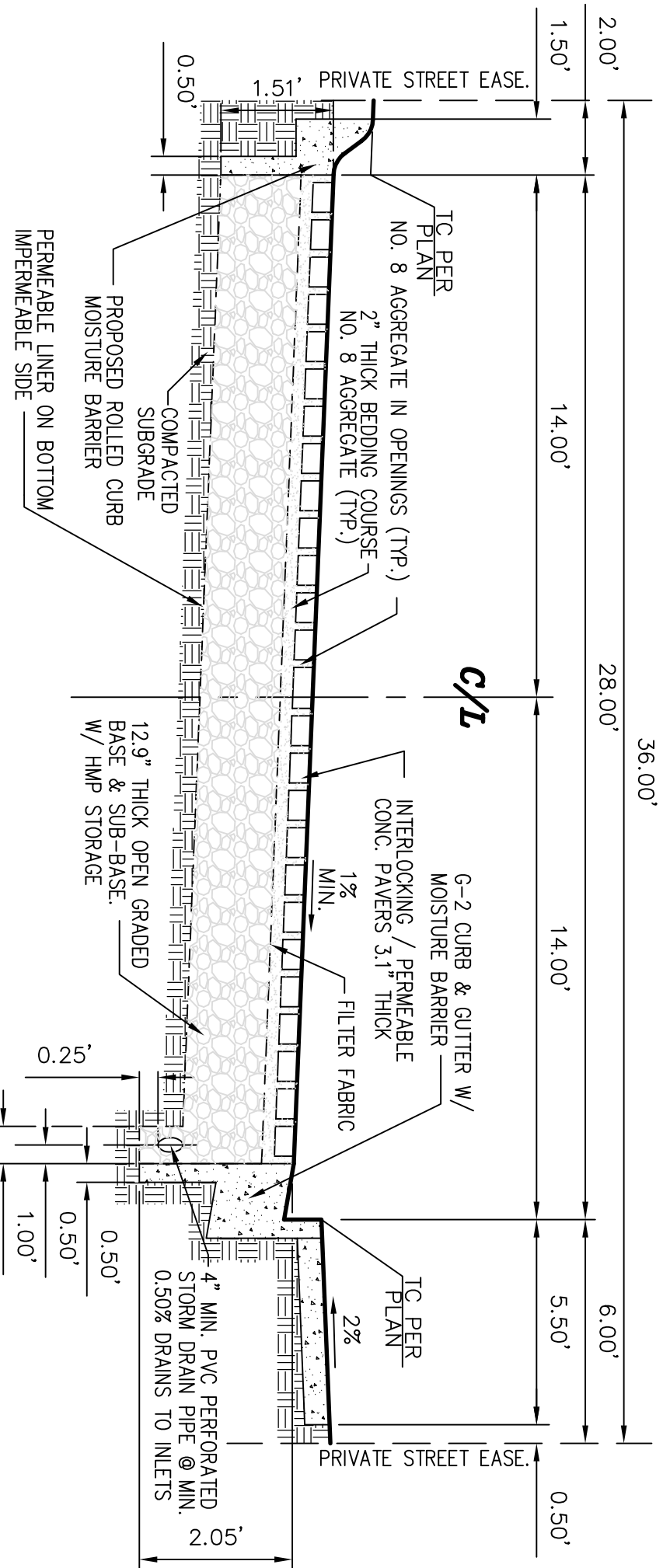


TYPICAL PAYER SECTION FOR PRIVATE DRIVEWAY "B"
18" WIDTH FOR PARKING LOT ACCESS

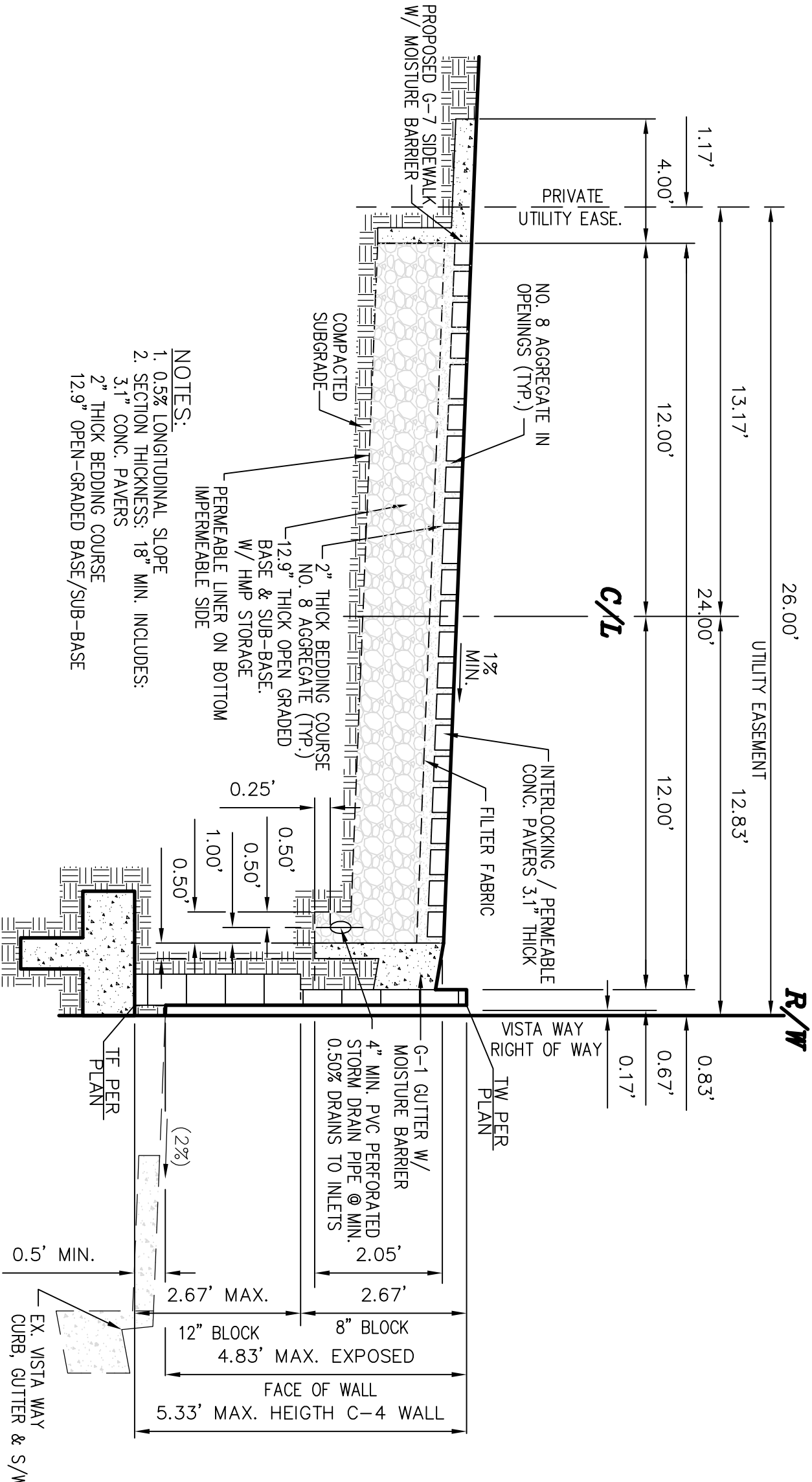


PRIVATE
LANDSCAPE AREA DRAIN DETAIL
NO SCALE

TYPICAL PAYER SECTION FOR PRIVATE STREET "A"
ALL PRIVATE STREET SURFACES TO BE H-20 LOADING



TYPICAL PAYER SECTION FOR PRIVATE DRIVEWAY "B"
24" WIDTH FOR EMERGENCY (FIRE) ACCESS



TENTATIVE MAP T21-00002

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CO'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPE, AND UTILITIES. THE PROJECT IS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED PUBLIC STREET DEDICATION: 9 AC
- PROPOSED PRIVATE STREET AREA: 9 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- PROPOSED PARKING:
 - ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18x24)=19
 - UNATTACHED COMPACT PARKING SPACES (18x8)=2
 - UNATTACHED HANDICAPPED PARKING SPACES=2
 - UNATTACHED HANDICAPPED PARKING SPACES=2
