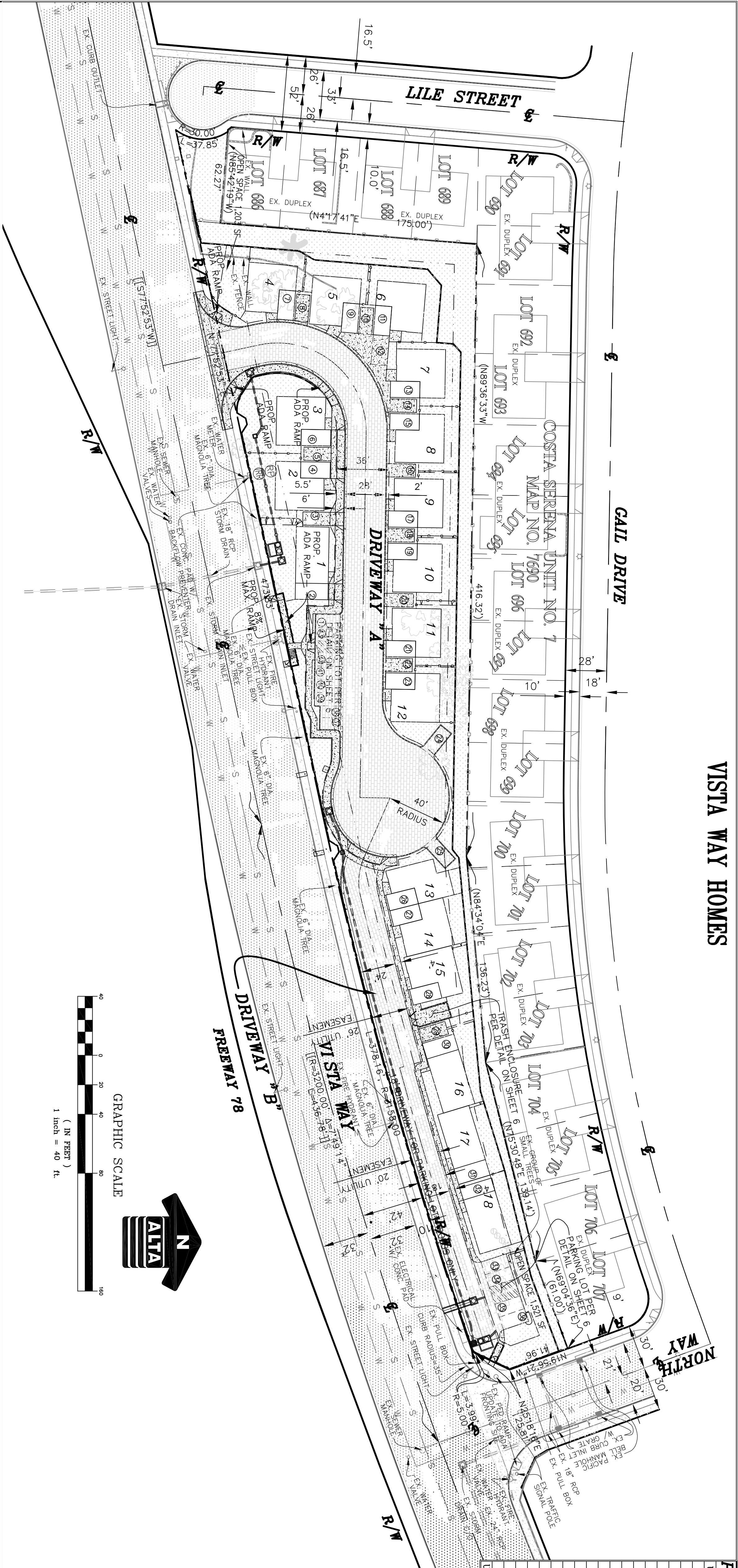


VISTA WAY HOMES



PARKING SCHEDULE				
UNIT NO.	GARAGE	DETACHED		
1	2	1		
2	4	3		
3	6	5		
4	7	8		
5	9	10		
6	11	12		
7	13	14		
8	15	16		
9	17	18		
10	19	20		
11	20	21		
12	22	23		
13	26	25		
14	27	24		
15	28	35		
16	30	29		
17	31	34		
18	32	33		
UNASSIGNED PARKING SPACES 36-43				

9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 7690 FILED IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 9.14 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT-16x300-5,400 SF COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,293 SF-2,224 SF EACH UNIT WILL HAVE A MINIMUM OF 160 SF OF PRIVATE OPEN SPACE FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
19. RENEWABLE ENERGY SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

	SITE AREA		GENERAL PLAN		LANDSCAPING
	IN AC	DU/AC	RM-A	100%	
EXISTING	1.97	0	RESIDENTIAL	RM-A	100%
PROPOSED	1.97	9.14	RESIDENTIAL	RM-A	40%

UNIT #	BUILD AREA SETBACKS		AFFORDABLE HOUSING
	IN SF	REAR 15'	
1, 14-18	1,069	1,069	UNITS 16, 17 & 18 ARE PROPOSED TO BE AFFORDABLE THE AFFORDABLE HOUSING UNITS FOR THIS SITE.
2-12	1,089	SIDE 15'	3/18-16.7 OF THE PROPOSED DWELLINGS FOR THIS SITE WILL BE AFFORDABLE HOUSING.
13	1,114	FRONT 20'	
18 UNITS TOTAL			

