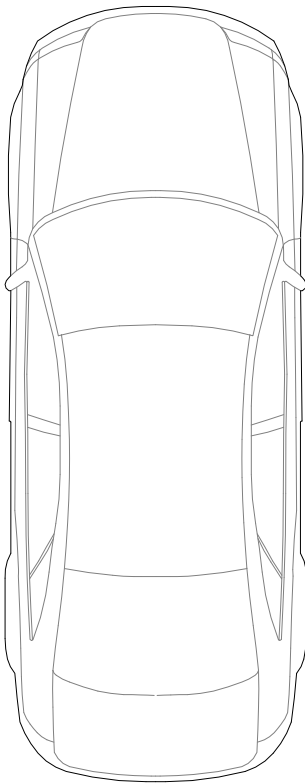
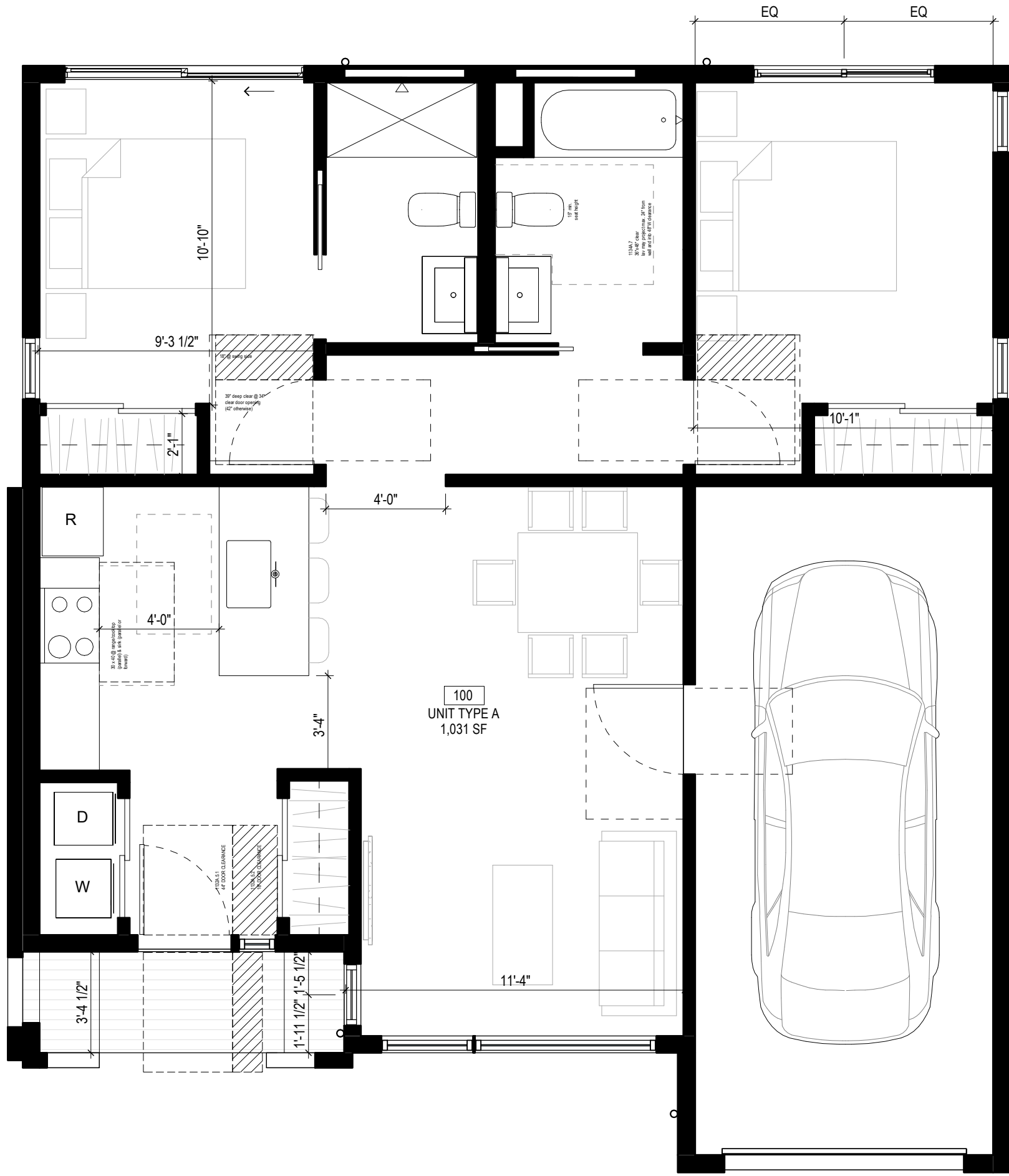


KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

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* LEGEND:		*SEE G_000 FOR ADDITIONAL LEGEND ITEMS
	TYPICAL DOOR OFFSET, UNO	
	FACE OF FINISHED WALL	
	EXTERIOR WALL MTD LIGHT	
	HOSE BIB	
	DROP CEILING ABOVE (GWB)	
	WALL TAG, SEE G_503	

OCEANSIDE

3710 Vista Way, Oceanside, CA
JOB NO:
1505

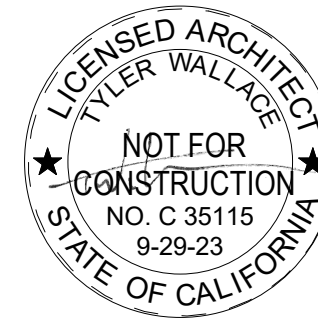
APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

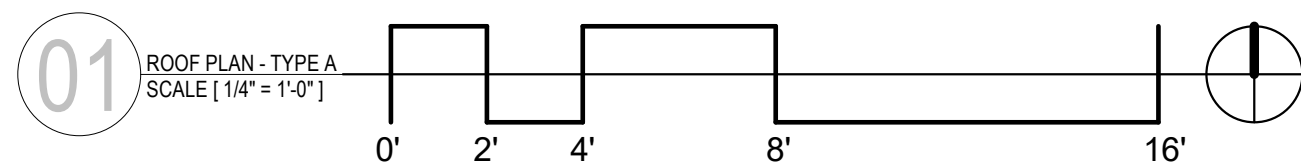
SCALE [AS NOTED]

PLANS - TYPE A

A_101

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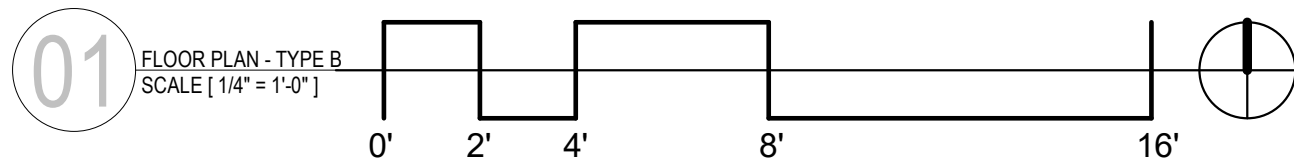
©TFWA ARCHITECTURE



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KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

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OCEANSIDE

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PTS:

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v: 619.485.0887



Owner:
LLC
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Civil Engineer:
tbd



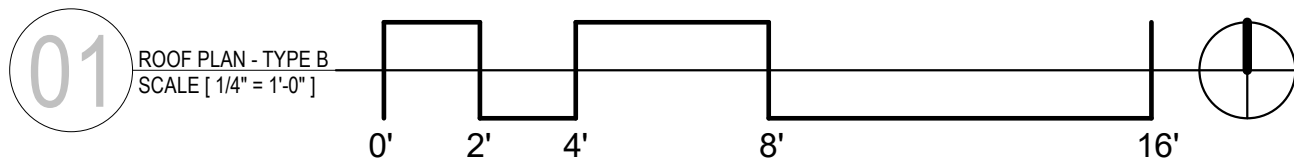
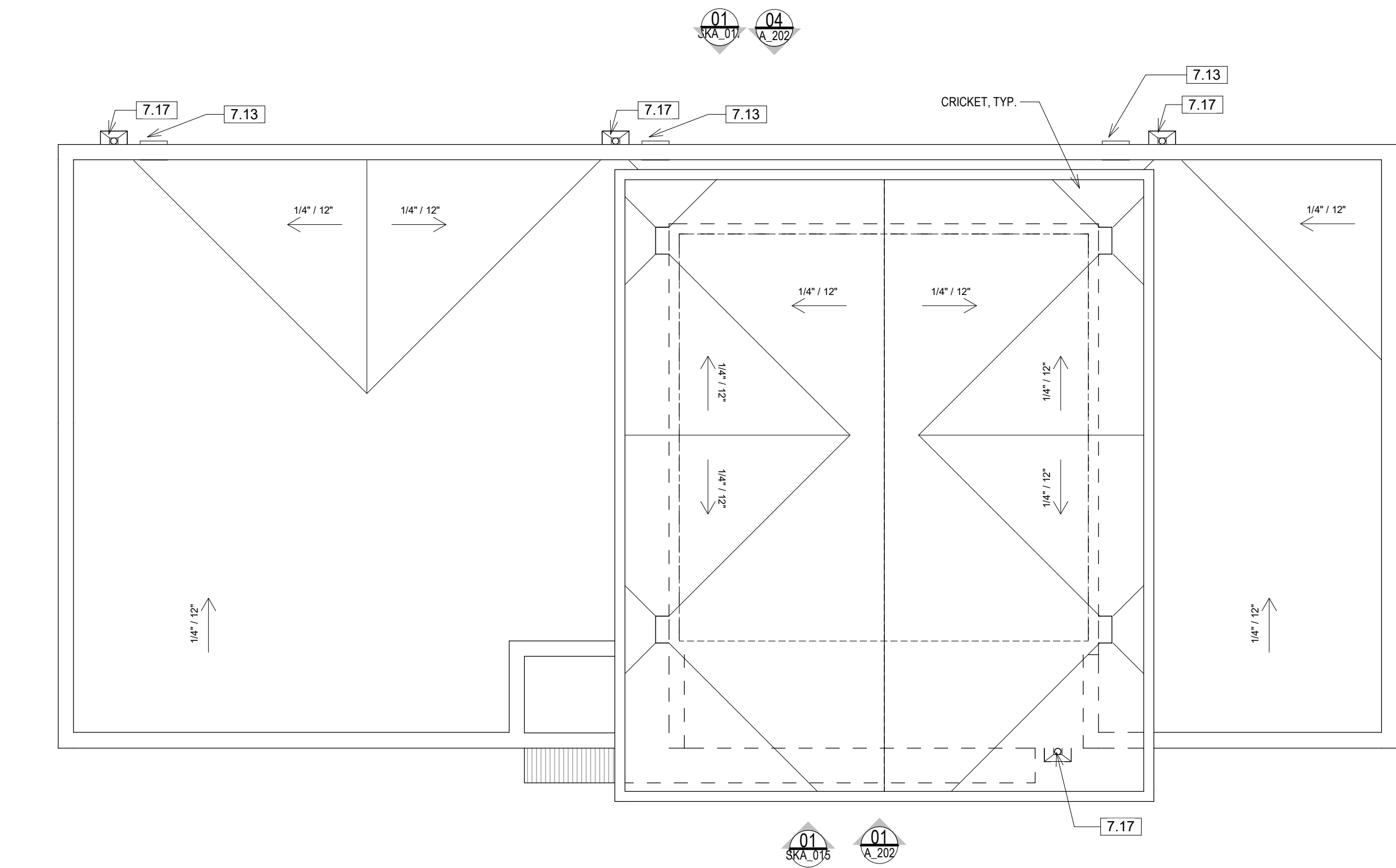
PROJECT PHASE