 - PARKING SPACES PER UNIT=2.29
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92066
- PORTIONS OF LOTS 694, 695, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-019407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED ZONING: 12RM-4
- EXISTING ZONING: 12RM-4
- PROPOSED ZONING: 12RM-4
- PROPOSED DENSITY: 9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL. MONUMENT 3.5" BRASS DISC LOCATION: INT. VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF VISTA WAY, COSTA SERENA UNIT NO. 7, CITY OF OCEANSIDE, SAN DIEGO COUNTY, CALIFORNIA, BEARING S 89° 04' 36" EAST, ACCORDING TO MAP THEREOF NO. 7690 I.E. NORTH 69° 04' 36" EAST.

ENGINEER OF WORK

BARTOLOME J. PASTOR, PCE 38606
DATED: MAY 2022



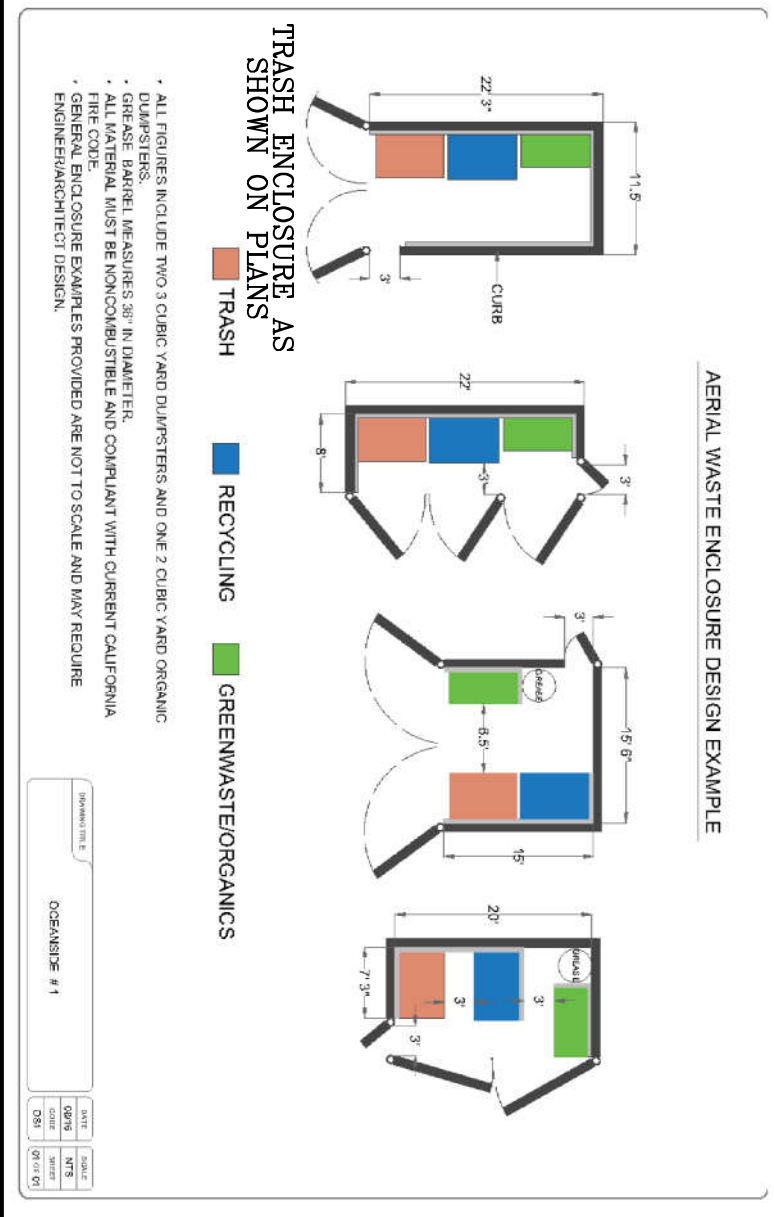
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1381 E. Main St., Ste. 106, Bldg. C-100, CA 92021 (619) 746-8818 FAX (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2022

