

VISTA WAY HOMES

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (DB21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
 - PARKING SPACES PER UNIT=2.33

- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF. COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF. EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- RENEWABLE ENERGY: SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

	SITE AREA IN AC	SITE DENSITY DU/AC	GENERAL PLAN	ZONING	LANDSCAPING
EXISTING	1.97	0	RESIDENTIAL	RM-A	VACANT
PROPOSED	1.97	9.14	RESIDENTIAL SINGLE-FAMILY	RM-A	40%

UNIT #	BUILD. AREA IN SF	SETBACKS	AFFORDABLE HOUSING
1, 14-18	1,069	REAR 15'	UNITS 16, 17 & 18 ARE PROPOSED TO BE AFFORDABLE HOUSING. THE AFFORDABLE HOUSING UNITS FOR THIS SITE.
2-12	1,089	SIDE 15'	3/18=16.7 OF THE PROPOSED DWELLINGS FOR THIS SITE WILL BE AFFORDABLE HOUSING.
13	1,114	FRONT 20'	
18 UNITS TOTAL			

LOT COVERAGE:

MAXIMUM ALLOWABLE LOT COVERAGE=50%
PROPOSED LOT COVERAGE=23%

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST 2022

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (858) 401-9090
E-MAIL: rezashera@gmail.com

BY: REZA SHERA

ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 08/31/2022

SHEET 1 OF 8

PARKING SCHEDULE

UNIT NO.	GARAGE	DETACHED
1	2	1
2	4	3
3	6	5
4	7	8
5	9	10
6	11	40
7	12	13
8	14	15
9	16	17
10	18	19
11	20	21
12	22	23
13	25	24
14	26	39
15	27	28
16	29	32
17	30	33
18	31	34
UNASSIGNED PARKING SPACES 35-38		

EXISTING EASEMENTS NOTES

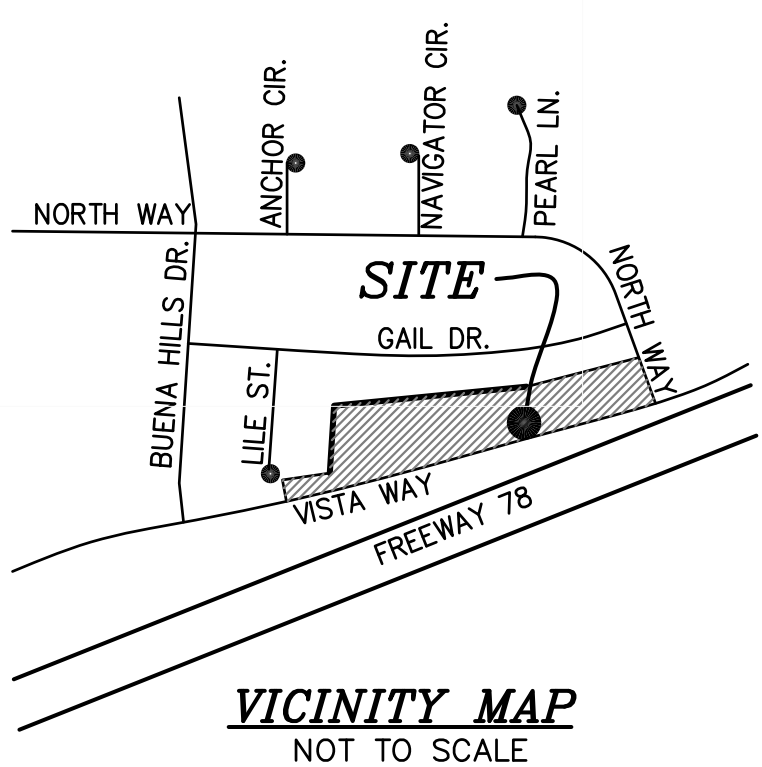
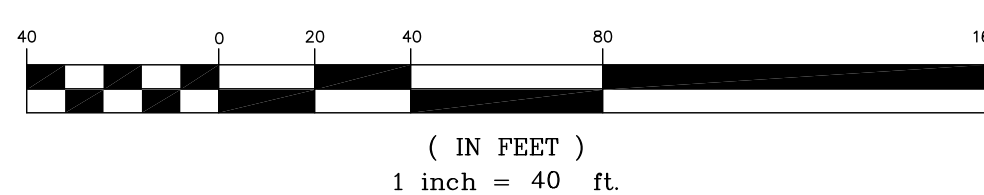
SEE SHEET NO. 2 FOR LOCATIONS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY FIRST NATIONAL TITLE, ORDER NO. 00147440-996- AND SD1-CF2 DATED FEBRUARY 25, 20212 EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