- LEGEND:**

BOUNDARY-----

CENTERLINE-----

RIGHT-OF-WAY-----

EXISTING LOT LINE-----

SETBACK LINE-----

EXISTING CURB & GUTTER-----

EXISTING WATER-----

EXISTING SEWER-----

EXISTING FENCE-----

EXISTING RETAINING WALL-----

EXISTING CONCRETE-----

EXISTING AC PAVING-----

EXISTING CONTOUR LINE-----

EXISTING ELEVATION-----

EXISTING FIRE HYDRANTS-----

EXISTING STREET SIGN-----

PARKING SPACE NUMBER-----

PROPOSED G-1 GUTTER-----

PROPOSED G-2 CURB & GUTTER-----

PROPOSED ROLLED CURB-----

PROPOSED FENCE-----

SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING-----

PROPOSED CONCRETE-----

PROPOSED AC PAVING-----

PROPOSED PAVR-----

PER DETAIL ON SHEET NO. 10

TRENCH RESURFACING M-3A-----

PROPOSED WATER STORAGE-----

SEE SWOMP FOR DETAILS

PROPOSED RETAINING WALL-----

2: 1 SLOPE-----

DAYLIGHT LINE-----

DIRECTION OF FLOW-----

(PVT.) PROPOSED STORM DRAIN-----

CURB OUTLET PER D-25A-----

(PVT.) PROPRIETARY TREATMENT UNIT-----

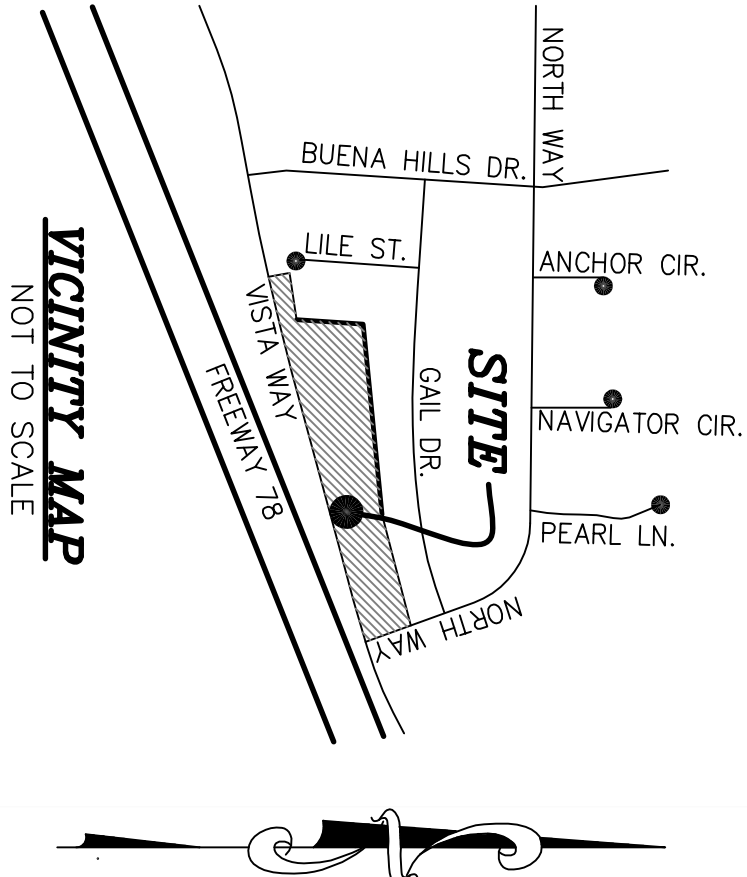
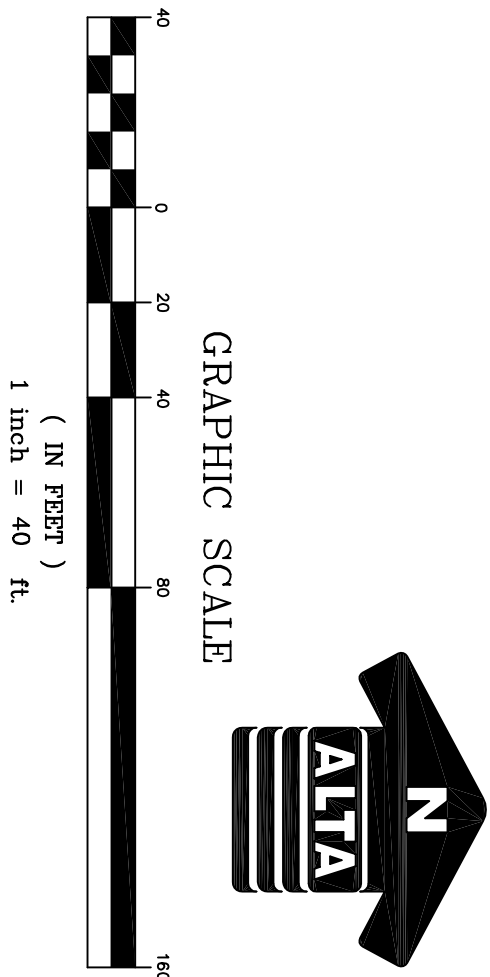
(PVT) MODIFIED TYPE A-4 CLEANOUT-----

W/SUMP PUMP-----

(PVT.) 3636 OR 1818 BROOKS BOX-----

(PVT.) 2424 BROOKS BOX W/-----

AREA DRAIN-----



EXISTING EASEMENTS NOTES

SEE SHEET NO. 2 FOR LOCATIONS

THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 1900048010 AND DATED FEBRUARY 01, 2019 EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

SHEET INDEX

- TENTATIVE PARCEL MAP SHEET 1
- SITE TOPO & EX. EASEMENTS SHEET 2
- FIRE ACCESS PLAN, ADA ACCS..... SHEET 3
- & TYPICAL STREET SECTIONS SHEET 4-5
- TRASH ENCLOSURE AND PARKING LOT DETAILS. SHEET 6

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

1. EXISTING GROSS SUBDIVISION AREA: 1.87 AC
2. PROPOSED PUBLIC STREET DEDICATION: 9 AC
3. PROPOSED PRIVATE STREET AREA: 9 AC
4. TOTAL NUMBER OF EXISTING LOTS: 1
5. TOTAL NUMBER OF PROPOSED LOTS: 18
6. TOTAL NUMBER OF PROPOSED UNITS: 18
7. TOTAL NUMBER OF PROPOSED PARKING: 43
8. 1 ATTACHED GARAGE SPACE PER UNIT=18 UNATTACHED STANDARD PARKING SPACES (18x30)=19 VAN ACCESSIBLE COMPACT PARKING SPACES (16x28)=2 TOTAL PARKING SPACES PROPOSED=43
9. PARKING SPACES PER UNIT=2.39
10. ASSESSOR'S PARCEL NUMBER: 165-493-47
11. SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
12. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 7690 FILED IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
13. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
14. EXISTING ZONING: RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 9.14 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT-16x300-5,400 SF COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,293 SF-2,224 SF EACH UNIT WILL HAVE A MINIMUM OF 160 SF OF PRIVATE OPEN SPACE FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
19. RENEWABLE ENERGY SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

ENGINEER OF WORK

BAROTOME J. PASTOR, RCE 38606

DATED: MAY 2022

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC

ADDRESS: POB BOX 9890

RANCHO SANTA FE, CA 92067

TELEPHONE: (656) 401-9090

E-MAIL: rezashera@gmail.com

BY: REZA SHERA

121-00002

D21-00005

DB21-00003

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00000) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (0B21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- ATTACHED GARAGE SPACE PER UNIT=18
- UNATTACHED STANDARD PARKING SPACES (18 x 8')=21
- UNATTACHED COMPACT PARKING SPACES (14 x 8')=2
- VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
- TOTAL PARKING SPACES PROPOSED=43
- PARKING SPACES PER UNIT=2.38
- ASSessor'S PARCEL NUMBER: 165-489-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92036
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP HERETOFORE NO. 7690 FILED IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF SAN DIEGO COUNTY, CALIFORNIA TOGETHER WITH THAT PORTION OF PORT CANTER STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL--SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC

FIRE NOTES:

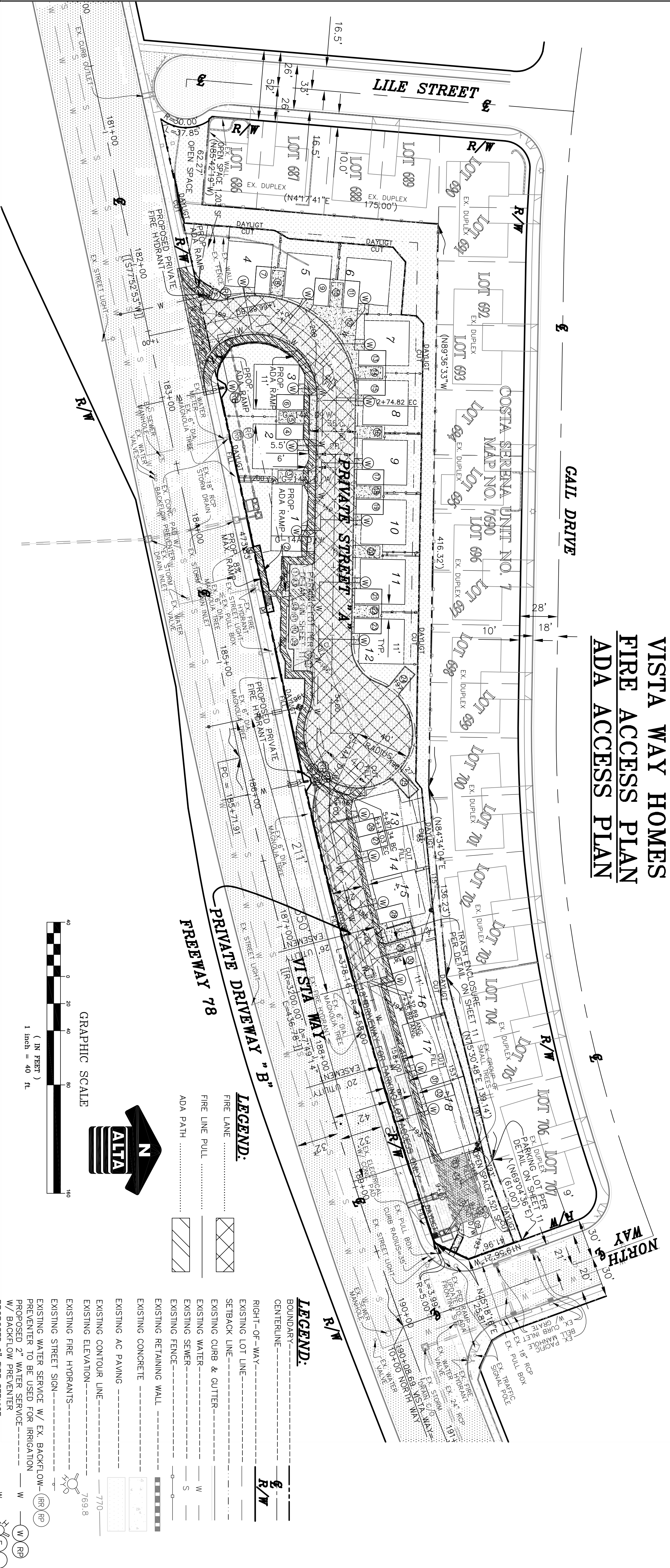
- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- FIRE ACCESS ROADWAYS SHALL BE A MINIMUM 30' WIDE WITH NO. 4 PAVING.
- PARKING SIGNS POSTED ON EITHER SIDE OF THE STREET.
- TURNING RADIUS SHALL BE 30' INSIDE AND 50' OUTSIDE.
- ADDRESSERS SHALL BE 4" IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- KNOX KEY SWITCH AND OPTION REQUIRED FOR SITE ACCESS GATES.
- HYDRANTS MUST BE WITH 400' OF WTERIOR WALLS OF THE STRUCTURE.
- HYDRANTS ARE PRIVATE ON A LOOPED PUBLIC WATER MAIN.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT
- FIRE MASTER PLAN IS REQUIRED AS PART OF FINAL DESIGN.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF OR COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (78,000 LBS) MUST BE INSTALLED.
- IN ADDITION THE APPROVED PERMANENT WATER SUPPLY (FIRE HYDRANTS) MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BRING DROPPED ON SITE.
- THE CITY OF OCEANSIDE IS IN THE PROCESS OF IMPLEMENTING A CITYWIDE CPD IT IS EXPECTED THAT THIS PROJECT WILL BE REQUIRED TO ANNEX INTO THE CPD S A CONDITION OF APPROVAL.

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 106, Bldg. C-106, CA 92031 (619) 746-8818 Fax (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2021



VISTA WAY HOMES
FIRE ACCESS PLAN
ADA ACCESS PLAN

WATER AND SEWER NOTES:

- THE WATER AND SEWER FOR THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY THE HOA.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH UNIT MAINTAINED AND BILLED BY THE HOA.
- (2) TWO 2" WATER METERS & SERVICES ARE PROPOSED FOR THIS PROJECT AND BILLED TO THE HOA. UNITS 1-10 TO BE SERVICED BY THE WESTERLY WATER METER, UNITS 11-18 TO BE SERVICED BY THE EASTERLY WATER METER.
- (2) TWO 6" SEWER SERVICES ARE PROPOSED FOR THIS PROJECT UNITS 1-10 TO BE SERVICED BY THE WESTERLY SEWER SERVICE, UNITS 11-18 TO BE SERVICED BY THE EASTERLY SEWER SERVICE. EACH UNIT WILL HAVE A 4" SEWER LATERAL WITH CLEANOUT THAT CONNECTS TO THE 6" SEWER SERVICE.