T21-00002
D21-00005
DB21-00003

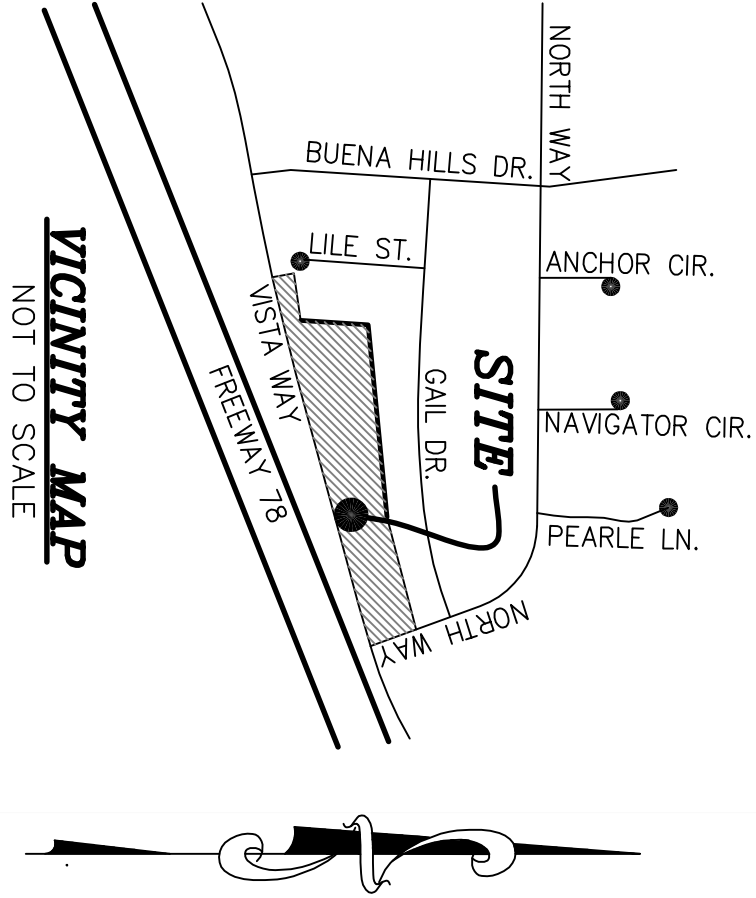
General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CO'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS PROJECTS, PARKING, LANDSCAPING, AND OTHER AREAS. THE PROJECT WILL BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DBD2-00003)

Enclosure Construction Design Example



1. EXISTING GROSS SUBDIVISION AREA: 1.87 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED UNITS: 18
8. PROPOSED PARKING:
 - 1. ATTACHED GARAGE SPACE PER UNIT=19
 - 2. UNATTACHED STANDARD PARKING SPACES (18'-0")=19
 - 3. UNATTACHED COMPACT PARKING SPACES (16'-0")=2
 - 4. VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - 5. TOTAL PARKING SPACES PROPOSED=43
 - 6. PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-483-47
10. SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725, AND PORTION OF LOT 726 AND 727 OF COSTA SERENA UNIT NO. 7 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
19. SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1.00 FT
21. THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.
22. MAXIMUM SLOPE GRADIENT: 2:1
26. ONSITE GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
27. GRADED AREA: 1.63 AC=82% OF SITE
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOOD PLAIN PER FEMA MAP 150672C0705G DATED 5/12/16