SHEET INDEX

TENTATIVE PARCEL MAP SHEET 1
SITE TOPO & EX. EASEMENTS SHEET 2
FIRE ACCESS PLAN, ADA ACCES. SHEET 3
& TYPICAL STREET SECTIONS
EXHIBITS FOR PROPOSED BUILDING SETBACKS... SHEET 4-5
TRASH ENCLOSURE AND PARKING LOT DETAILS. SHEET 6
RETAINING WALL PLANS..... SHEET 7-8



GRAPHIC SCALE



PURSUANT TO THE BONAS DENSITY REPORT, THE PROJECT IS REQUESTING WAIVERS FOR THE FOLLOWING DEVELOPMENT STANDARDS:

- SECTION 1050(AA), A USABLE REAR YARD WITH NO SLOPES GREATER THAN 5% SHALL BE PROVIDED IMMEDIATELY ADJACENT TO THE REAR OF THE STRUCTURE. THE DEPTH OF THE USABLE REAR YARD AREA SHALL EQUAL THE MINIMUM REAR YARD SETBACK REQUIREMENT OF THE UNDERLYING ZONING DISTRICT, WHICH IS RM-A ZONING DISTRICT IS 15'.
- PURSUANT TO SECTION 1050(O), THE PROJECT MUST COMPLY WITH THE USABLE OPEN SPACE REQUIREMENTS (BOTH PRIVATE AND COMMON). THE BASIC REQUIREMENT IS 300 SF PER UNIT, 505 OF WHICH HAS TO BE IN THE FORM OF USABLE COMMON OPEN SPACE.
- PURSUANT TO SECTION 1050(X), THE MINIMUM FRONT-YARD SETBACK FROM IS 15' TO THE MAIN STRUCTURE AND 20' TO GARAGE.
- PURSUANT TO SECTION 1050 SETBACKS WHICH ARE: FRONT:20', SIDE: 5/10, CORNER: 10' AND REAR15'.
- PURSUANT TO SECTION 1050(T) WITH RESPECT TO TO FRONT-YARD AND SIDE-YARD LANDSCAPING REQUIREMENTS.
- PURSUANT TO SECTION 1050(DD) WITH RESPECT TO 20' GARAGE SETBACK.
- PURSUANT TO SECTION 1050(U) FENCES AND WALLS, MAXIMUM HEIGHT SHALL BE 6' EXCEPT IN FRONT YARD ABUTTING A STREET SHALL BE 42" AND ALL WALLS SHALL BE PLANTED AND IRRIGATED.
- PURSUANT TO ARTICLE 31, 2-CAR GARAGES ARE REQUIRED.
- PURSUANT TO PRIVAT ROAD STANDARDS, 100' MINIMUM VERTICAL CRVES AND 100' MINIMUM HORIZONTAL CURVES ARE REQUIRED.

SEE BONAS DESITY REPORT FOR DETAILS OF REQUESTED WAIVERS.