SCALE [AS NOTED]

FLOOR PLAN TYPE B

A_103

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KEYNOTES	
Key Value	Keynote Text
7.13	OVERFLOW SCUPPER
7.17	RAIN CONDUCTOR WITH 3\"/>

SHEET NOTES

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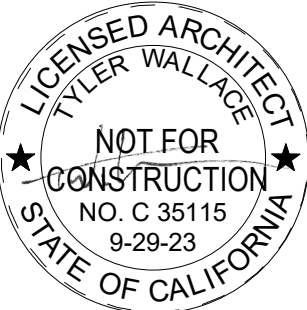
APN:
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v: 619.485.0887



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Civil Engineer:
tbd



PROJECT PHASE

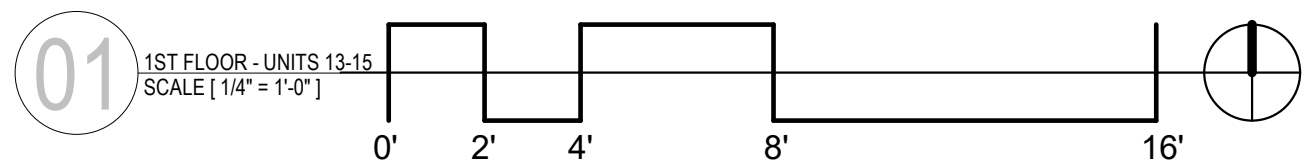
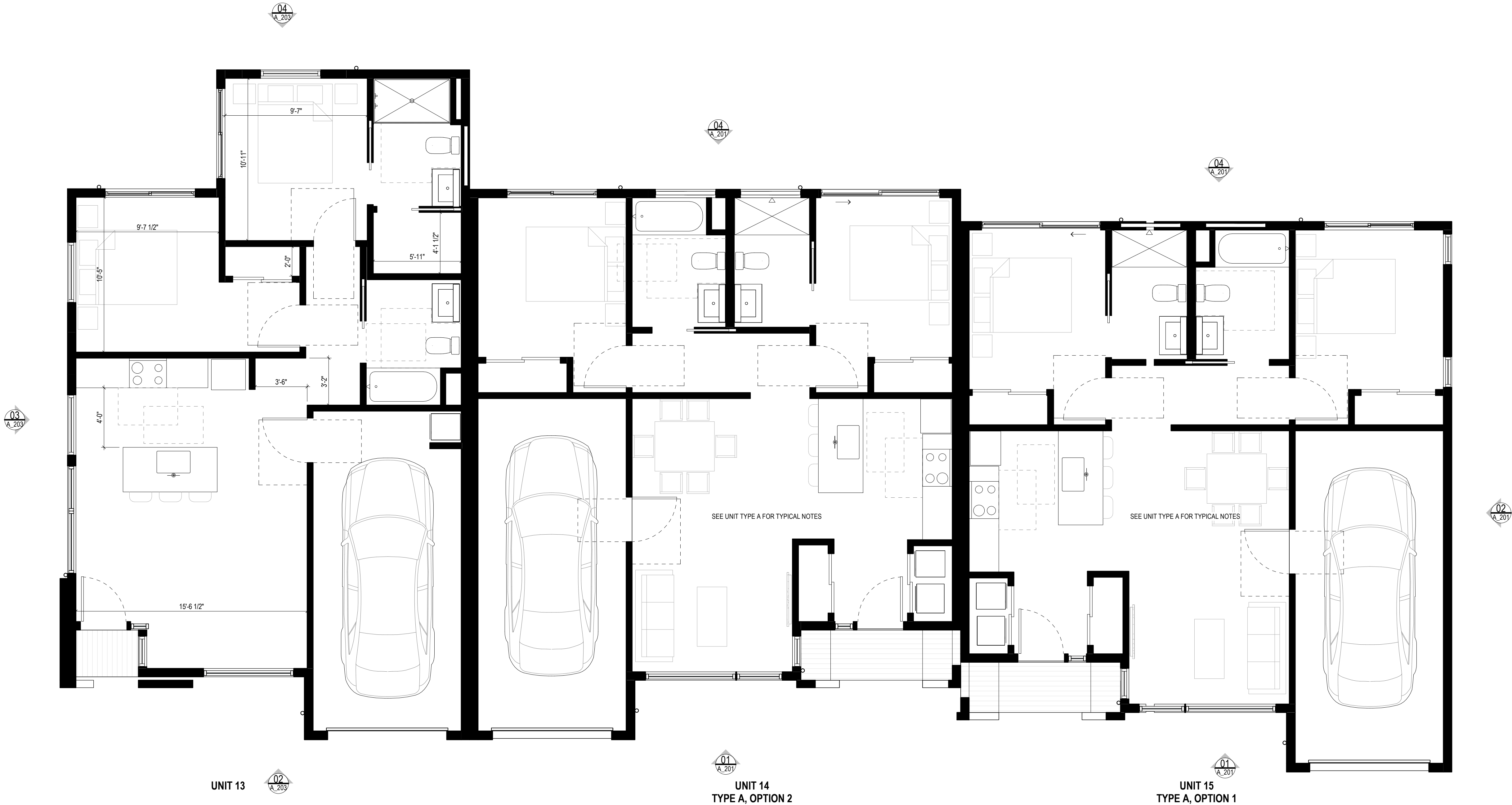
SCALE [AS NOTED]

ROOF PLAN TYPE B

A_104

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KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

1 TBD

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PROJECT PHASE

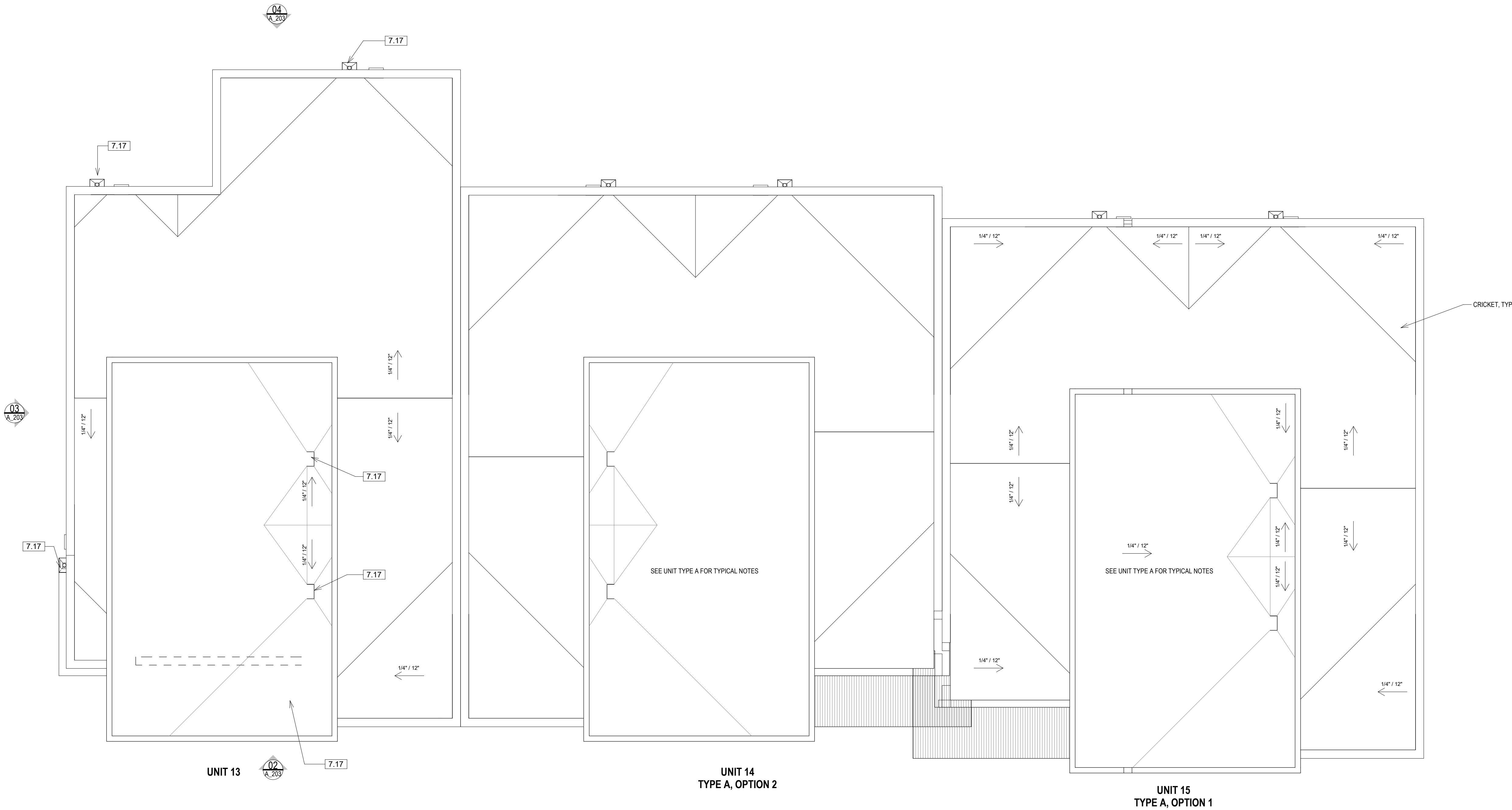
SCALE [AS NOTED]