ENGINEER OF WORK

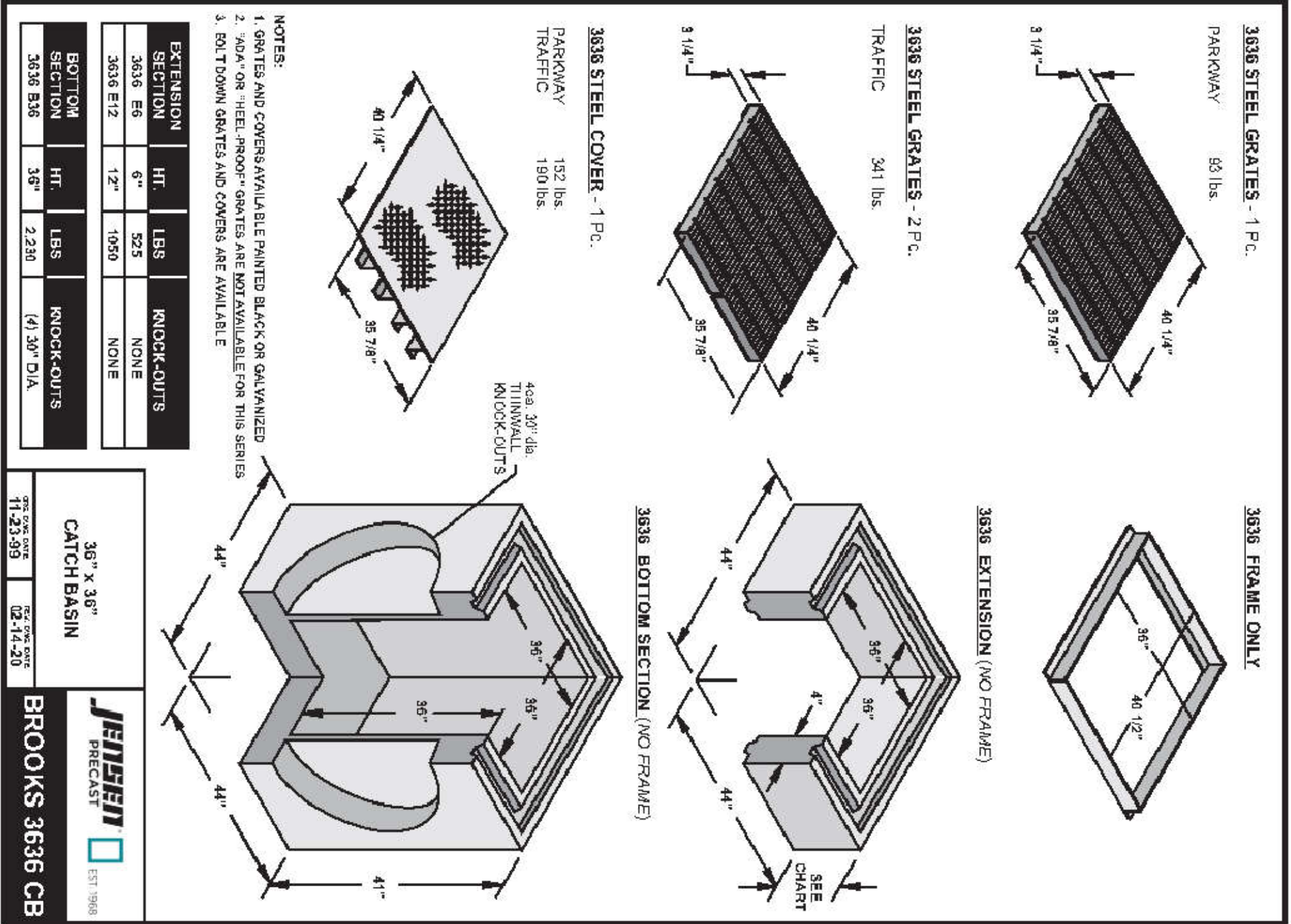
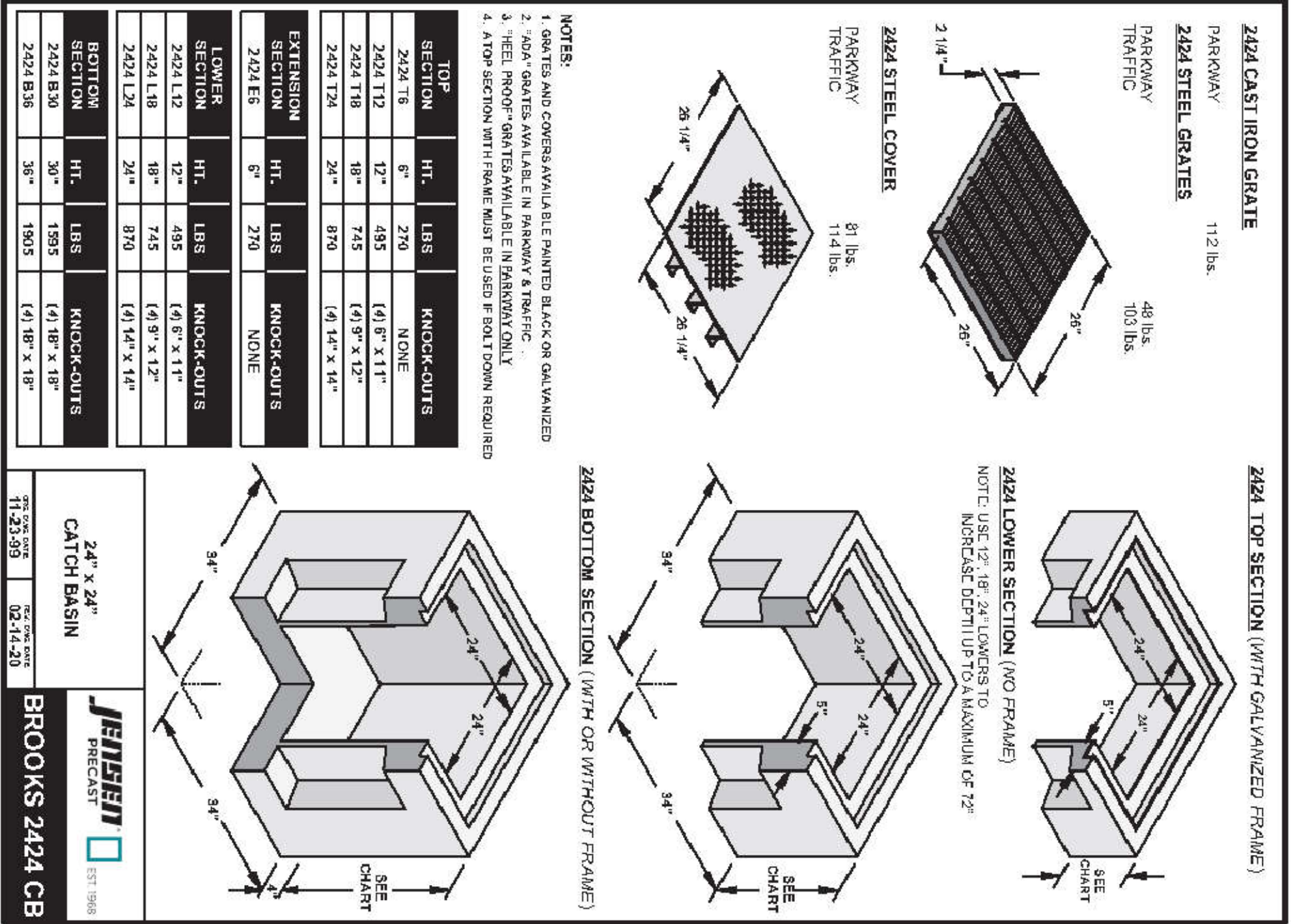
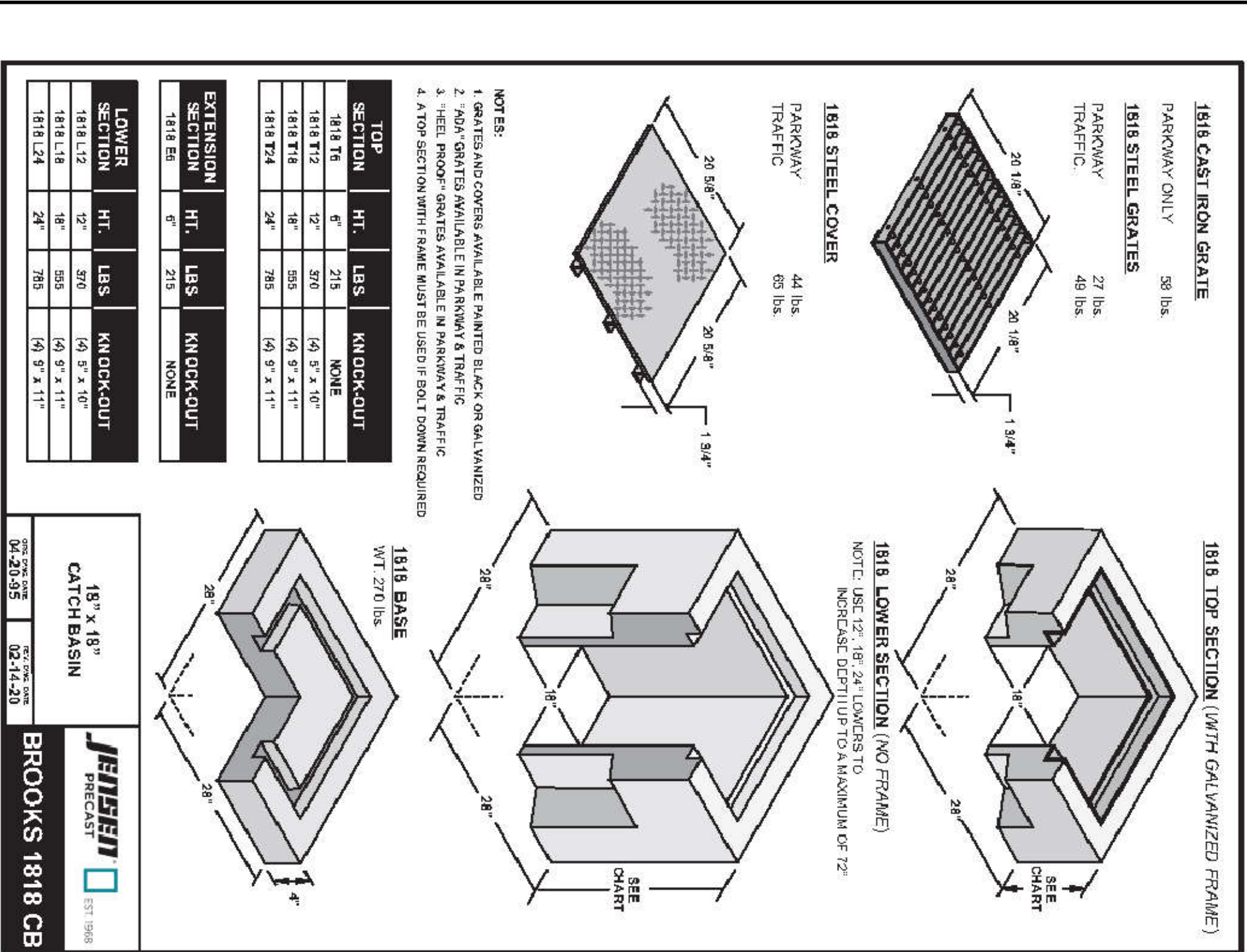