- LEGEND:**
- BOUNDARY -----
 - RIGHT-OF-WAY -----
 - EXISTING LOT LINE -----
 - SETBACK LOT -----
 - EXISTING CURB & GUTTER -----
 - EXISTING WATER -----
 - EXISTING SEWER -----
 - EXISTING FENCE -----
 - EXISTING RETAINING WALL -----
 - EXISTING CONCRETE -----
 - EXISTING AC PAVING -----
 - EXISTING CONTOUR LINE -----
 - EXISTING ELEVATION -----
 - EXISTING FIRE HYDRANTS -----
 - EXISTING STREET SIGN -----
 - EXISTING WATER SERVICE W/ EX BACKFLOW PREVENTER -----
 - PROPOSED 2" WATER SERVICE -----
 - PROPOSED 6" FIRE SERVICE -----
 - PROPOSED 1" WATER SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT -----
 - PROPOSED PRIVATE WATER METER TO BE MAINTAINED BY HOA -----
 - PROPOSED PRIVATE 4" SEWER LATERAL -----
 - 6" SEWER LATERAL W/ SEWER MH -----
 - PARKING SPACE NUMBER -----
 - PROPOSED G-2 CURB & GUTTER -----
 - PROPOSED G-1 OUTER -----
 - PROPOSED ROLLED CURB -----
 - SEE LANDSCAPE PLANS FOR DETAILS
 - PROPOSED LANDSCAPING -----
 - PROPOSED CONCRETE -----
 - PROPOSED AC PAVING -----
 - PROPOSED PAVES -----
 - TRENCH RESURFACING M.S.A. -----
 - PROPOSED RETAINING WALL -----
 - PROPOSED WATER STORAGE -----
 - SEE SWOMP FOR DETAILS
 - 2:1 SLOPE -----
 - DAYLIGHT LINE -----
 - DIRECTION OF FLOW -----
 - (PVT) PROPOSED STORM DRAIN -----
 - CURB OUTLET PER D-25A -----
 - (PVT) PROPRIETARY TREATMENT UNIT -----
 - (PVT) MODIFIED TYPE A CLEANOUT -----
 - W/SLUMP PUMP -----
 - (PVT) 3636 OR 1818 BROOKS BOX -----
 - W/ TRAFFIC GRATE -----
 - (PVT) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS -----
 - AREA DRAIN -----

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00000) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (0B21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- ATTACHED GARAGE SPACE PER UNIT=18
- UNATTACHED STANDARD PARKING SPACES (18 x 8')=21
- UNATTACHED COMPACT PARKING SPACES (14 x 8')=2
- VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
- TOTAL PARKING SPACES PROPOSED=43
- PARKING SPACES PER UNIT=2.38
- ASSessor'S PARCEL NUMBER: 165-489-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92036
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP HERETOFORE NO. 7690 FILED IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF SAN DIEGO COUNTY, CALIFORNIA TOGETHER WITH THAT PORTION OF PORT CANTER STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL--SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 9.14 DU/AC

FIRE NOTES:

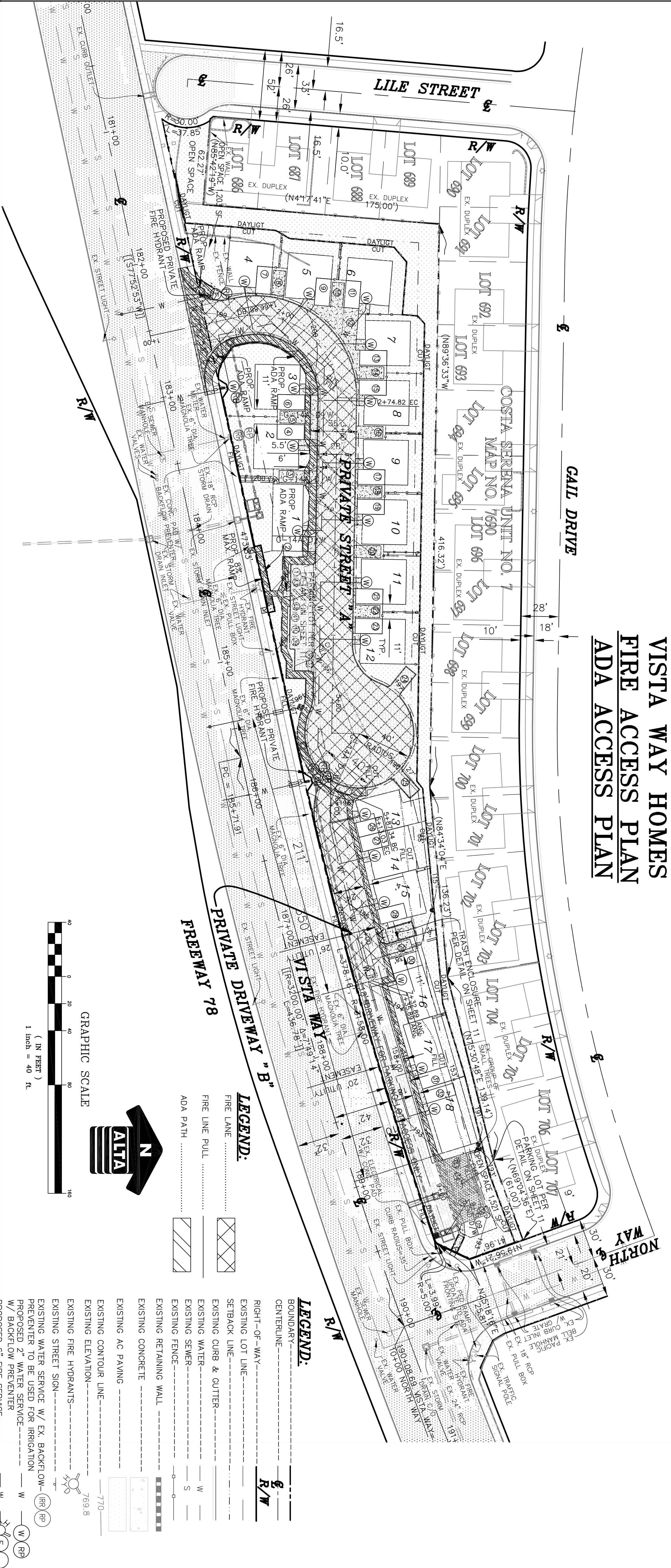
- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- FIRE ACCESS ROADWAYS SHALL BE A MINIMUM 30' WIDE WITH NO. 4 PARKING SIGNS POSTED ON EITHER SIDE OF THE STREET.
- TURNING RADIUS SHALL BE 30' INSIDE AND 50' OUTSIDE.
- ADDRESSES SHALL BE 4' IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- KNOX KEY SWITCH AND OPTION REQUIRED FOR SITE ACCESS GATES.
- HYDRANTS MUST BE WITH 400' OF WTERIOR WALLS OF THE STRUCTURE. HYDRANTS ARE PRIVATE ON A LOOPED PUBLIC WATER MAIN.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT
- FIRE MASTER PLAN IS REQUIRED AS PART OF FINAL DESIGN.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF OR COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (78,000 LBS) MUST BE INSTALLED.
- IN ADDITION THE APPROVED, PERMANENT WATER SUPPLY (FIRE HYDANTS) MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BRING DROPPED ON SITE.
- THE CITY OF OCEANSIDE IS IN THE PROCESS OF IMPLEMENTING A CITYWIDE CPD IT IS EXPECTED THAT THIS PROJECT WILL BE REQUIRED TO ANNEX INTO THE CPD S A CONDITION OF APPROVAL.