PLANS - UNITS 13-15

A_105

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KEYNOTES	
Key Value	Keynote Text
7.17	RAIN CONDUCTOR WITH 3" DIA. ROUND Z2 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD

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SHEET NOTES

1 TBD

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tbd



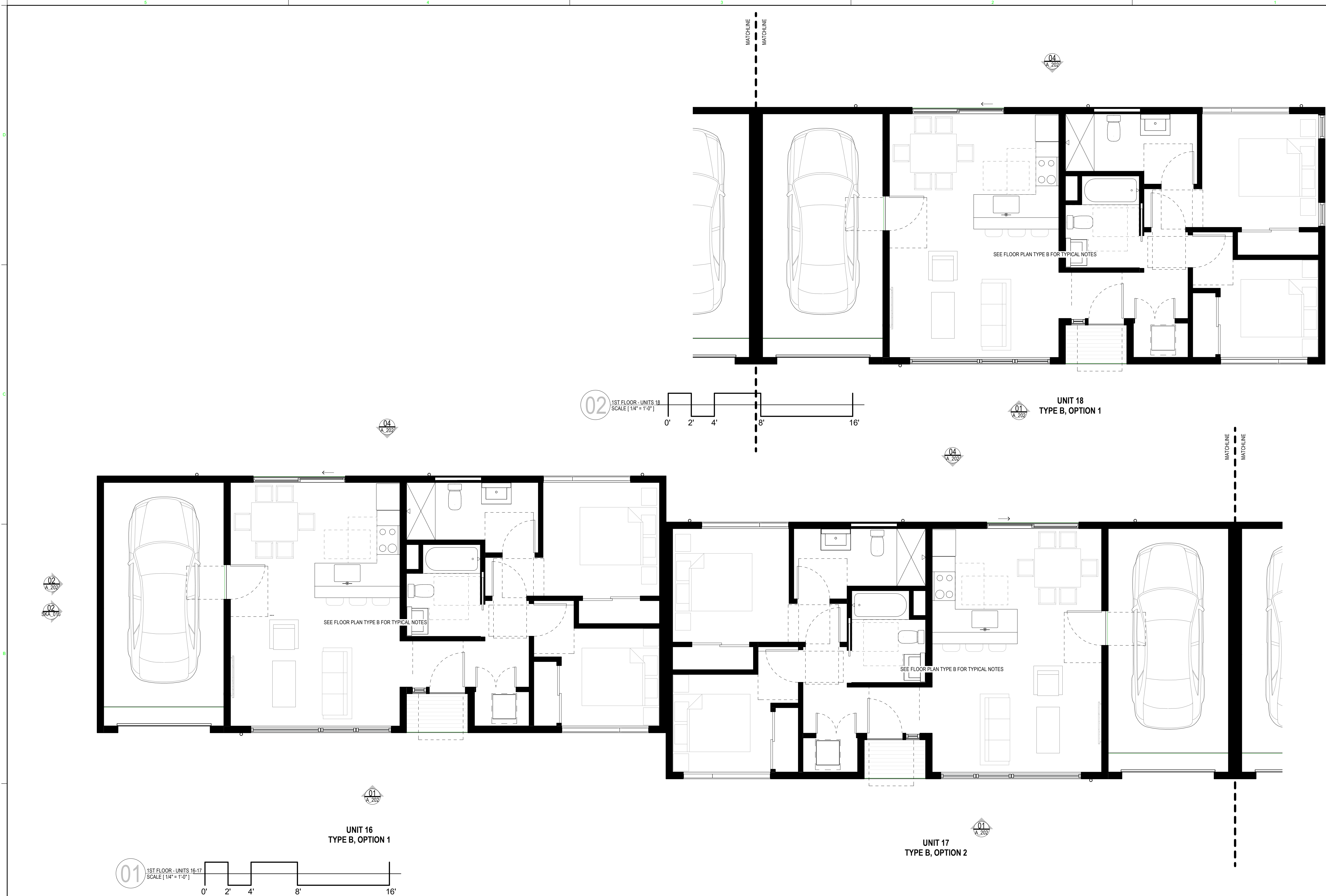
PROJECT PHASE

SCALE [AS NOTED]

ROOF PLAN - UNITS 13-15

A_106

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OCEANSIDE

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Civil Engineer:
tbd



SHEET NOTES

KEYNOTES	
Key Value	Keynote Text

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2 TBD

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PROJECT PHASE

SCALE [AS NOTED]

FLOOR PLAN - UNIT 16-18

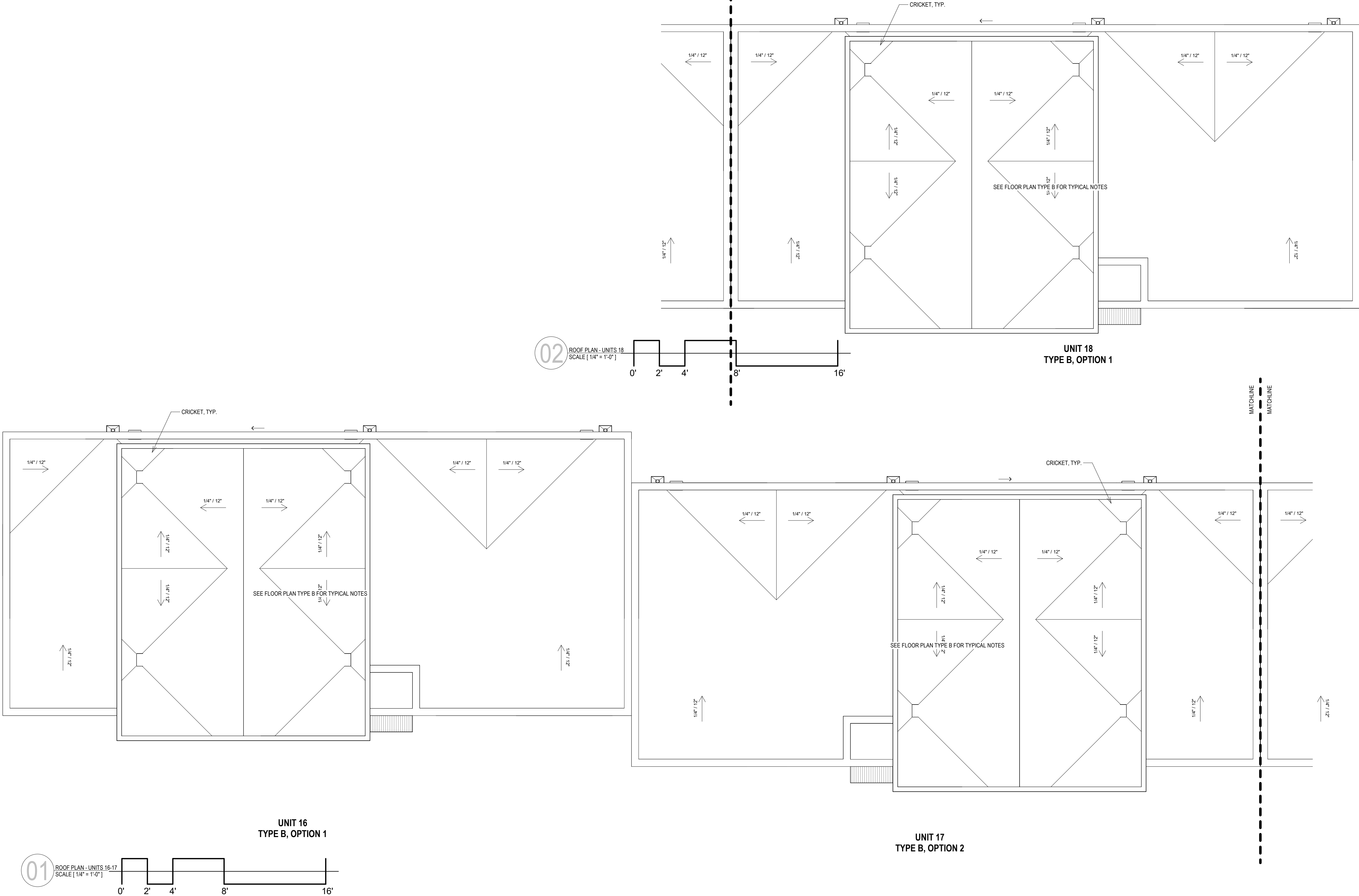
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SHEET NOTES

KEYNOTES	
Key Value	Keynote Text

TBD

TBD

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v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