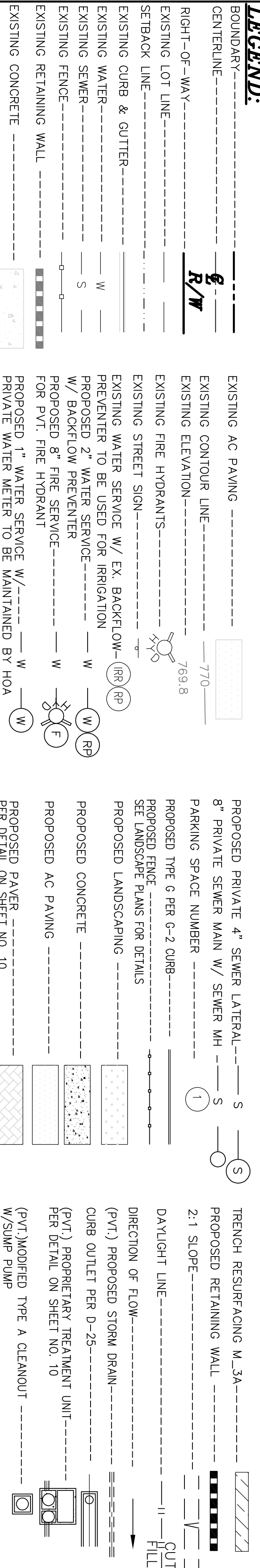
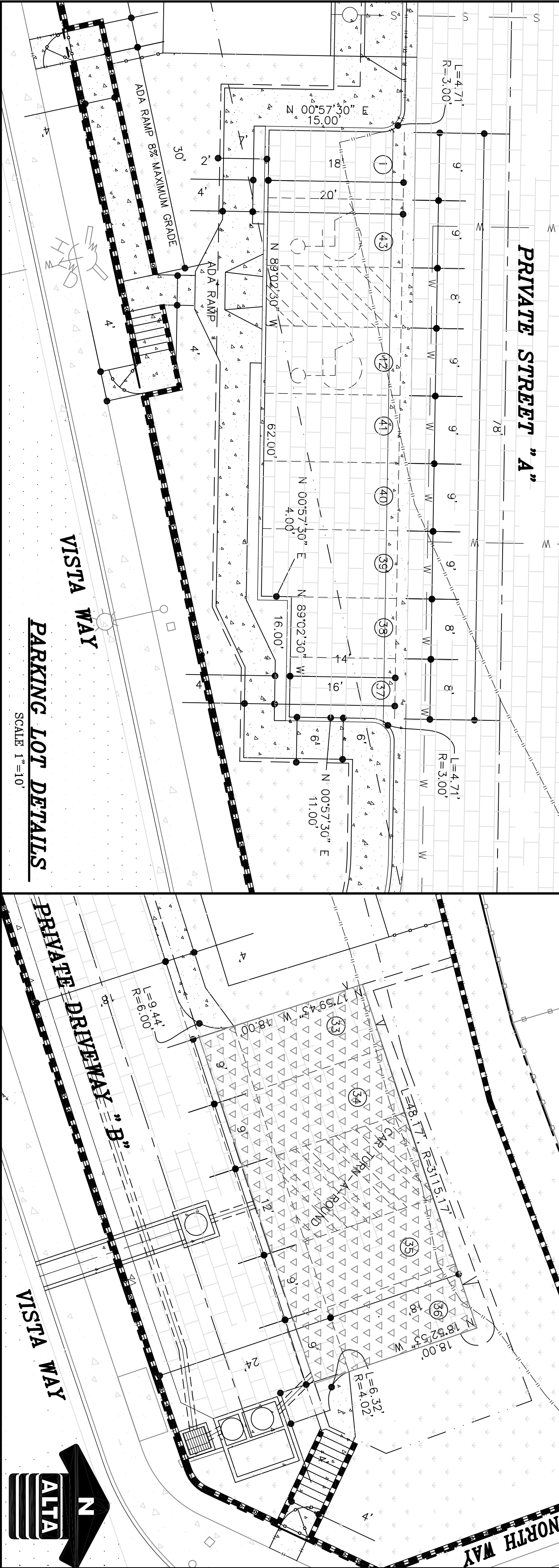
Baritone J. Pastor, RCE 38606
DATED: MAY 2022