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MAY 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 106, Bldg. C-106, CA 92031 (619) 746-8818 Fax (619) 746-8818
JOB NO. 499-01, DATE MAY 24, 2021



VISTA WAY HOMES
FIRE ACCESS PLAN
ADA ACCESS PLAN

WATER AND SEWER NOTES:

- THE WATER AND SEWER FOR THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY THE HOA.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH UNIT MAINTAINED AND BUILT BY THE HOA.
- (2) TWO 2" WATER METERS & SERVICES ARE PROPOSED FOR THIS PROJECT AND BILLED TO THE HOA. UNITS 1-10 TO BE SERVICED BY THE WESTERLY WATER METER, UNITS 11-18 TO BE SERVICED BY THE EASTERLY WATER METER.
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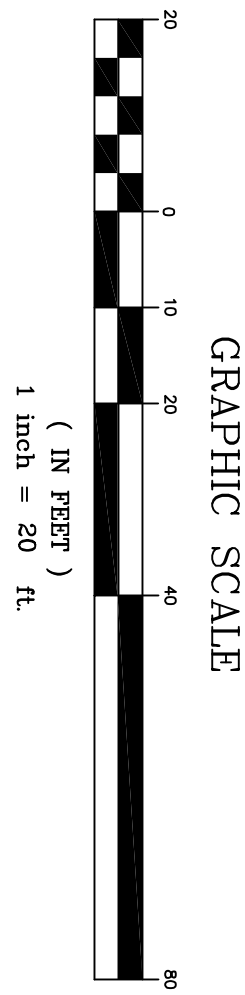
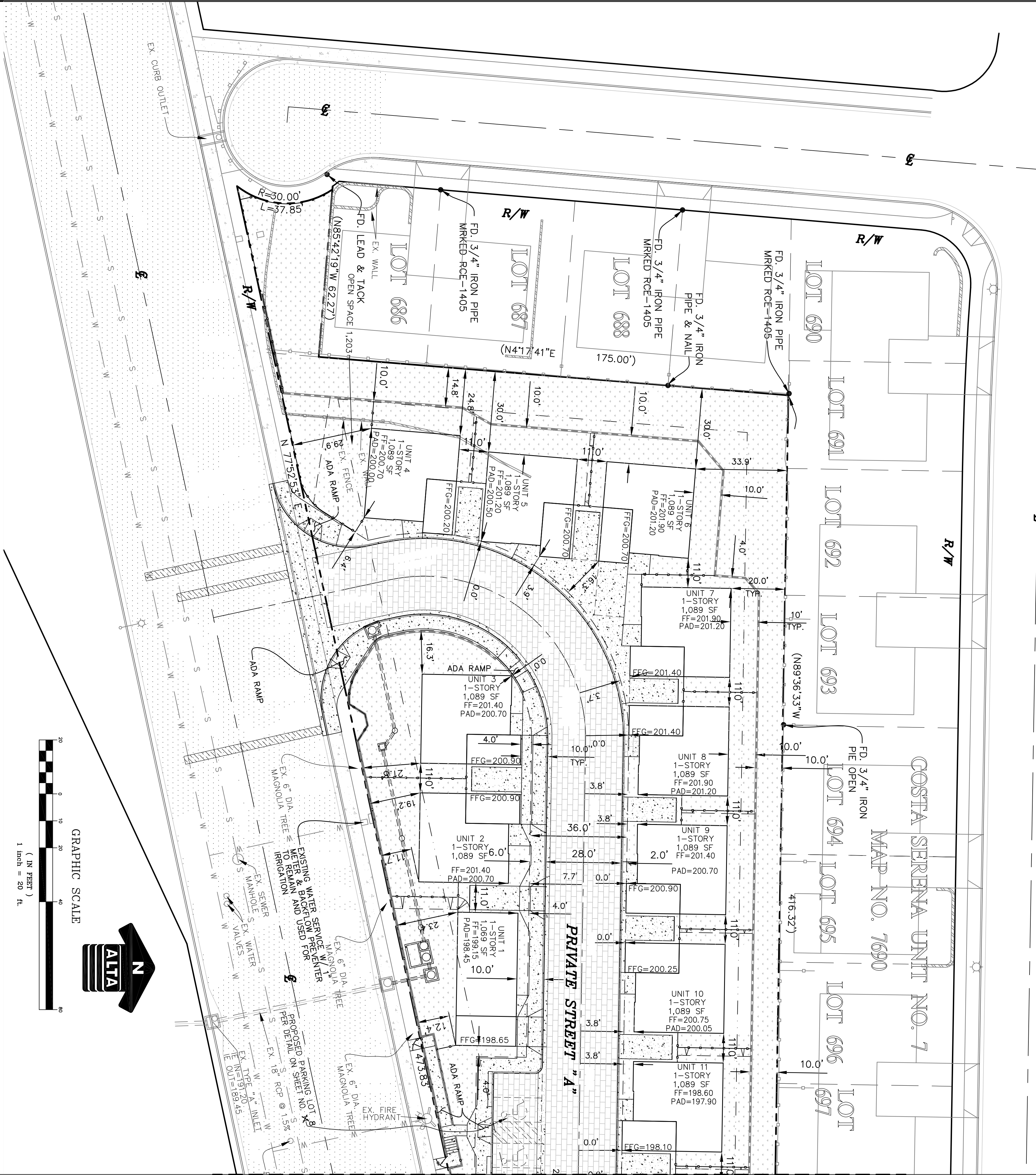
SITE PLAN

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (0B21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
 - PROPOSED PUBLIC STREET DEDICATION: 9 AC
 - PROPOSED PRIVATE STREET AREA: 9 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 1
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
 - PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18x30)=19
 - UNATTACHED COMPACT PARKING SPACES (16x8)=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
 - ASSESSOR'S PARCEL NUMBER: 165-483-47
 - SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
 - PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, AS THE BASIS FOR THE PREPARED FOR THIS PROJECT, AS VERIFIED BY THE RECORDS OF THE COUNTY RECORDER, FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
 - EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
 - PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
 - EXISTING ZONING: RM-A
 - PROPOSED ZONING: RM-A
 - PROPOSED DENSITY: 9.14 DU/AC
 - STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
 - MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF. COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF. EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE FOR THIS PROJECT.

