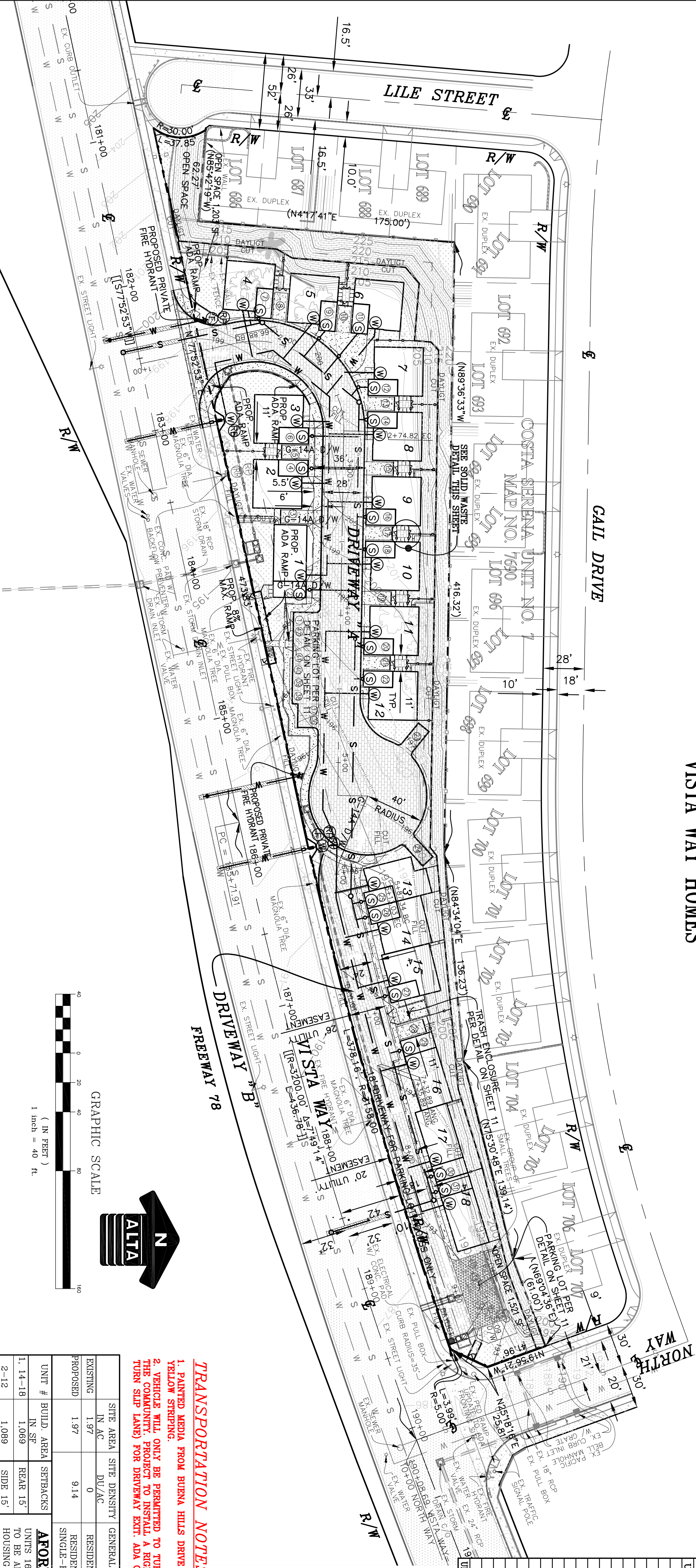


VISTA WAY HOMES



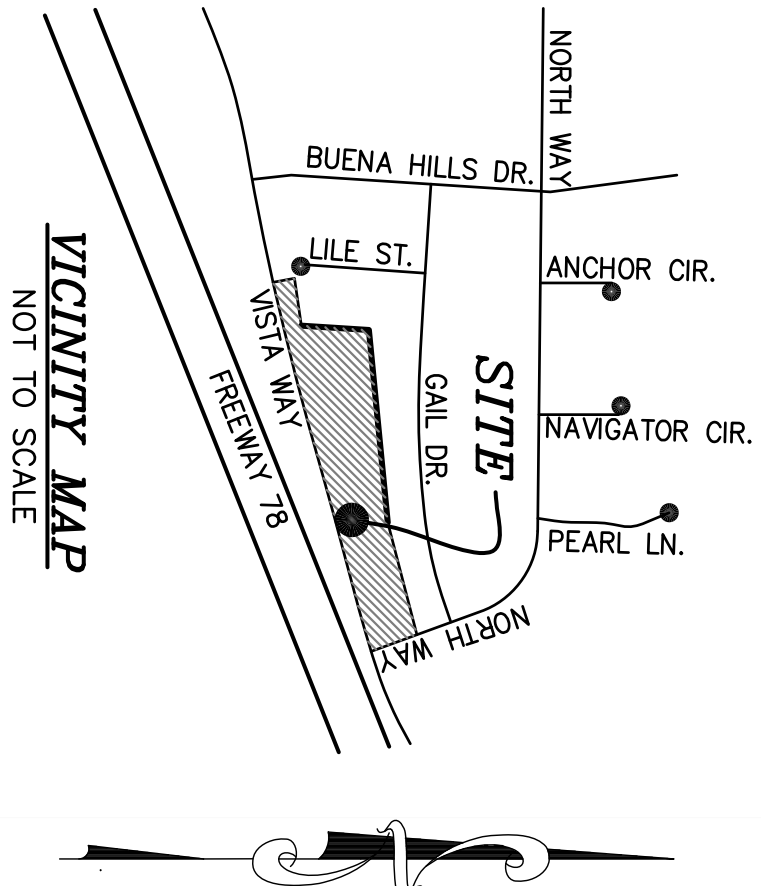
PARKING SCHEDULE			
UNIT NO.	GARAGE	DETACHED	
1	2	1	
2	4	3	
3	6	5	
4	7	8	
5	9	10	
6	11	40	
7	12	13	
8	14	15	
9	16	17	
10	18	19	
11	20	21	
12	22	23	
13	24	25	
14	26	29	
15	27	28	
16	29	32	
17	30	33	
18	31	34	
UNASSIGNED PARKING SPACES 35-38			

TRANSPORTATION NOTES:

- 1. **PAVING MEDIA FROM BUENA HILLS DRIVE TO NORTH WAY YELLOW STRENGTH.**
- 2. **VEHICLE WILL ONLY BE PERMITTED TO TURN RIGHT WHEN EXISTING THE COMMONITY PROJECT TO INSTALL A RIGHT TURN POOL (RIGHT TURN SLIP LANE) FOR DRIVEWAY EXIT. ADA COMPLIANCE IS REQUIRED.**

GENERAL PLAN			
SITE AREA	DU/AC	RESIDENTIAL	RM-A
EXISTING	1.97	0	
PROPOSED	1.97	9.14	RM-A
40% SINGLE-FAMILY			

AFFORDABLE HOUSING			
UNIT #	BUILD. AREA	SETBACKS	
1, 14-18	1,069	REAR 15'	
2-12	1,089	SIDE 15'	
13	1,114	FRONT 20'	
18 UNITS TOTAL			



EXISTING EASEMENTS NOTES

SEE SHEET NO. 2 FOR LOCATIONS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT
PREPARED BY FIRST NATIONAL TITLE, ORDER NO. 00147440-996-
AND SD1-072 DATED FEBRUARY 25, 20212 EASEMENTS SHOWN HEREON
USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

SHEET INDEX

TENTATIVE PARCEL MAP	SHEET 1
SITE TOPO & EX. EASEMENTS	SHEET 2
FIRE ACCESS PLAN, ADA ACCES.....	SHEET 3
& TYPICAL STREET SECTIONS	SHEET 4-5
CONCEPT WATER & SEWER PLANS.....	SHEET 6-7
CONCEPT SECTIONS AND DRIVEWAY "B"	SHEET 8
PRIVATE STREET "A" PROFILE & SITE SECTIONS	SHEET 9
CONCEPT STORM DRAIN PROFILES	SHEET 10
CONCEPT STORM WATER DETAILS	SHEET 11
MISC. DETAILS	SHEET 12
PROPOSED DWA PLAN	SHEET 12