T21-00002
D21-00005
DB21-00003

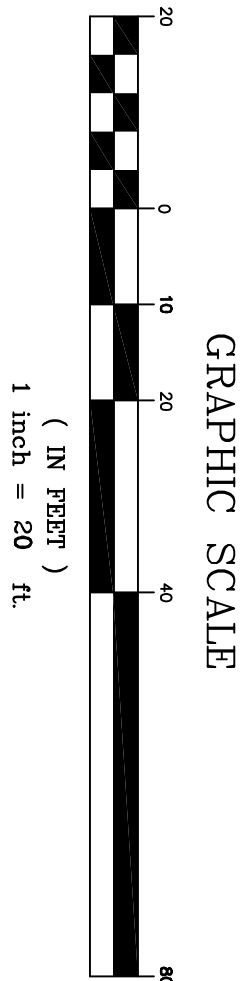
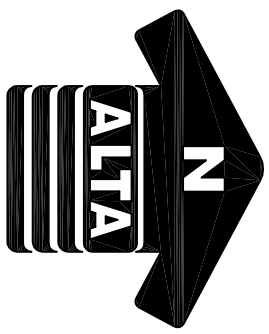
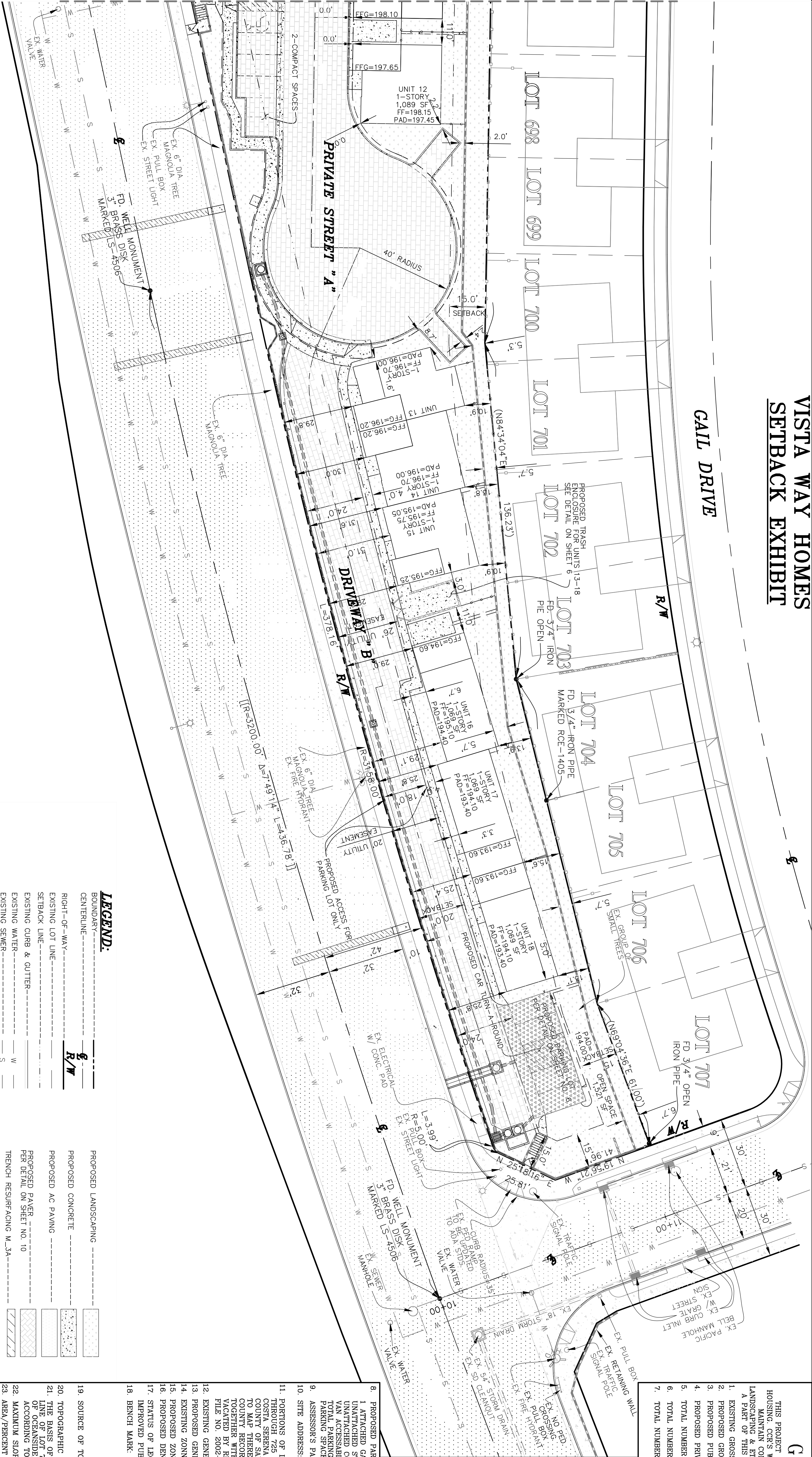
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 106, Bldg. C-200, CA 92021 (619) 745-8818 (619) 745-8818
JOB NO. 499-01, DATE MAY 24, 2022