- LEGEND:**
- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE-----
- EXISTING ELEVATION-----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- PROPOSED G-2 CURB & GUTTER-----
- PROPOSED G-1 GUTTER-----
- PROPOSED ROLLED CURB-----
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVEMENT-----
- PER DETAIL ON SHEET NO. 10
- TRENCH RESURFACING M.3A-----
- PROPOSED WATER STORAGE-----
- SEE SWAMP FOR DETAILS
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- (PVT) PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- (PVT) PROPRIETARY TREATMENT UNIT-----
- (PVT) MODIFIED TYPE A CLEANOUT-----
- W/SUMP PUMP-----
- (PVT) 3636 OR 1818 BROOKS BOX-----
- (PVT) 2424 BROOKS BOX W/-----
- AREA DRAIN-----

VISTA WAY HOMES
SETBACK EXHIBIT



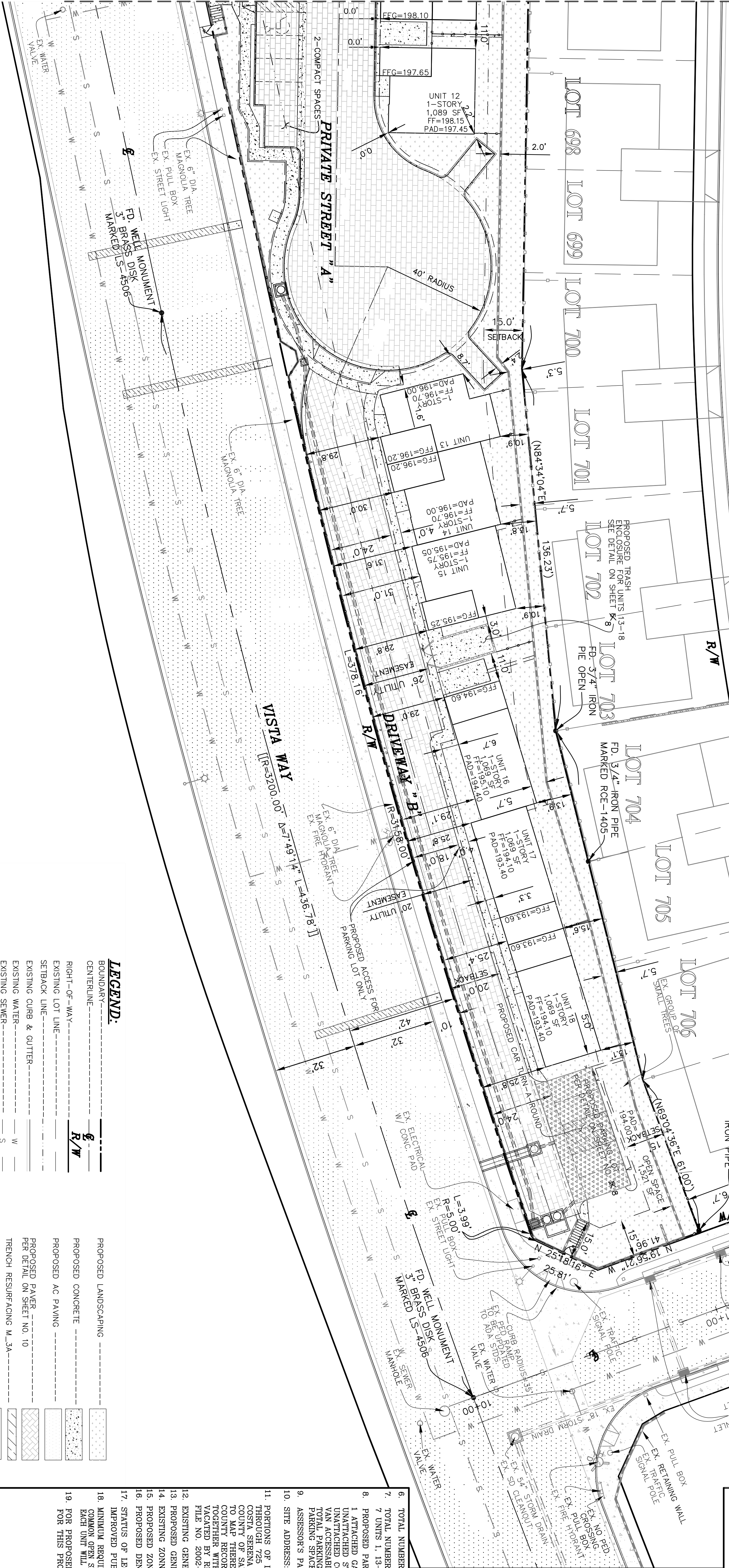
SITE PLAN

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (021-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1

VISTA WAY HOMES
SETBACK EXHIBIT

GAIL DRIVE



LEGEND:

- | | | | |
|---------------------------------|--|--|--|
| BOUNDARY----- | | PROPOSED LANDSCAPING ----- | |
| CENTERLINE----- | | PROPOSED CONCRETE ----- | |
| RIGHT-OF-WAY----- | | PROPOSED AC PAVING ----- | |
| SETBACK LINE----- | | PROPOSED PAVING ----- | |
| EXISTING CURB & GUTTER----- | | PER DETAIL ON SHEET NO. 10 | |
| EXISTING WATER----- | | TRENCH RESURFACING W. 3A----- | |
| EXISTING SEWER----- | | PROPOSED WATER STORAGE ----- | |
| EXISTING FENCE----- | | SEE SWAMP FOR DETAILS | |
| EXISTING RETAINING WALL ----- | | PROPOSED RETAINING WALL ----- | |
| EXISTING CONCRETE ----- | | 2.1 SLOPE----- | |
| EXISTING AC PAVING ----- | | DAYLIGHT LINE----- | |
| EXISTING CONTOUR LINE----- | | DIRECTION OF FLOW----- | |
| EXISTING ELEVATION----- | | (PVT.) PROPOSED STORM DRAIN----- | |
| EXISTING FIRE HYDRANTS----- | | CURB OUTLET PER D-25----- | |
| EXISTING STREET SIGN----- | | (PVT.) PROPRIETARY TREATMENT UNIT----- | |
| PROPOSED G-2 CURB & GUTTER----- | | (PVT.) MODIFIED TYPE A CLEANOUT ----- | |
| PROPOSED G-1 GUTTER----- | | W/SUMP PUMP ----- | |
| PROPOSED ROLLED CURB----- | | (PVT.) 3636 OR 1818 BROOKS BOX ----- | |
| SEE LANDSCAPE PLANS FOR DETAILS | | (PVT.) 2424 BROOKS BOX W/----- | |
| | | AREA DRAIN ----- | |