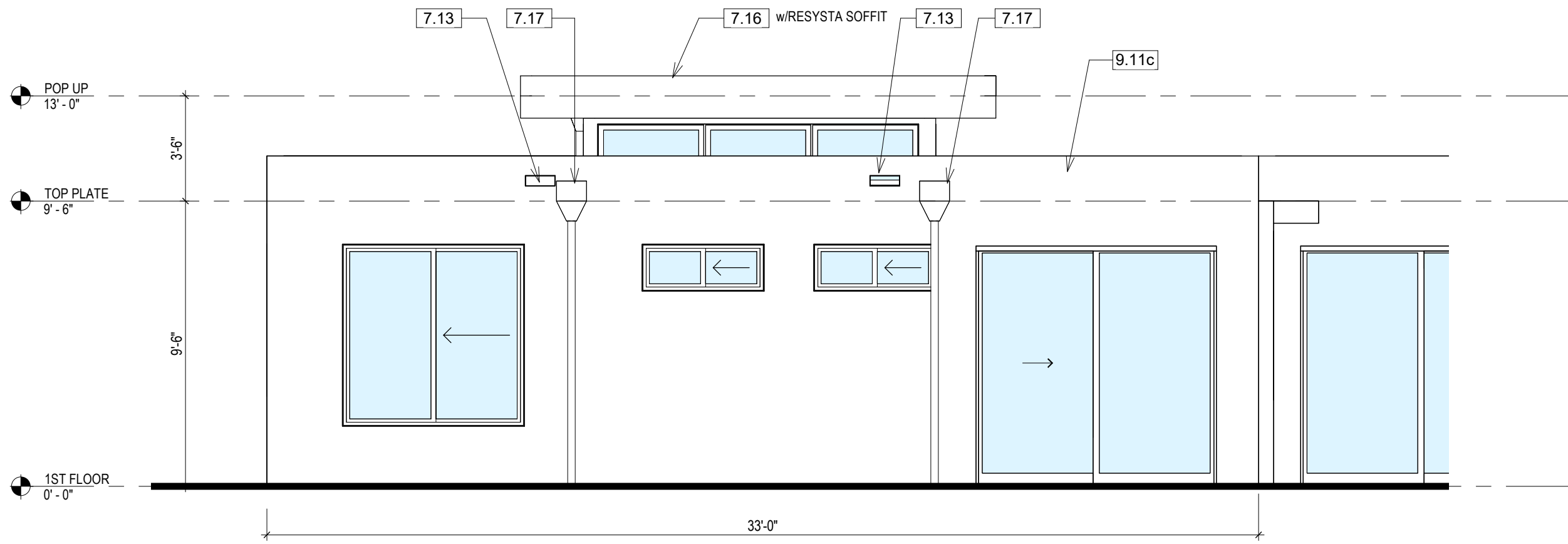
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ROOF PLAN - UNITS 16-18

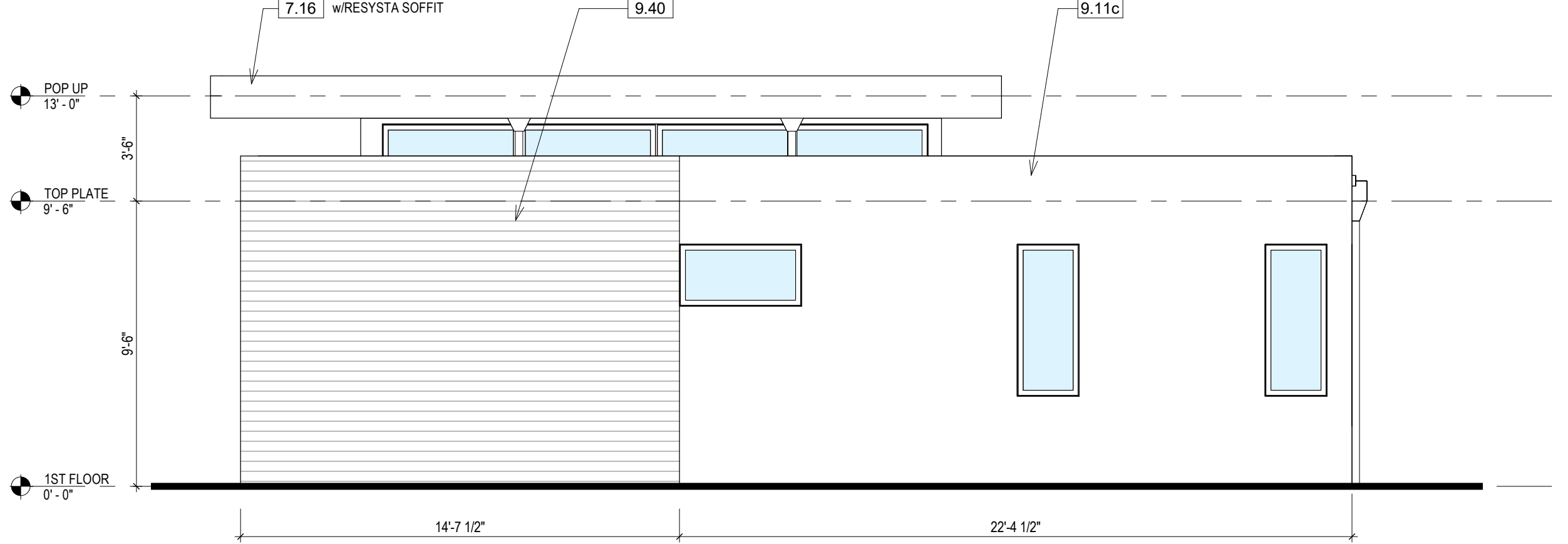
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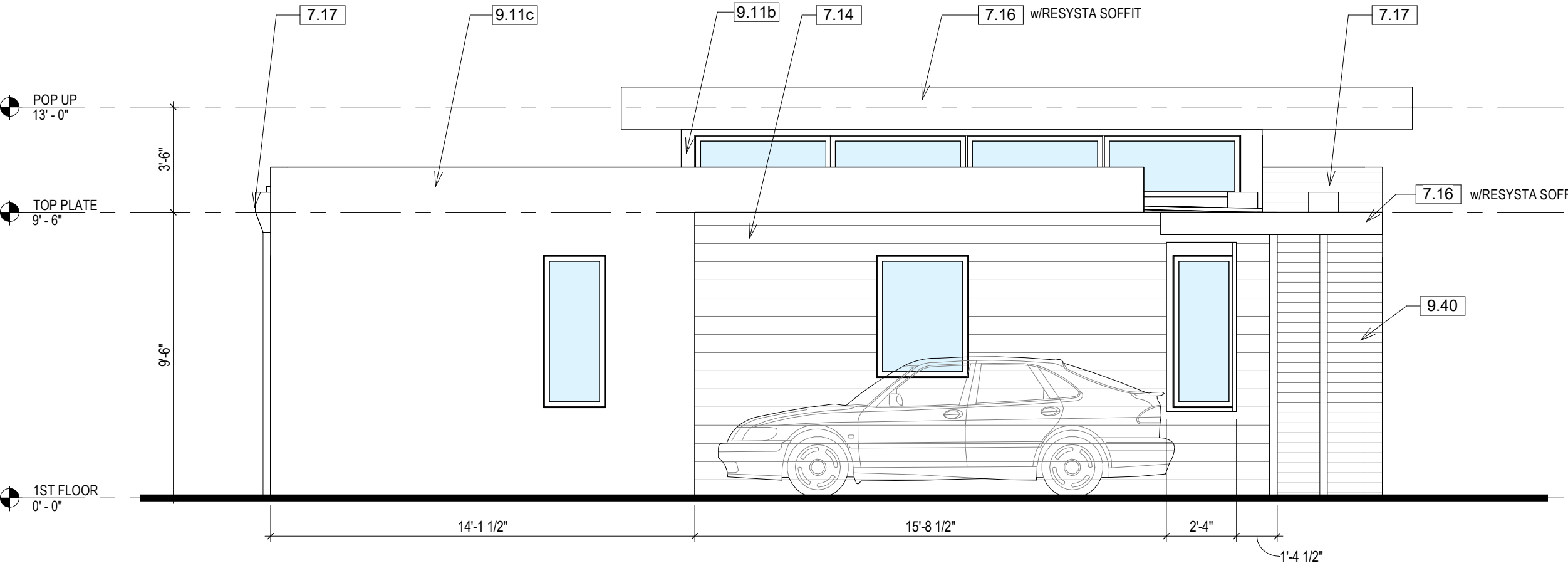
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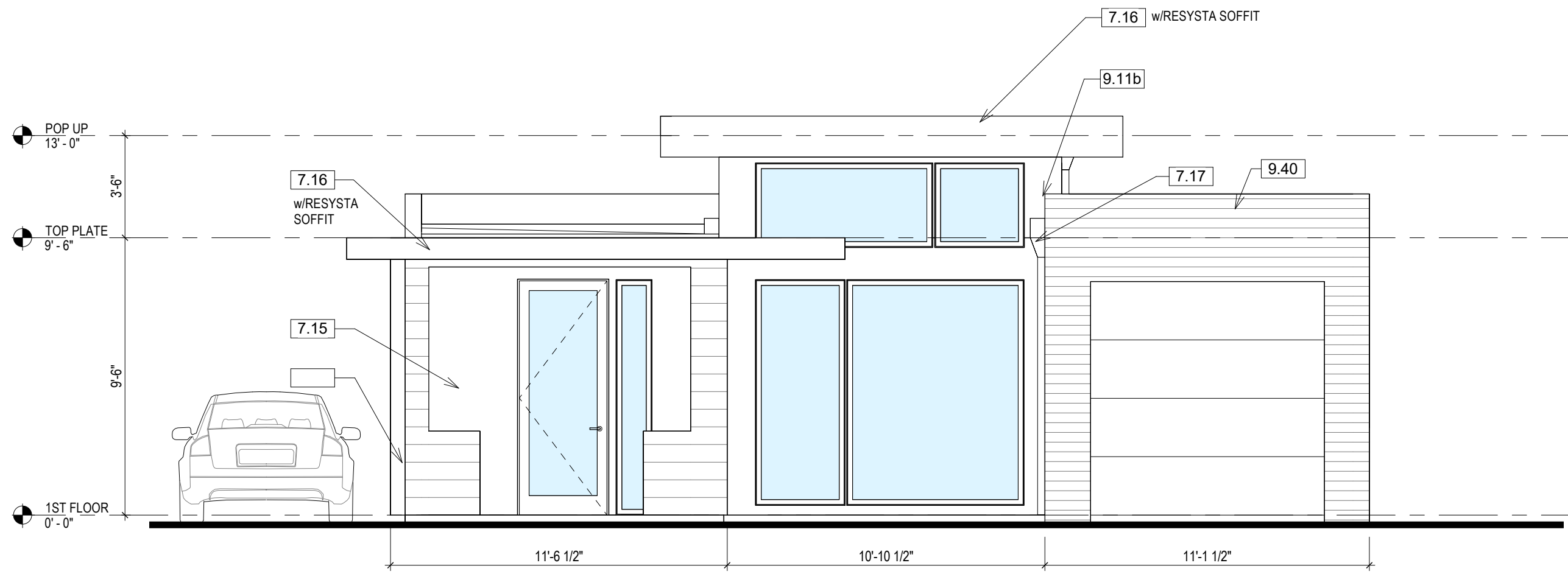
04 UNIT TYPE A - REAR ELEVATION
SCALE [1/4" = 1'-0"]