VISTA WAY HOMES
DETAILS



VISTA WAY HOMES
SETBACK EXHIBIT

GAIL DRIVE



LEGEND:

BOUNDARY-----		PROPOSED LANDSCAPING-----	
CENTERLINE-----		PROPOSED CONCRETE-----	
RIGHT-OF-WAY-----		PROPOSED AC PAVING-----	
SETBACK LINE-----		PROPOSED PAVING-----	
EXISTING CURB & GUTTER-----		PER DETAIL ON SHEET NO. 10	
EXISTING WATER-----		TRENCH RESURFACING W. 3A-----	
EXISTING SEWER-----		PROPOSED WATER STORAGE	
EXISTING RETAINING WALL-----		SEE SLOPE FOR DETAILS	
EXISTING CONCRETE-----		PROPOSED RETAINING WALL-----	
EXISTING AC PAVING-----		2.1 SLOPE-----	
EXISTING CONTOUR LINE-----		DAYLIGHT LINE-----	
EXISTING FIRE HYDRANTS-----		DIRECTION OF FLOW-----	
EXISTING STREET SIGN-----		CURB OUTLET PER D-25-----	
EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION		(PVT) PROPOSED STORM DRAIN-----	
PROPOSED 2" WATER SERVICE-----		(PVT) CUB OUTLET PER D-25-----	
W/ BACKFLOW PREVENTER-----		(PVT) MODIFIED TYPE A CLEANOUT-----	
PROPOSED 8" FIRE SERVICE-----		(PVT) 3636 OR 1818 BROOKS BOX W/ SLUMP PUMP	
FOR PVT. FIRE HYDRANT-----		(PVT) 2424 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	
PROPOSED 4" WATER SERVICE W/ BACKFLOW PREVENTER TO BE MAINTAINED BY HOA		AREA DRAIN PER DETAIL ON SHEET 10-----	
PRIVATE WATER MAIN W/ SEWER MH-----			
8" PRIVATE SEWER MAIN W/ SEWER MH-----			
PARKING SPACE NUMBER-----			
PROPOSED G-2 CURB & GUTTER-----			
PROPOSED G-1 GUTTER-----			
PROPOSED ROLLED CURB-----			
PROPOSED FENCE-----			
SEE LANDSCAPE PLANS FOR DETAILS			

General Notes

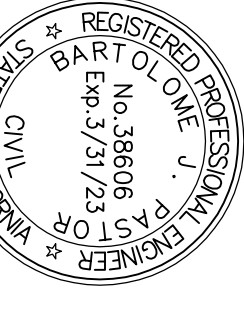
THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CURBS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, AND LANDSCAPE AREAS. THE PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 18

- ATTACHED GARAGE SPACE PER UNIT=18
- ATTACHED STANDARD PARKING SPACES (16x30)=19
- ATTACHED STANDARD PARKING SPACES (10x20)=2
- UNACCESSIBLE ATTACHED PARKING SPACES=2
- TOTAL PARKING SPACES PROPOSED=43
- PARKING SPACES PER UNIT=2.39
- ASSESSOR'S PARCEL NUMBER: 165-4893-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92036
- PORTIONS OF LOTS 694, 685, 708 THROUGH 720, LOTS 721 THROUGH 723 AND PORTIONS OF LOTS 726 AND 727 OF OCEANSIDE, CALIFORNIA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROOP NO. 7660, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & PULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC LOCATION: INTERSECTION OF VISTA WAY AND BUENA HILLS RECORD CUT 10' OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA, UNIT NO. 7 IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROOP NO. 7660 I.E. NORTH 69°04'36" EAST.
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR .26%
- MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF EACH UNIT WILL HAVE A MINIMUM OF 160 SF OF PRIVATE OPEN SPACE
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,893 SF OR .44%
- ON-SITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT) CUT: 3,000 CY, FILL: 4,000 CY, IMPORT: 1,000 CY. NOTE: ALL QUANTITIES ARE BASED ON SHIRING GRAB, NOT ALLOWANCE MADE FOR SHRINKAGE OR BUILDING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEPA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEPA MAP 06070302766G DATED: 2/16/12