ENGINEER OF WORK

Barry J. Pastore
BARRY J. PASTORE, RCE 38806
DATED: _____ MAY _____, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1383 E. Main St., Ste. 100, El Cerrito, CA 94521 (916) 746-8818 FAX (916) 746-8815
JOB NO. 499-01, DATE MAY 24, 2022

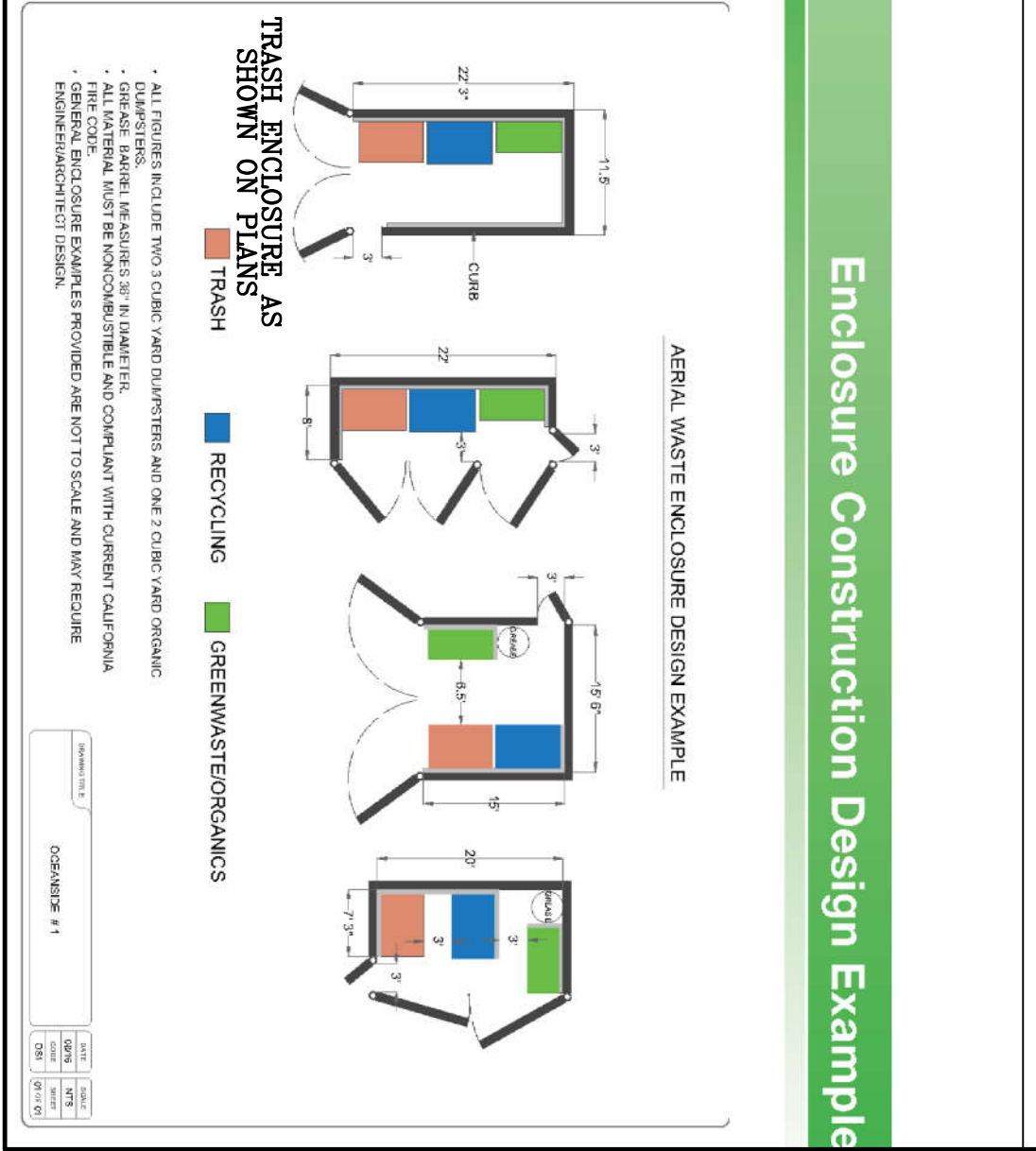
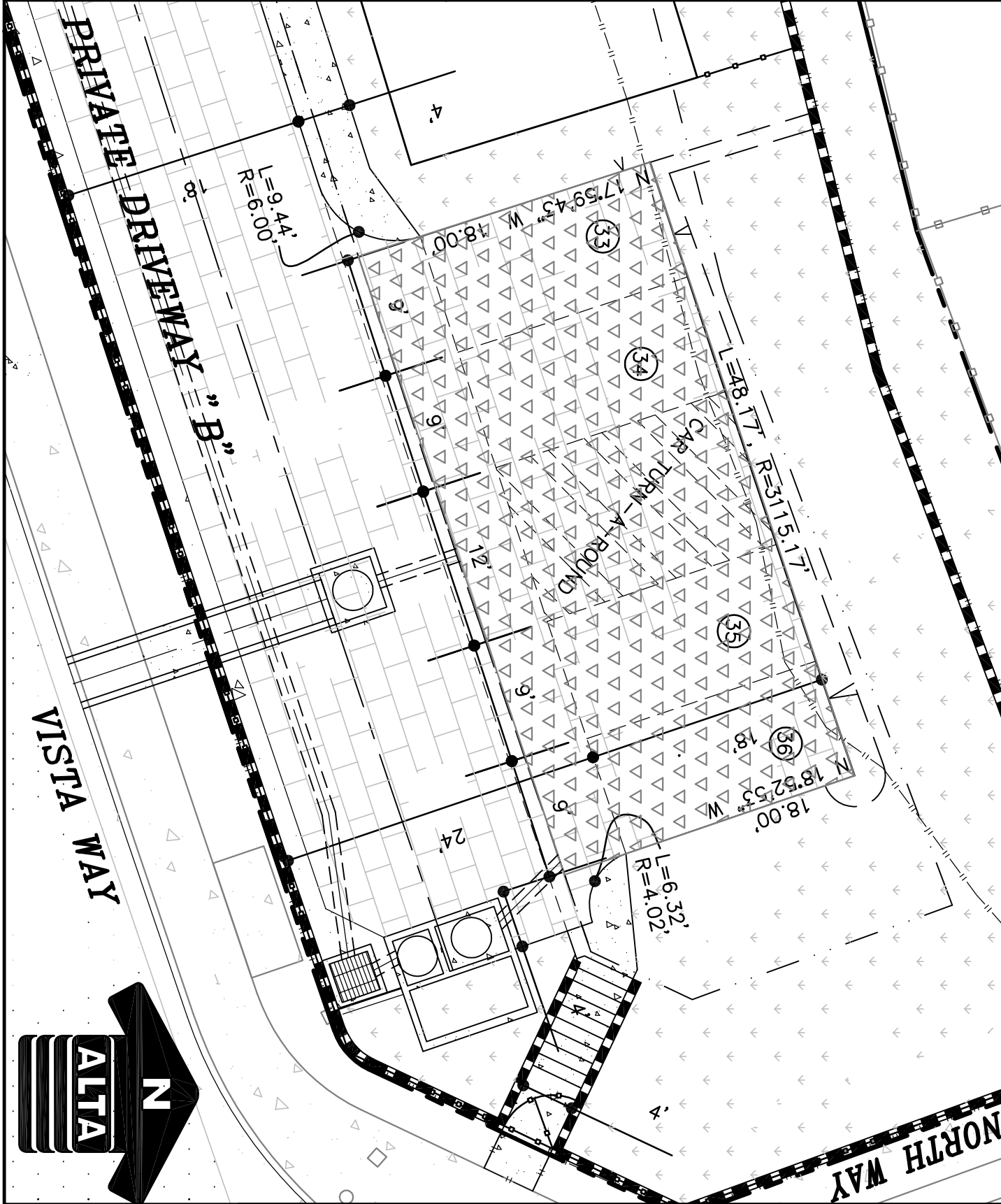
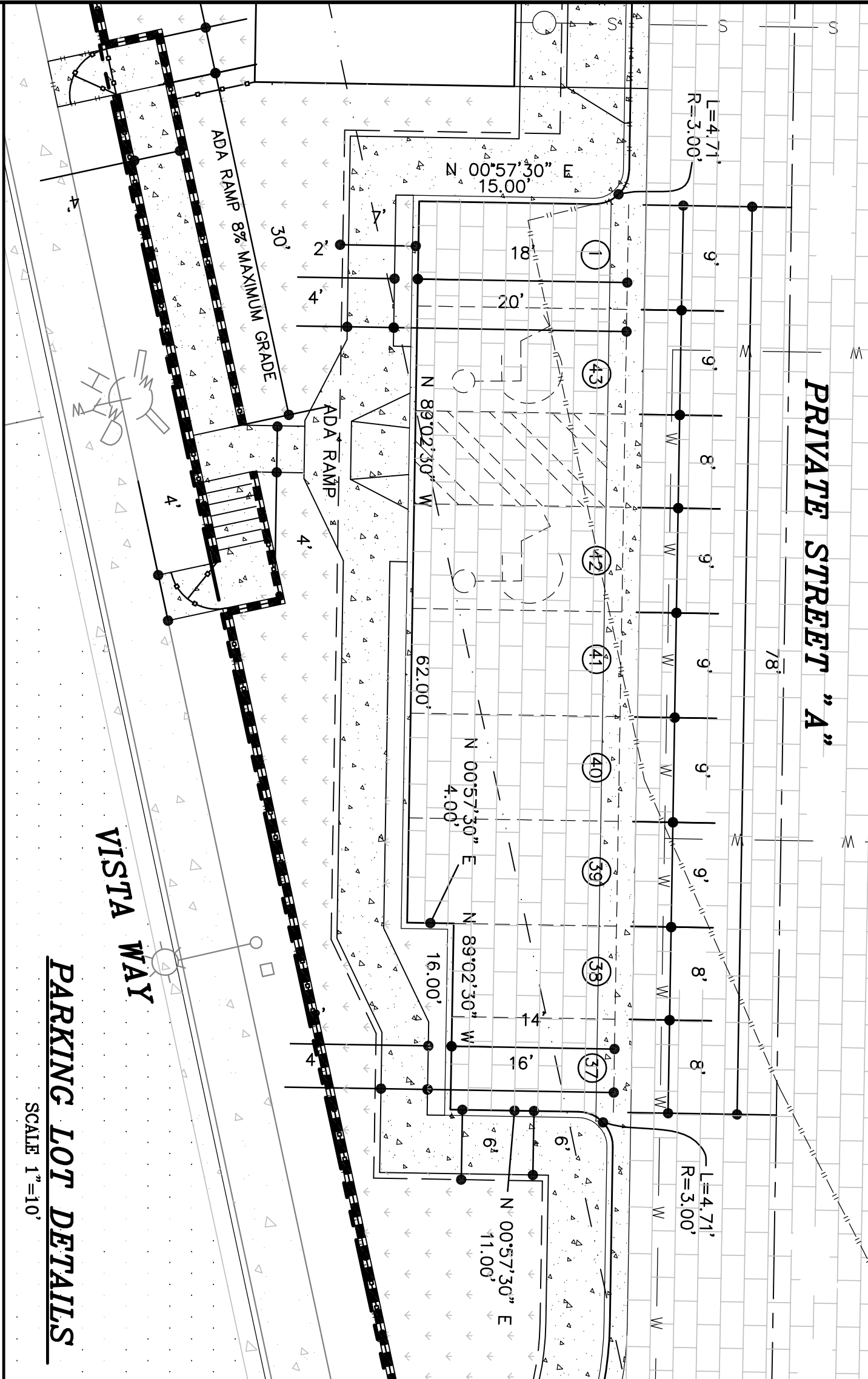
SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CDR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING, AND WALKWAYS. THIS PROJECT IS NOT TO BE CONSIDERED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.87 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED SATURDAY PARKING SPACES (18x8')=19
 - UNATTACHED SUNDAY PARKING SPACES (18x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=43
 - PARKING SPACES PER UNIT=2.39
- ASSESSORS PARCEL NUMBER: 165-489-47
- SITE ADDRESS: 3710 VISTA WAY
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 723 AND PORTIONS OF LOTS 726 AND 727 OF COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

VISTA WAY HOMES
DETAILS



ENGINEER OF WORK

Baritone J. Pastor
BARITONE J. PASTOR, RCE 38606
DATED: _____ MAY _____, 2022



T21-00002
D21-00005
DB21-00003

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