02 UNIT TYPE A - RIGHT ELEVATION
SCALE [1/4" = 1'-0"]



03 UNIT TYPE A - LEFT ELEVATION
SCALE [1/4" = 1'-0"]



01 UNIT TYPE A - FRONT ELEVATION
SCALE [1/4" = 1'-0"]



TYPE A - OPTION 1



TYPE A - OPTION 2

KEYNOTES	
Key Value	Keynote Text
7.13	OVERFLOW SCUPPER
7.14	FIBER CEMENT BOARD, PTD, HARDIE PANEL OR SIMILAR
7.15	RESYSTA OR EQUAL
7.16	METAL TRIM, COLOR PER ARCHITECT
7.17	RAIN CONDUCTOR WITH 3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD.
9.11b	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, BLACK COLOR TBD
9.11c	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, WHITE COLOR TBD
9.40	FIBER CEMENT LAP SIDING, COLOR PER ARCHITECT

SHEET NOTES

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OCEANSIDE

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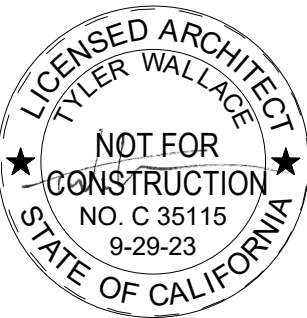
APN:
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Civil Engineer:
tbd



PROJECT PHASE

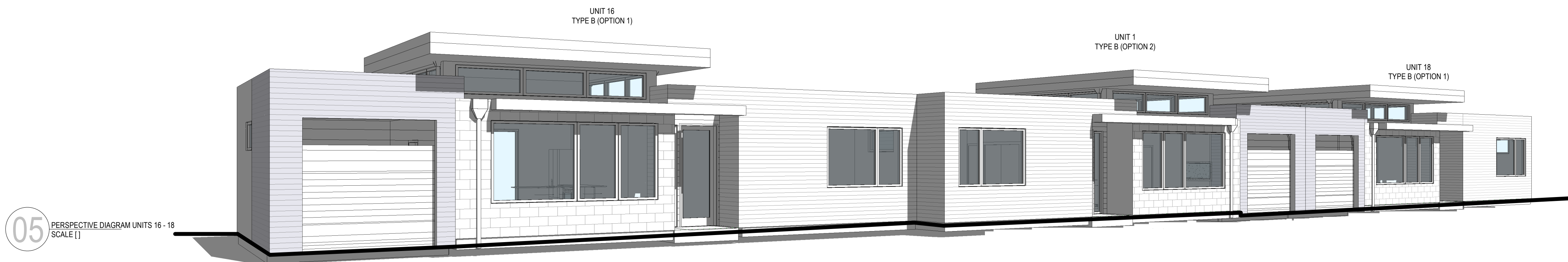
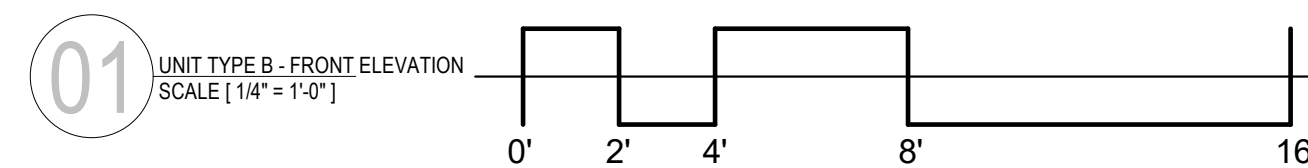
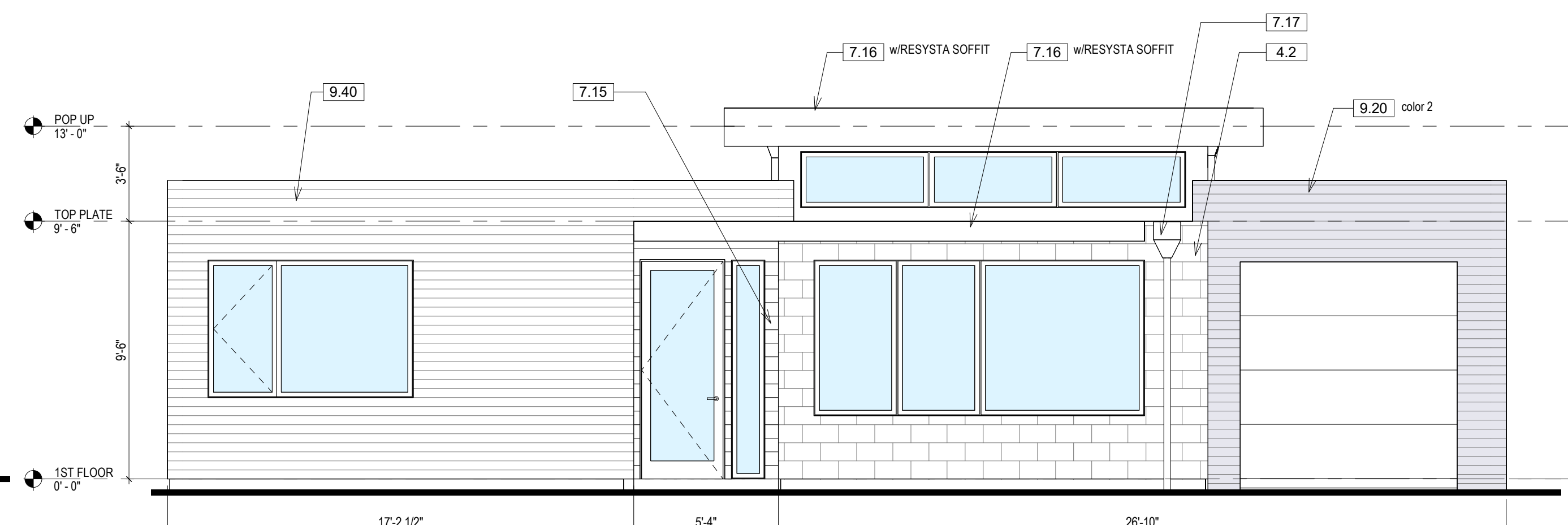
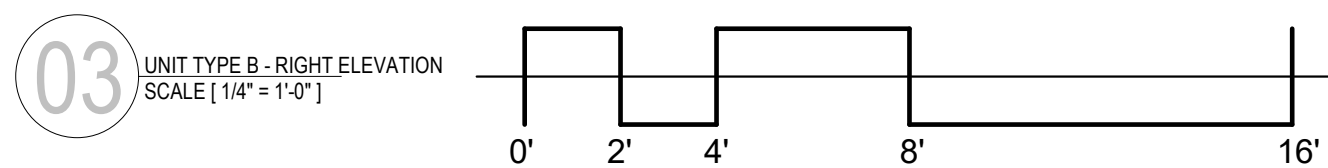
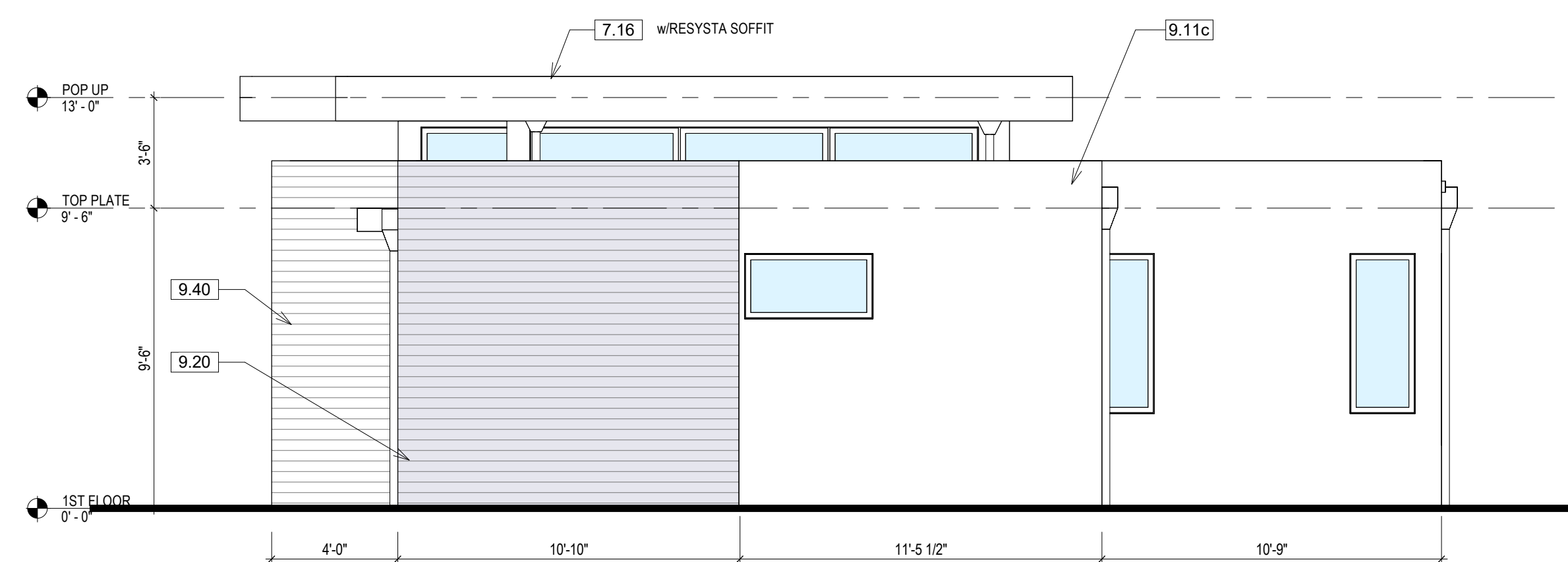
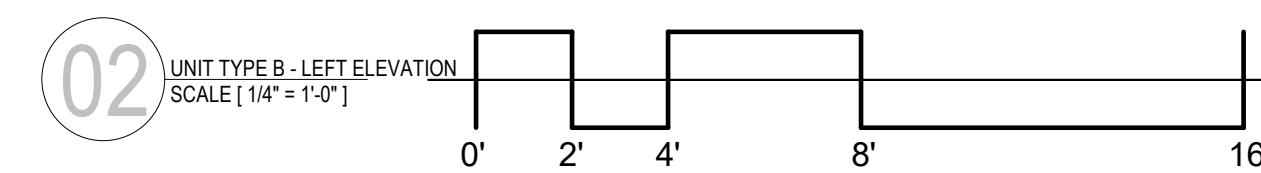
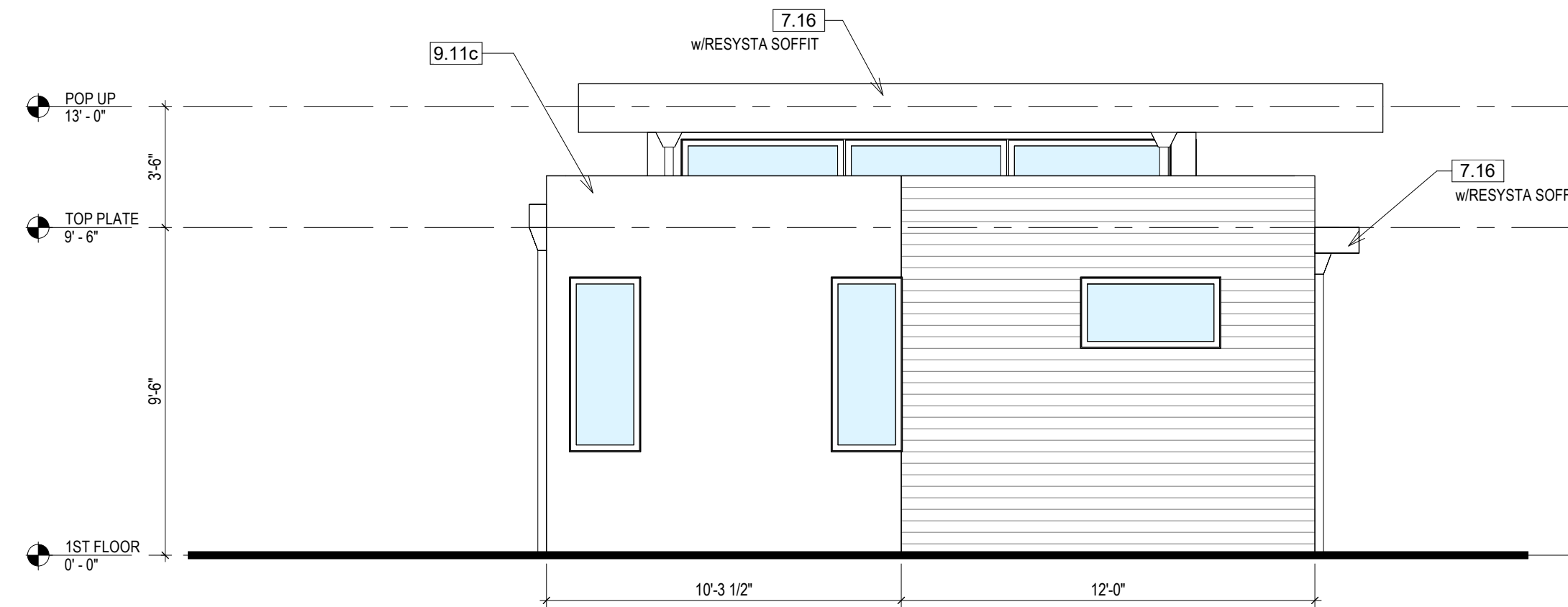
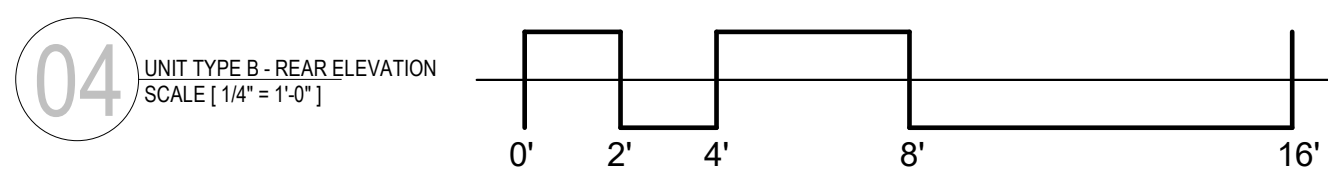
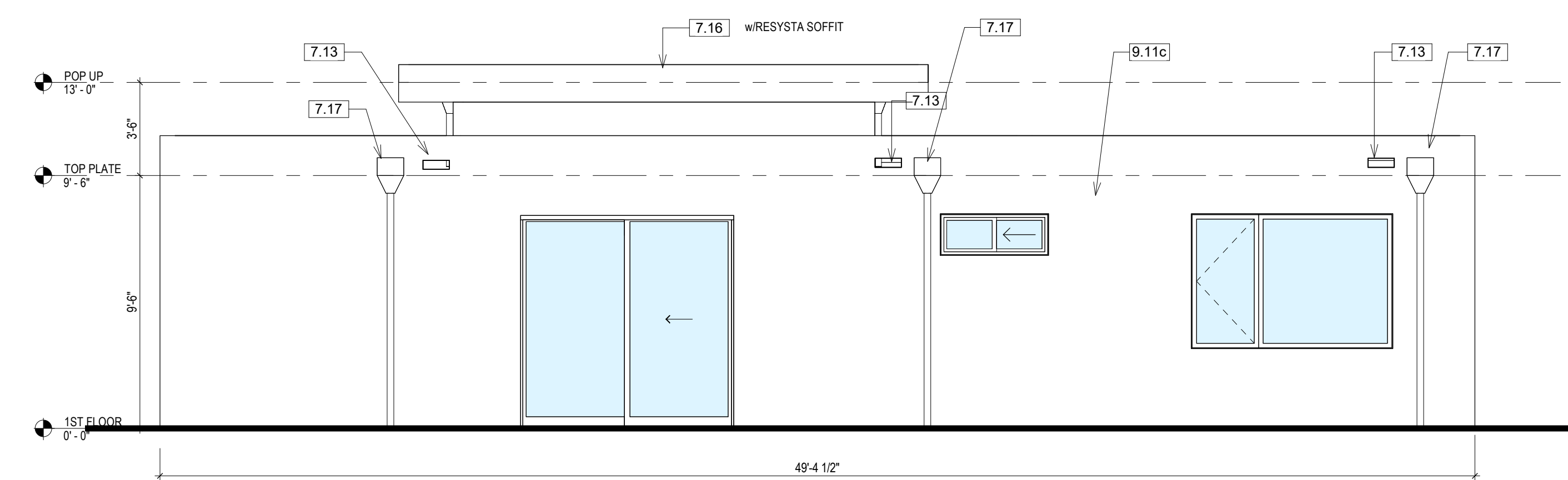
SCALE [AS NOTED]