ENGINEER OF WORK

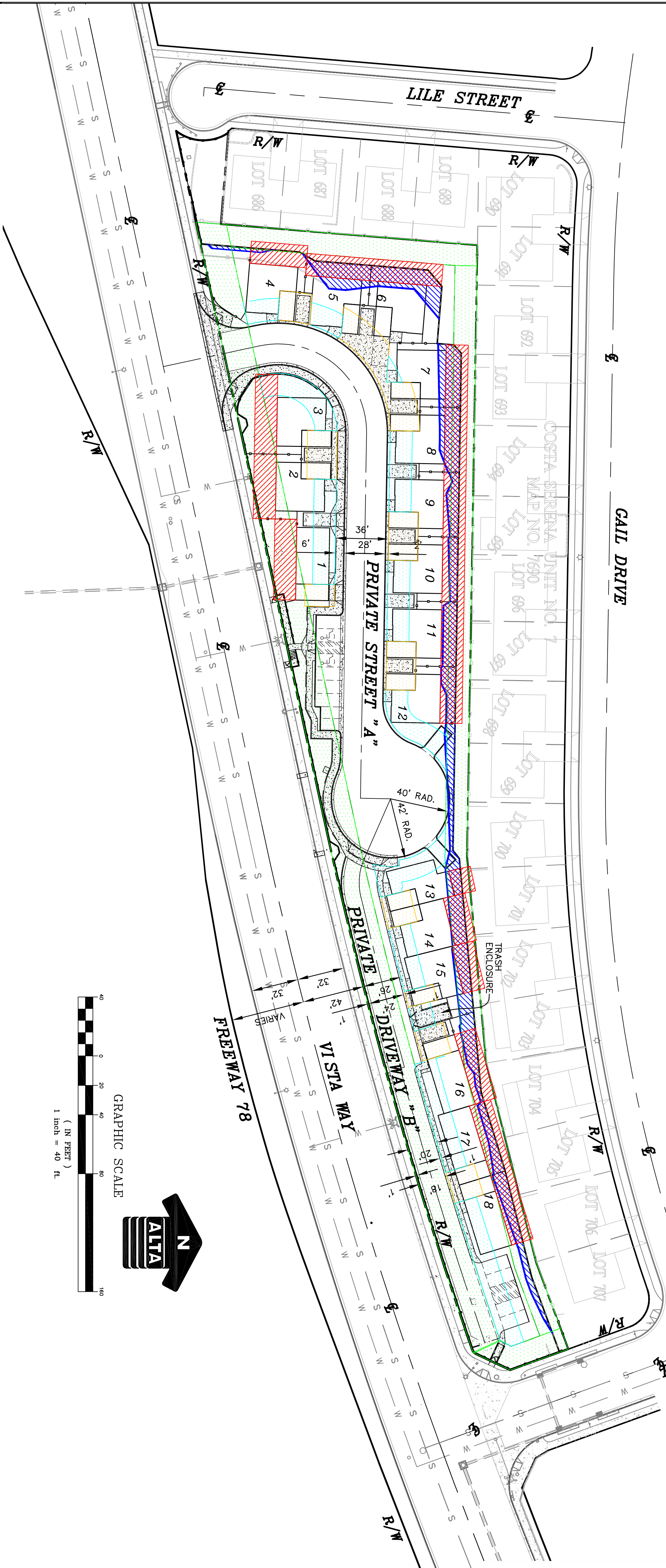
BARTOLOME J. PASTOR, RCE 38806
DATED: MAY 24, 2022



T21-00002 D21-00005 DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1348 E. Main St., Ste. 100, E. Oceanside, CA 92033 (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2022

VISTA WAY HOMES
WAIVER EXHIBIT



- LEGEND:**
- BOUNDARY-----
 - CENTERLINE-----
 - RIGHT-OF-WAY-----
 - EXISTING LOT LINE-----
 - SETBACK LINE-----
 - EXISTING CURB & GUTTER-----
 - EXISTING WATER-----
 - EXISTING SEWER-----
 - EXISTING FENCE-----
 - EXISTING RETAINING WALL-----
 - EXISTING CONCRETE-----
 - EXISTING FIRE HYDRANTS-----
 - EXISTING STREET SIGN-----
 - PROPOSED G-2 CURB & GUTTER-----
 - PROPOSED G-1 GUTTER-----
 - PROPOSED ROLLED CURB-----
 - PROPOSED FENCE-----
 - SEE LANDSCAPE PLANS FOR DETAILS
 - PROPOSED RETAINING WALL-----
 - PROPOSED CONCRETE-----

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00002) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (D921-00003).
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 1
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
 - ASSESSOR'S PARCEL NUMBER: 165-493-47
 - SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
 - PORTIONS OF LOTS 684, 685, 709 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, CALIFORNIA, ARE HEREBY SET ASIDE AND DEDICATED TO MAP THEROR NO. 1650 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
 - EXISTING GENERAL PLAN LAND USE: RESIDENTIAL.
 - PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
 - EXISTING ZONNING: RM-A
 - PROPOSED ZONNING: RM-A
 - PROPOSED DENSITY: 81.4 DU/AC
 - STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET

WAIVER LEGEND:

- STANDARD SETBACKS -----
- PRIVATE STREET/ DRIVEWAY BUILDING SETBACK ----
- PRIVATE STREET/ DRIVEWAY GARAGE SETBACK ----
- 15' USABLE BACKYARD -----
- 6' RETAINING WALL -----
- DEVELOPABLE AREA LOST W/ 6' RETAINING WALL --

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2022

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (668) 401-9090
E-MAIL: rezashere@gmail.com

BY: REZA SHERA



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 100, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE MAY 24, 2022