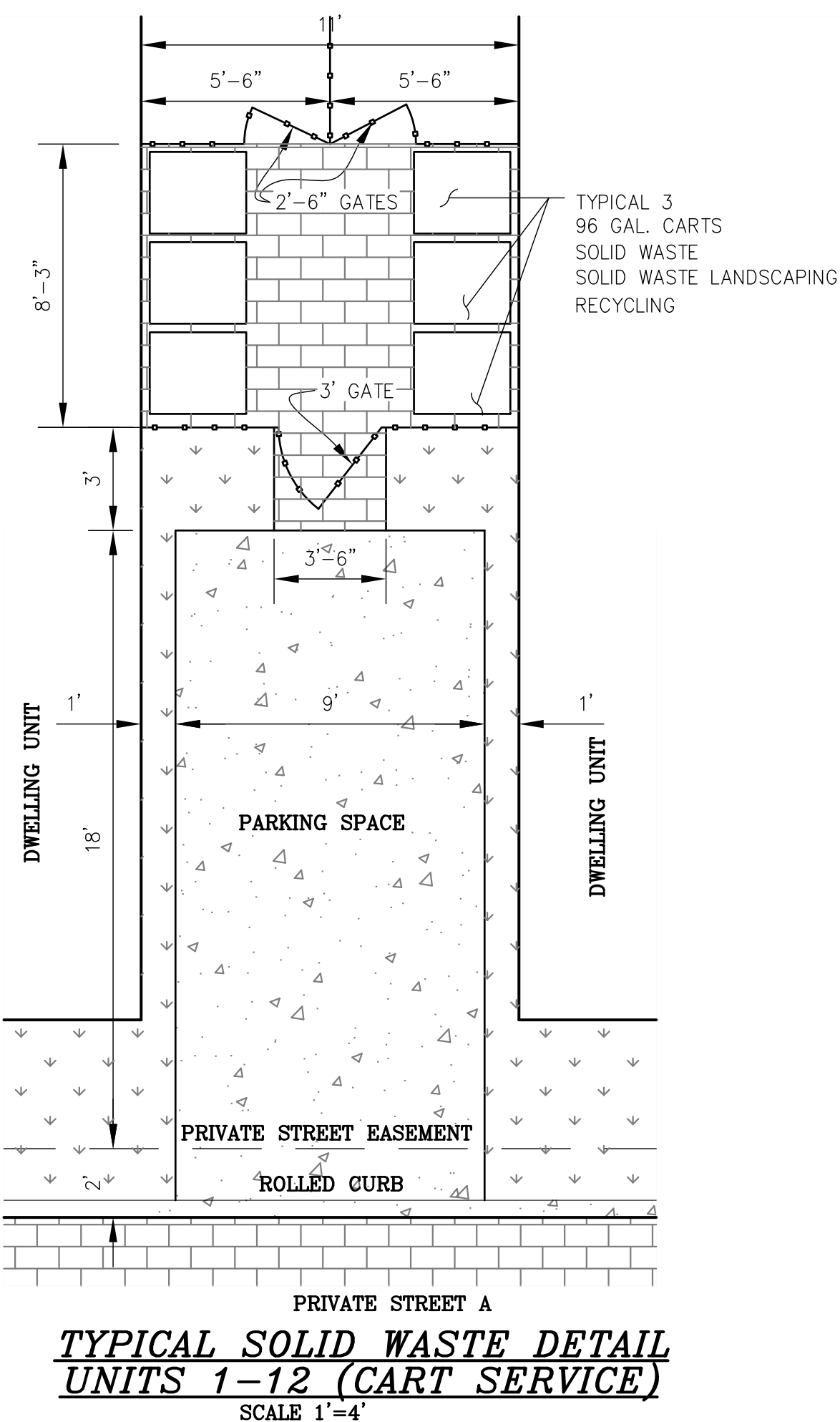
TRANSPORTATION NOTES:

- PAINTED MEDIA FROM BUENA HILLS DRIVE TO NORTH WAY YELLOW STRIPING.
- VEHICLE WILL ONLY BE PERMITTED TO TURN RIGHT WHEN EXITING THE COMMUNITY. PROJECT TO INSTALL A RIGHT TURN PORK CHOP (RIGHT TURN SLIP LANE) FOR DRIVEWAY EXIT. ADA COMPLIANCE IS REQUIRED.

LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER PER DETAIL ON SHEET NO. 10	---
TRENCH RESURFACING M_3A	---
PROPOSED WATER STORAGE SEE SWOMP FOR DETAILS	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25A	---
(PVT.) PROPRIETARY TREATMENT UNIT	---
(PVT.)MODIFIED TYPE A-4 CLEANOUT W/SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX	---
(PVT.) 2424 BROOKS BOX W/	---
AREA DRAIN	---



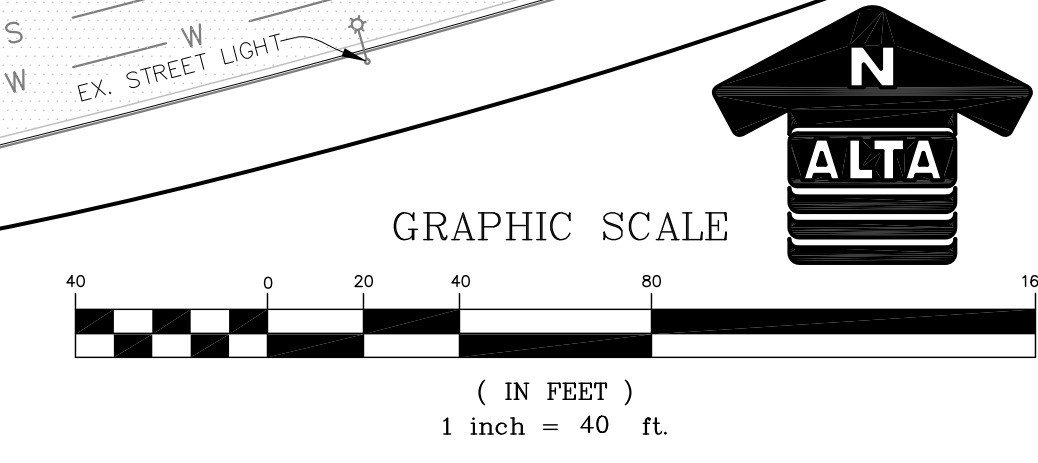
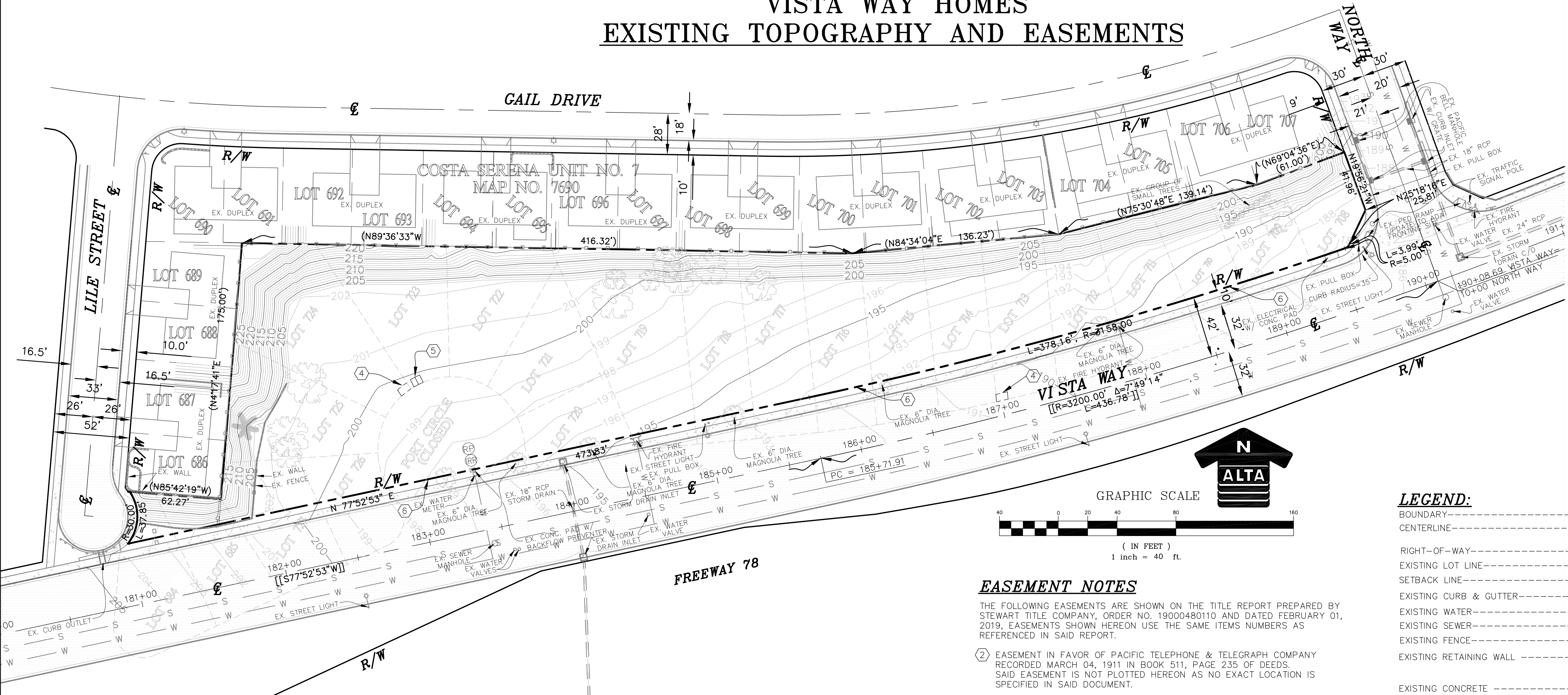
PRIVATE STREET A
**TYPICAL SOLID WASTE DETAIL
UNITS 1-12 (CART SERVICE)**
SCALE 1"=4'

VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS

General Notes

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- PROPOSED GROSS SUBDIVISION AEREA: 1.97 AC
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EASEMENT NOTES

- THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 19000480110 AND DATED FEBRUARY 01, 2019, EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.
- EASEMENT IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH COMPANY RECORDED MARCH 04, 1911 IN BOOK 511, PAGE 235 OF DEEDS. SAID EASEMENT IS NOT PLOTTED HEREON AS NO EXACT LOCATION IS SPECIFIED IN SAID DOCUMENT.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED AUGUST 14, 1973 AS DOCUMENT NO. 73-226902 OF OFFICIAL RECORDS.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED DECEMBER 10, 1976 AS DOCUMENT NO. 76-414701 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR PUBLIC STREET AND HIGHWAY IN FAVOR OF THE CITY OCEANSIDE PER DOCUMENT RECORDED FEBRUARY 26, 2002 AS DOCUMENT NO. 2002-0159406 OF OFFICIAL RECORDS. THE NORTH LINE OF SAID DOCUMENT IS THE SOUTH LINE OF THIS PROJECT SITE.

LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE-----
- EXISTING ELEVATION-----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----

ENGINEER OF WORK

Bartolome J. Pastor, RCE 38606
DATED: AUGUST 31, 2022



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 105, Escondido, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 499-01, DATE AUGUST 31, 2022

General Notes

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- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 18
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=20
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VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
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- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC

FIRE NOTES:

- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- FIRE ACCESS ROADWAYS SHALL BE A MINIMUM 28' WIDE WITH NO PARKING SIGNS POSTED ON EITHER SIDE OF THE STREET.
- TURNING RADIUS SHALE BE 30' INSIDE AND 50' OUTSIDE.
- ADDRESSES SHALL BE 4" IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- KNOX KEY SWITCH AND OPTICOM REQUIRED FOR SITE ACCESS GATES.
- HYDRANTS MUST BE WITH 400' OF WTERIOR WALLS OF THE STRUCTURE. HYDRANTS ARE PRIVATE ON A LOOPED PUBLIC WATER MAIN.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT.
- FIRE MASTER PLAN IS REQUIRED AS PART OF FINAL DESIGN.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF OF COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (78,000 LBS) MUST BE INSTALLED. IN ADDITION THE APPROVED, PERMANENT WATER SUPPLY (FIRE HYDRANTS MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BEING DROPPED ON SITE.
- THE CITY OF OCEANSIDE IS IN THE PROCESS OF IMPLEMENTING A CITYWIDE CFD IT IS EXPECTED THAT THIS PROJECT WILL BE REQUIRED TO ANNEX INTO THE CFD S A CONDITON OF APPROVAL.

ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: AUGUST 2021



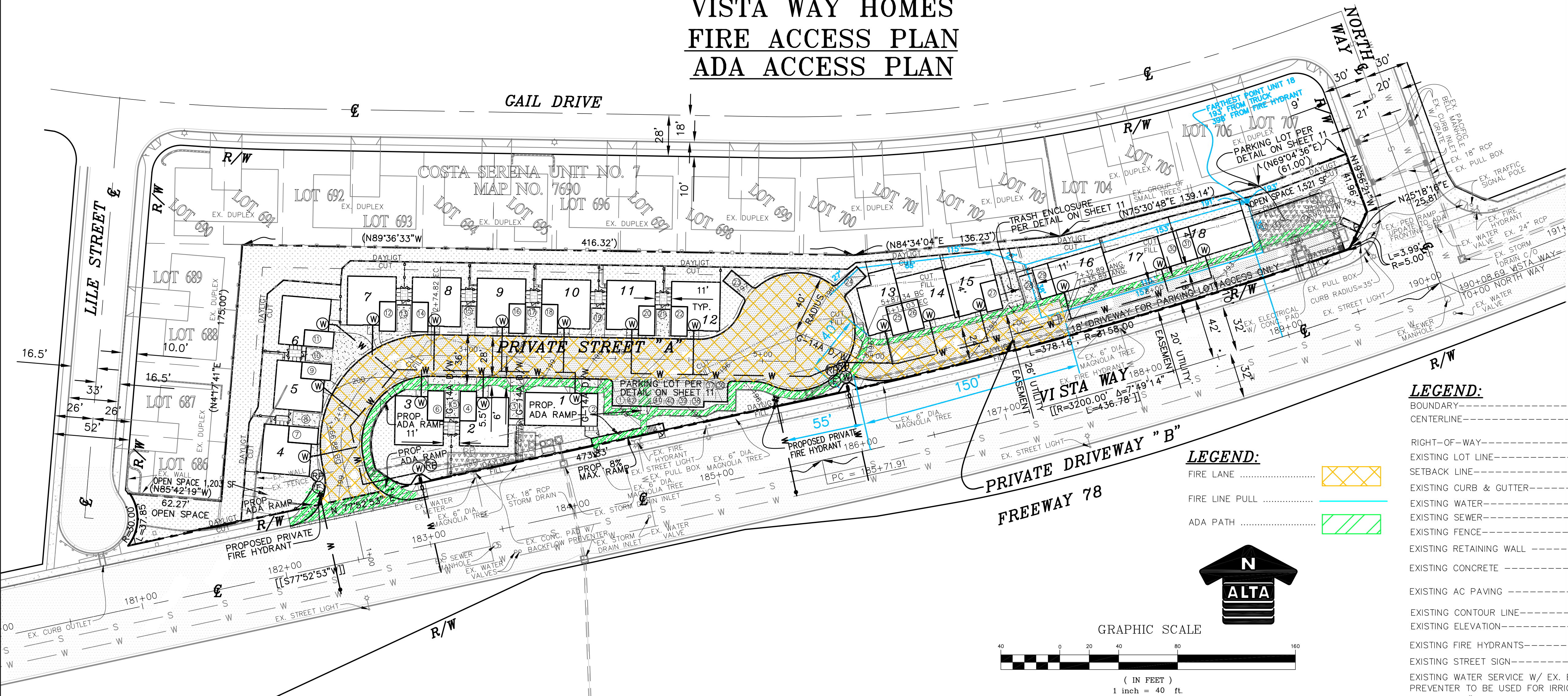
ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 105, Escondido, CA 92026 (619) 749-8818 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 21, 2022