TENTATIVE MAP T21-00002

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (0B21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 18
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
 - PROPOSED PARKING:
 - ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (16'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
 - PARKING SPACES PER UNIT=2.33
 - ASSESSOR'S PARCEL NUMBER: 165-483-47
 - SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
 - PORTIONS OF LOTS 694, 695, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
 - EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
 - EXISTING ZONING: RM-A
 - PROPOSED DENSITY: 16/1.97=9.14 DU/AC
 - STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
 - BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.60 DATUM: NAV 88 CITY OF OCEANSIDE #1024
 - SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.
 - MAXIMUM SLOPE GRADIENT: 2.1
 - AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,598 SF OR 26%
 - MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF
 - MINIMUM OPEN SPACE IS LOCATED IN TWO AREAS OF 1,524 SF+1,293 SF=2,724 SF EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
 - AREA/PERCENT OF SITE IN LANDSCAPING: 28,586 SF OR 33%
 - AREA/PERCENT OF SITE IN PAVERS: 27,815 SF OR 32%
 - ON SITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
 - CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
 - NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
 - GRADED AREA: 1.63 AC=82% OF SITE
 - FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C07666 DATED: 2/16/12
 - SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.
 - RENEWABLE ENERGY: SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

ENGINEER OF WORK

BAROTLOME J. PASTOR, RCE 38606
DATED: JULY, 2022

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (951) 401-9090
E-MAIL: rezashir@gnail.com

BY: REZA SHIRAZI

T21-00002
D21-00005
DB21-00003

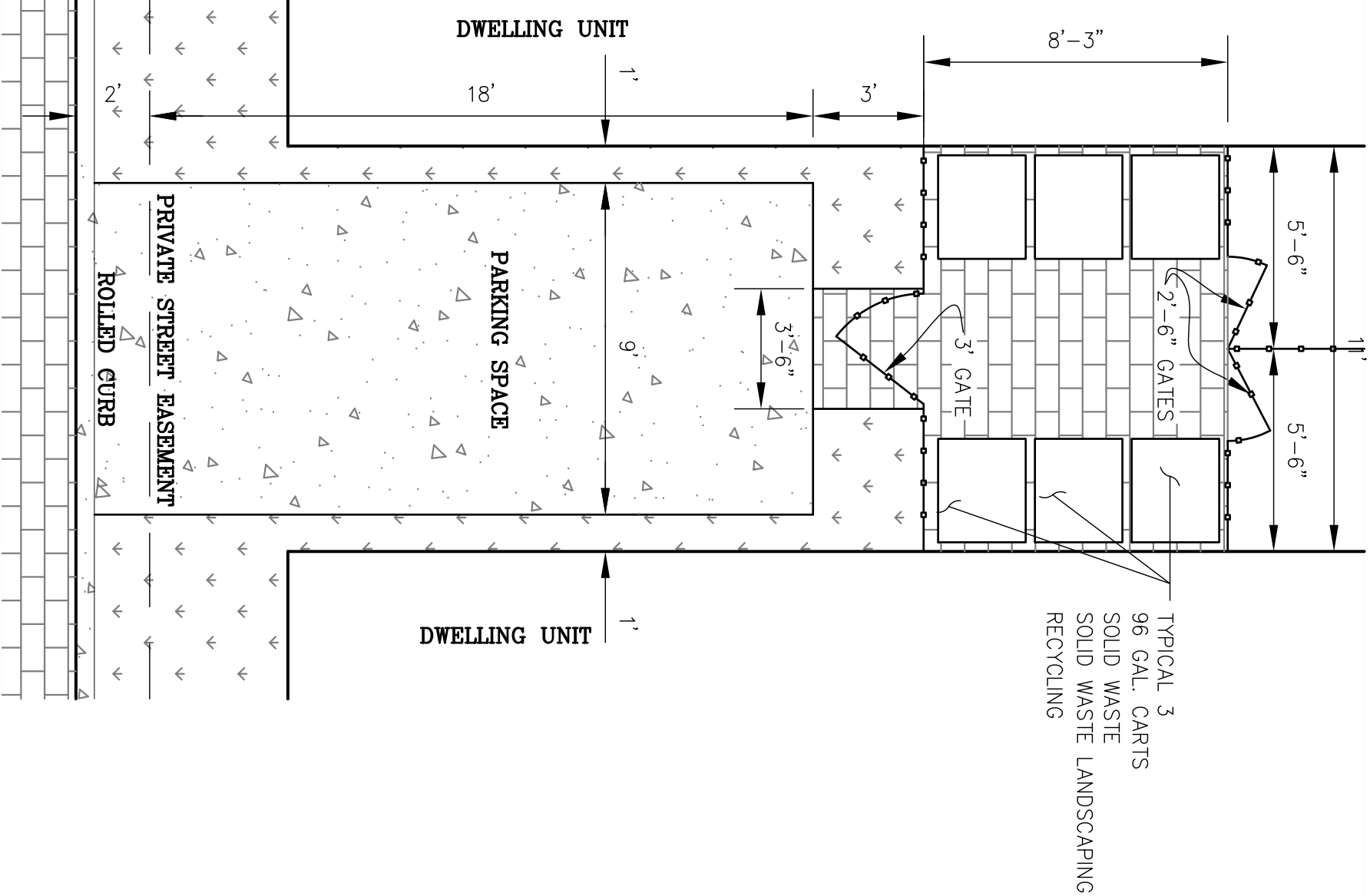
ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1268 E. MAIN ST., SUITE 100, B-100, OCEANSIDE, CA 92056 (760) 960-8818 (760) 749-8818
FAX: (760) 960-8818
909 NO. 489-011, DATES JULY 22, 2022