ELEVATIONS

A 201

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TYPE B - OPTION 1



TYPE B - OPTION 2

KEYNOTES	
Key Value	Keynote Text
4.2	MASONRY VENEER
7.13	OVERFLOW SCUPPER
7.15	RESISTY OR EQUAL
7.16	METAL TRIM COLOR PER ARCHITECT
7.17	RAIN DOWNSPUT WITH 3" DIA. ROUND 22 GAUGE DOWNSPUT, FABRICATE IN 10' LENGTHS, PTD
9.11c	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, WHITE COLOR TBD
9.20	1/2" HAMES HARDIE, 3/16" STANDARD LAP WITH 4" EXPOSURE, TEXTURE: SMOOTH, COLOR: TBD
9.40	FIBER CEMENT LAP SIDING, COLOR PER ARCHITECT

GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

SHEET NOTES

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OCEANSIDE

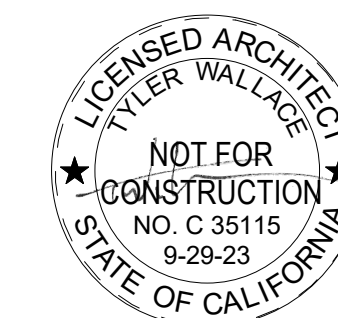
3710 Vista Way, Oceanside, CA
JOB NO.
1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v:619.930.5445

Civil Engineer
tbd

PROJECT PHASE

SCALE [AS NOTED]

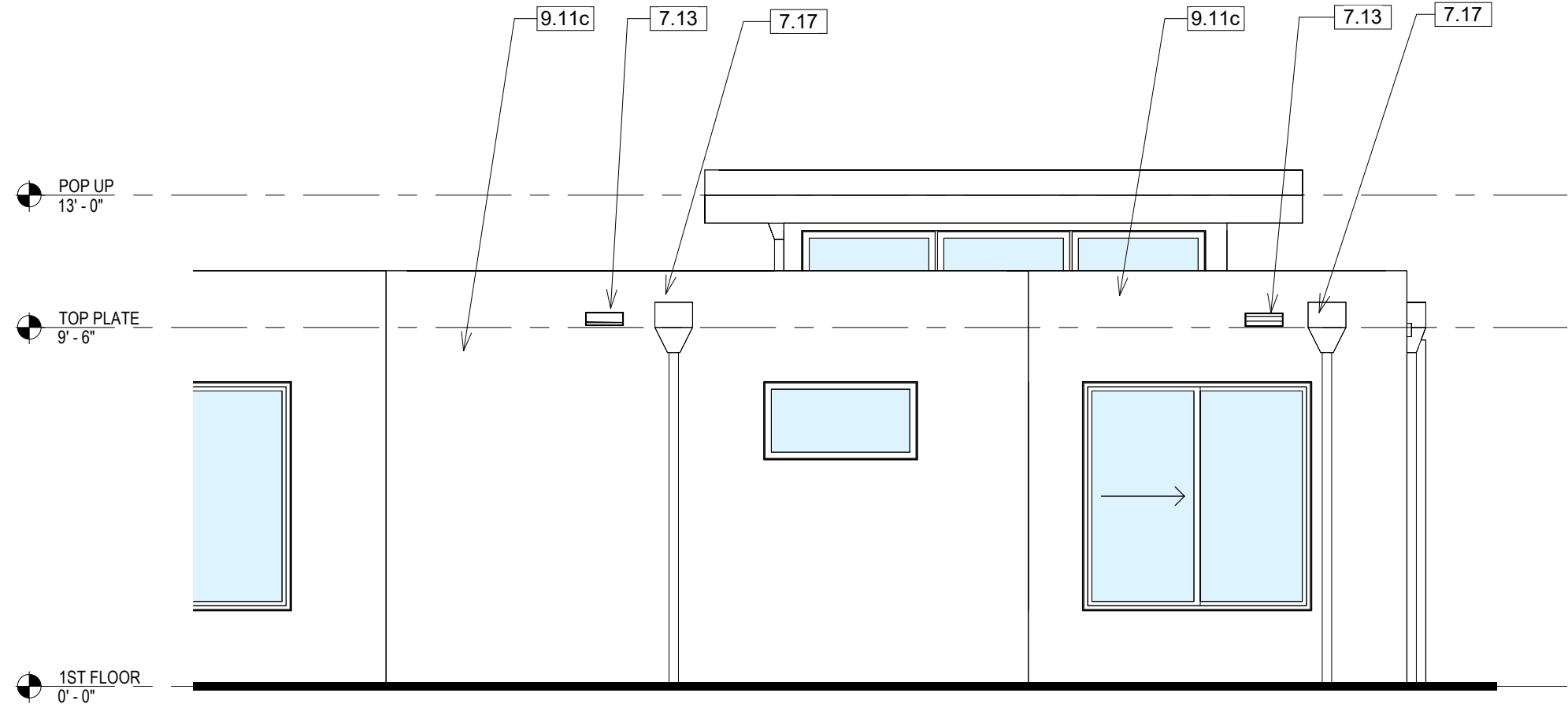
ELEVATIONS

A 202

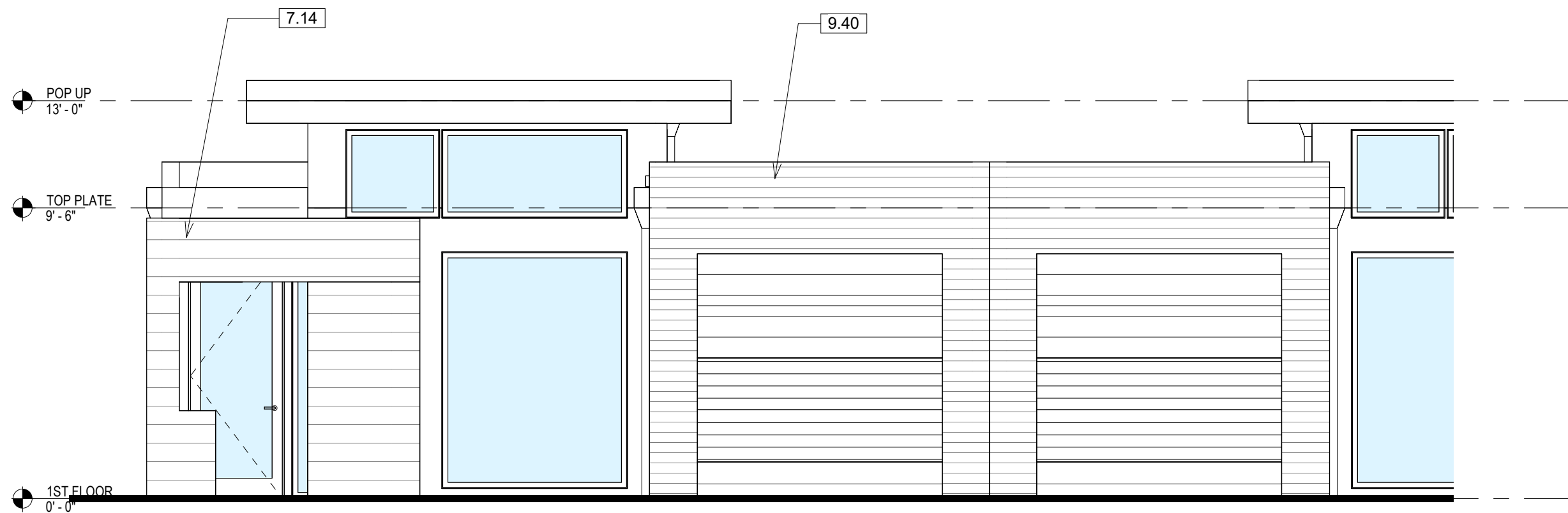
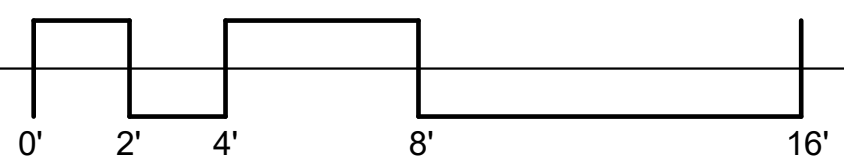
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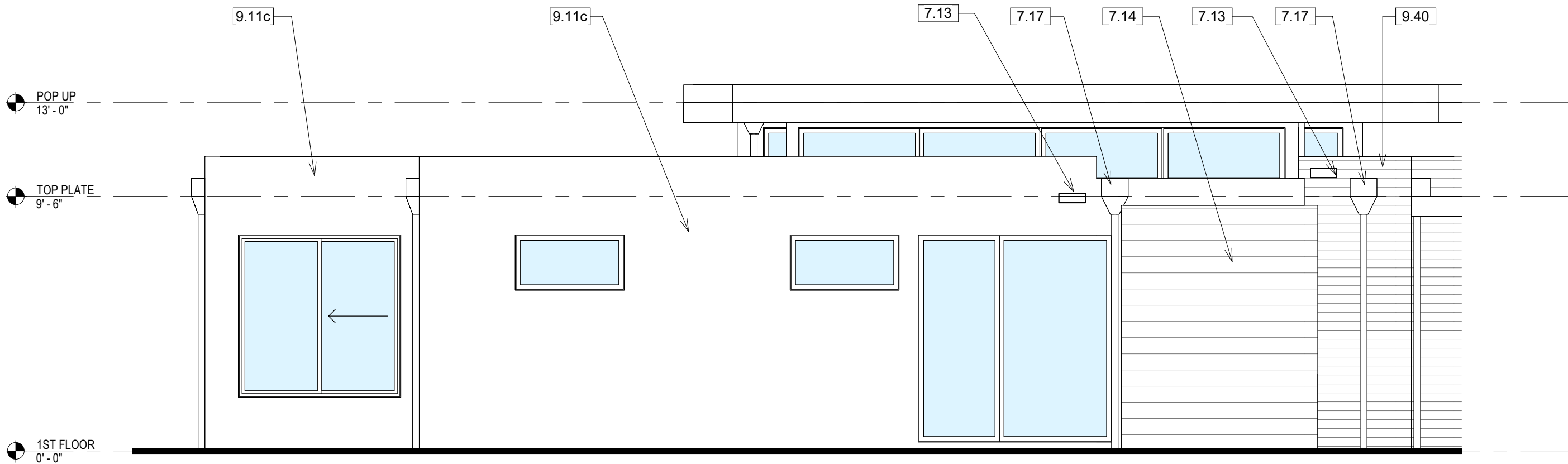
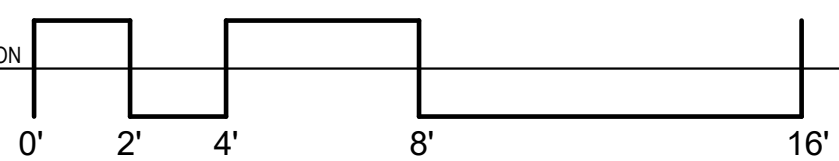
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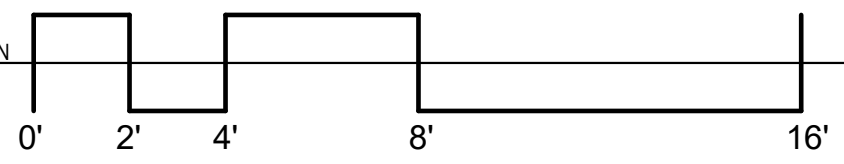
04 UNIT 13 - REAR ELEVATION
SCALE [1/4" = 1'-0"]



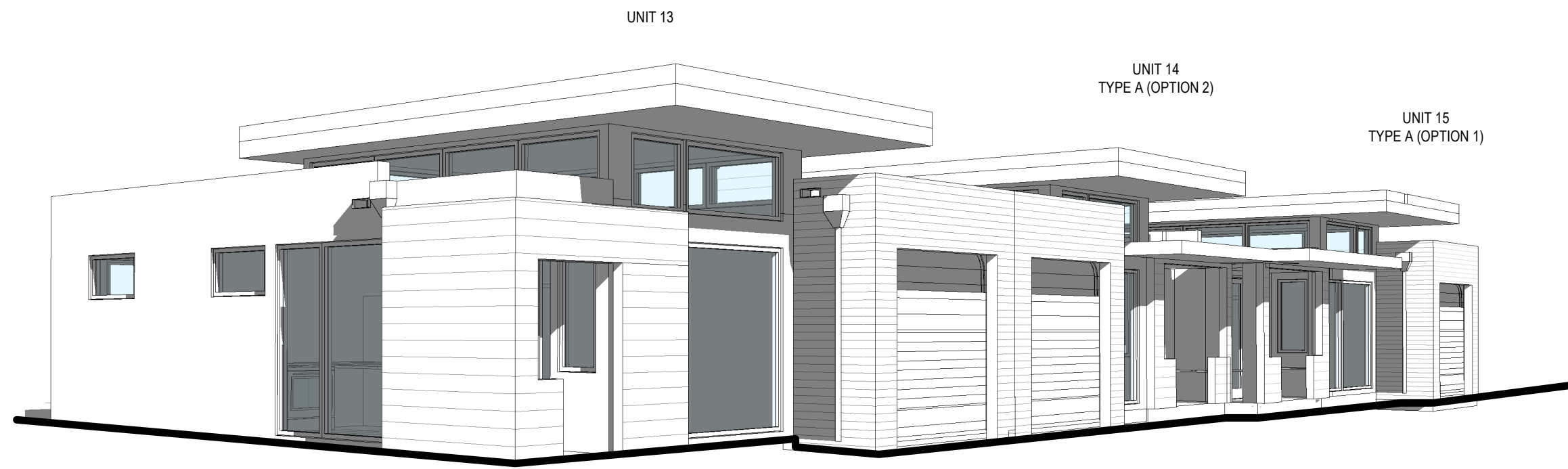
02 UNIT 13 - FRONT ELEVATION
SCALE [1/4" = 1'-0"]