Date: 7/22/2022

SHEET 1 OF 12

- LEGEND:**
- BOUNDARY-----
 - CENTERLINE-----
 - RIGHT-OF-WAY-----
 - EXISTING LOT LINE-----
 - SETBACK CURB & GUTTER-----
 - EXISTING WATER-----
 - EXISTING SEWER-----
 - EXISTING FENCE-----
 - EXISTING RETAINING WALL-----
 - EXISTING CONCRETE-----
 - EXISTING AC PAVING-----
 - EXISTING CONTOUR LINE-----
 - EXISTING ELEVATION-----
 - EXISTING FIRE HYDRANTS-----
 - EXISTING STREET SIGN-----
 - EXISTING WATER SERVICE W/ EX BACKFLOW PREVENTER-----
 - PROPOSED 2" WATER SERVICE-----
 - PROPOSED 8" FIRE SERVICE-----
 - PROPOSED 1" WATER SERVICE W/ FINE HYDRANT-----
 - PRIVATE WATER METER TO BE MAINTAINED BY HOA-----
 - PROPOSED PRIVATE 4"SEWER LATERAL-----
 - 8" PRIVATE SEWER MAIN W/ SEWER MH-----
 - PARKING SPACE NUMBER-----
 - PROPOSED G-2 CURB & GUTTER-----
 - PROPOSED G-1 GUTTER-----
 - PROPOSED ROLLED CURB-----
 - PROPOSED FENCE-----
 - SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVES-----
- PER DETAIL ON SHEET NO. 10
- TRENCH RESURFACING M.3A-----
- PROPOSED WATER STORAGE-----
- SEE SHOWN FOR DETAILS
- PROPOSED RETAINING WALL-----
- 2: 1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- (PVT) PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25A-----
- (PVT) PROPRIETARY TREATMENT UNIT-----
- PER DETAIL ON SHEET NO. 10
- (PVT) MODIFIED TYPE A-4 CLEANOUT-----
- W/SLUMP PUMP-----
- (PVT) 3636 OR 1818 BROOKS BOX-----
- W/ TRAFFIC GRADE PER DETAILS ON SHEET 11
- (PVT) 2424 BROOKS BOX-----
- PARKWAY GATE PER DETAILS ON SHEET 11
- AREA DRAIN PER DETAIL ON SHEET 10-----



TYPICAL SOLID WASTE DETAIL
UNITS 1-12 (CART SERVICE)

SCALE 1"=4'