03 UNIT 13 - LEFT ELEVATION
SCALE [1/4" = 1'-0"]



01 UNIT 13
SCALE [1]



GENERAL NOTES:

OCEANSIDE

3710 Vista Way, Oceanside, CA
JSP NO:
1505

APN:
PTS:

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Civil Engineer:
tbd



PROJECT PHASE

SCALE [AS NOTED]

ELEVATIONS

A 203

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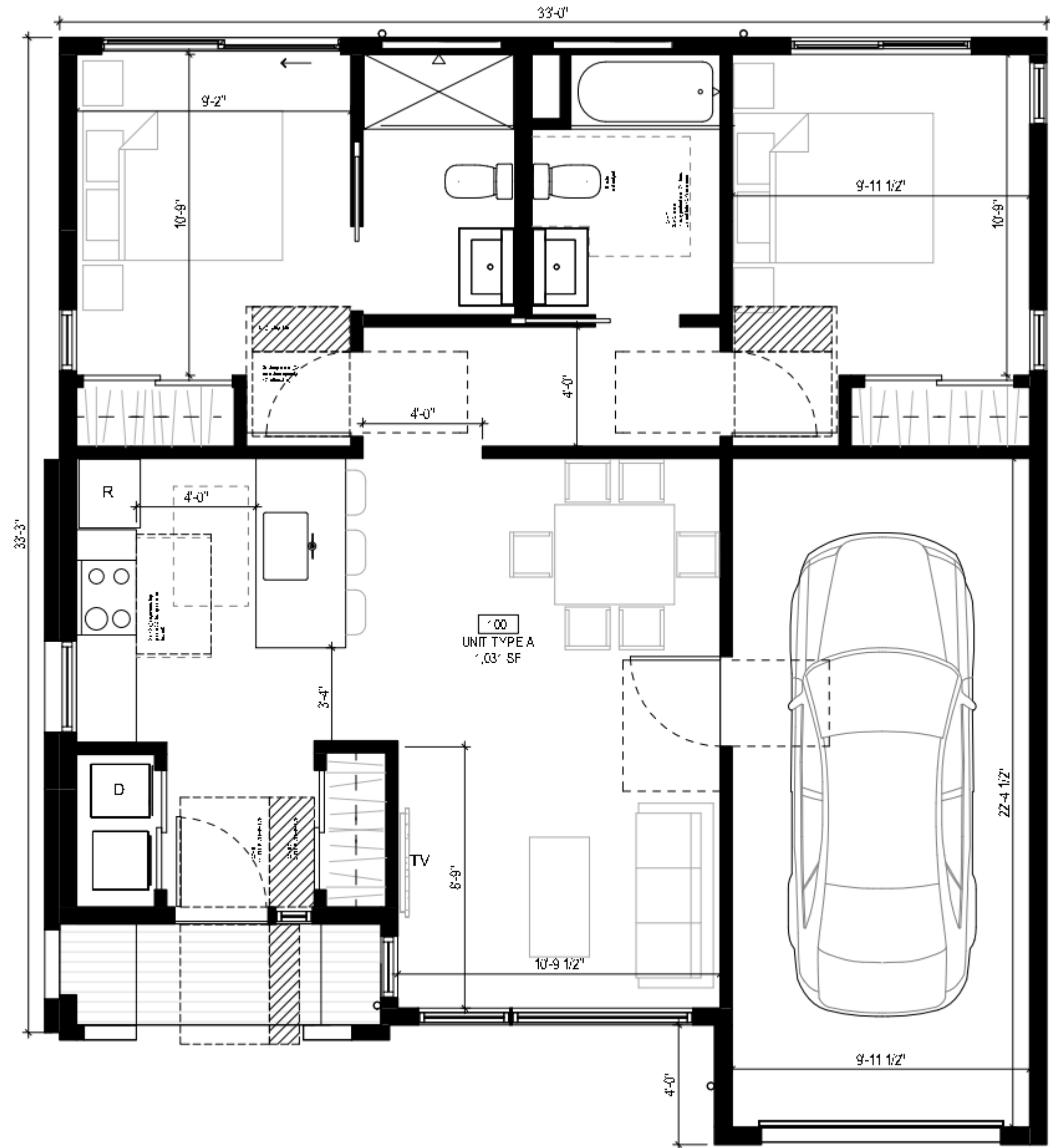
3

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SKA_001 // OCEANSIDE

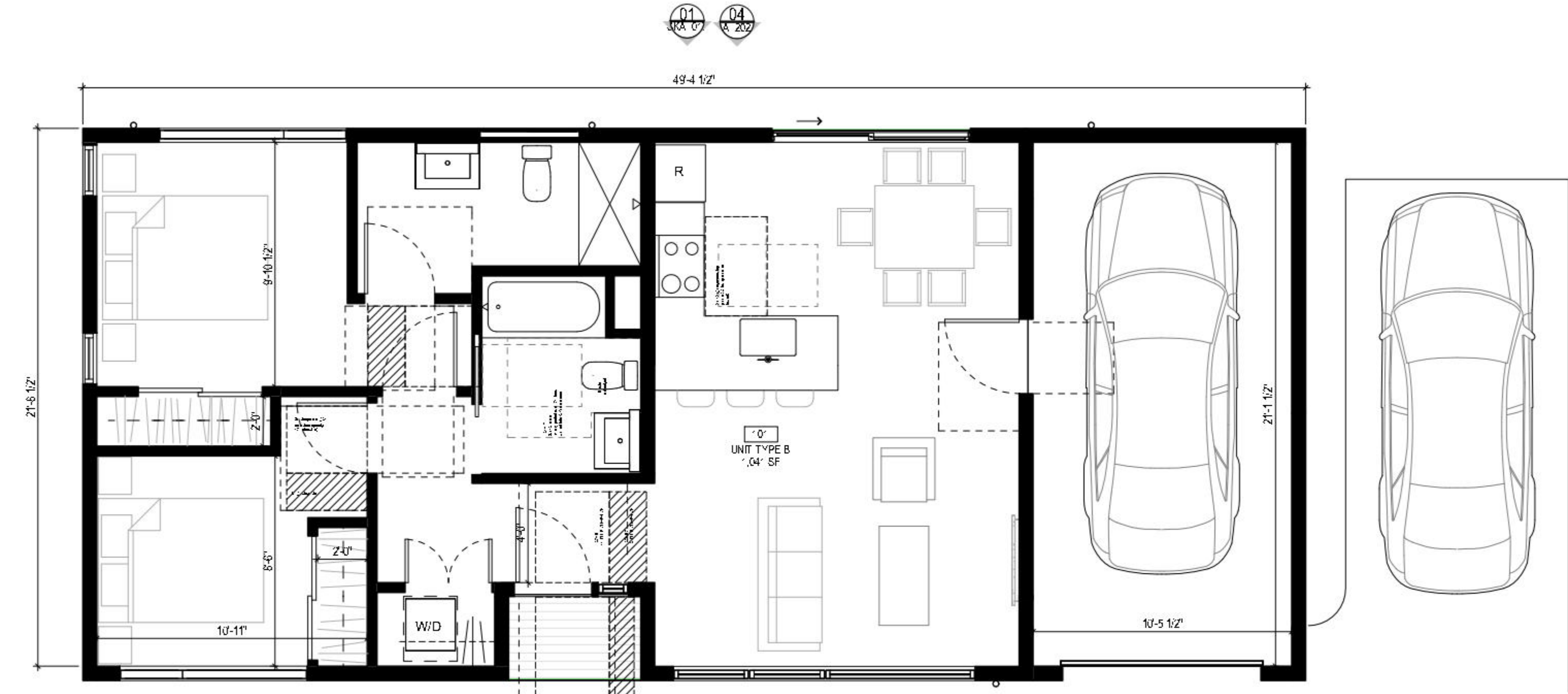
TFWA
ARCHITECTURE + DESIGN
5022 Santa Monica Avenue
San Diego, CA 92107
v. 6/9/455.0667



01 UNIT TYPE A
SCALE: 1/4" = 1'-0"

UNIT TYPE A PLAN

SCALE: AS NOTED
DATE: 2/22/20



01 UNIT TYPE B
SCALE: 1/4" = 1'-0"

UNIT TYPE B PLAN

SCALE: AS NOTED
DATE: 2/22/20

SKA_002 // OCEANSIDE

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5022 Santa Monica Avenue
San Diego, CA 92107
v. 6/9/455.0667

KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

GENERAL NOTES:

- CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
- REFER TO PROJECT SPECIFICATIONS (INCLUDING SPECIFICATIONS SHEET) FOR ADDITIONAL INFORMATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
- OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
- EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. INTERIOR WALLS ARE DIMENSIONED TO FACE OF FINISH.
- ENSURE THAT CONTRACTOR-INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
- PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
- CONTRACTOR TO BE RESPONSIBLE FOR QUANTITIES & COUNTS AND TO BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR SCOPE.

OCEANSIDE

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APN:
PTS:

Architect:
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ARCHITECTURE
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v. 6/9/455.0667



Owner:
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123 Street
San Diego, CA 92103
v. 6/19/30.5445

Civil Engineer:
tbd



PROJECT PHASE

SCALE: AS NOTED

GARAGES WITH DIMENSIONS