Date: 08/31/2022

SHEET 3 OF 8

VISTA WAY HOMES FIRE ACCESS PLAN ADA ACCESS PLAN



LEGEND:

- FIRE LANE
- FIRE LINE PULL
- ADA PATH



GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

WATER AND SEWER NOTES:

- THE WATER AND SEWER FOR THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY THE HOA.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH UNIT MAINTAINED AND BILLED BY THE HOA.
- (2) TWO 2" WATER METERS & SERVICES ARE PROPOSED FOR THIS PROJECT AND BILLED TO THE HOA. UNITS 1-10 TO BE SERVICED THE WESTERLY WATER METER, UNITS 11-18 TO BE SERVICED BY THE EASTERLY WATER METER.
- (2) TWO 8" SEWER SERVICES ARE PROPOSED FOR THIS PROJECT UNITS 1-10 TO BE SERVICED BY THE WESTERLY SEWER SERVICE UNITS 11-18 TO BE SERVICED BY THE EASTERLY SEWER SERVICE.
- EACH UNIT WILL HAVE A 4" SEWER LATERAL WITH CLEANOUT THAT CONNECTS TO THE 6" SEWER SERVICE.

LEGEND:

- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EXISTING LOT LINE
- SETBACK LINE
- EXISTING CURB & GUTTER
- EXISTING WATER
- EXISTING SEWER
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING CONCRETE
- EXISTING AC PAVING
- EXISTING CONTOUR LINE
- EXISTING ELEVATION
- EXISTING FIRE HYDRANTS
- EXISTING STREET SIGN
- EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION
- PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER
- PROPOSED 6" FIRE SERVICE W/ BACKFLOW PREVENTER FOR PVT. FIRE HYDRANT
- PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA
- PROPOSED PRIVATE 4"SEWER LATERAL
- 6" SEWER LATERAL W/ SEWER MH
- PARKING SPACE NUMBER
- PROPOSED G-2 CURB & GUTTER
- PROPOSED G-1 GUTTER
- PROPOSED ROLLED CURB
- PROPOSED FENCE
- SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING
- PROPOSED CONCRETE
- PROPOSED AC PAVING
- PROPOSED PAVER PER DETAIL ON SHEET NO. 10
- TRENCH RESURFACING M_3A
- PROPOSED RETAINING WALL
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- 2:1 SLOPE
- DAYLIGHT LINE
- DIRECTION OF FLOW
- (PVT.) PROPOSED STORM DRAIN
- CURB OUTLET PER D-25A
- (PVT.) PROPRIETARY TREATMENT UNIT
- (PVT.) MODIFIED TYPE A CLEANOUT W/SUMP PUMP
- (PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE
- (PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS
- AREA DRAIN

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 - UNATTACHED STANDARD PARKING SPACES (18'x9')=20
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- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.

LEGEND:

BOUNDARY	---
CENTERLINE	℄
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
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EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
PROPOSED RETAINING WALL	---

ABBREVIATIONS

FRONT YARD	----
SIDE YARD	----
REAR YARD	----

ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: AUGUST 2021



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PLANNING ENGINEERING SURVEYING

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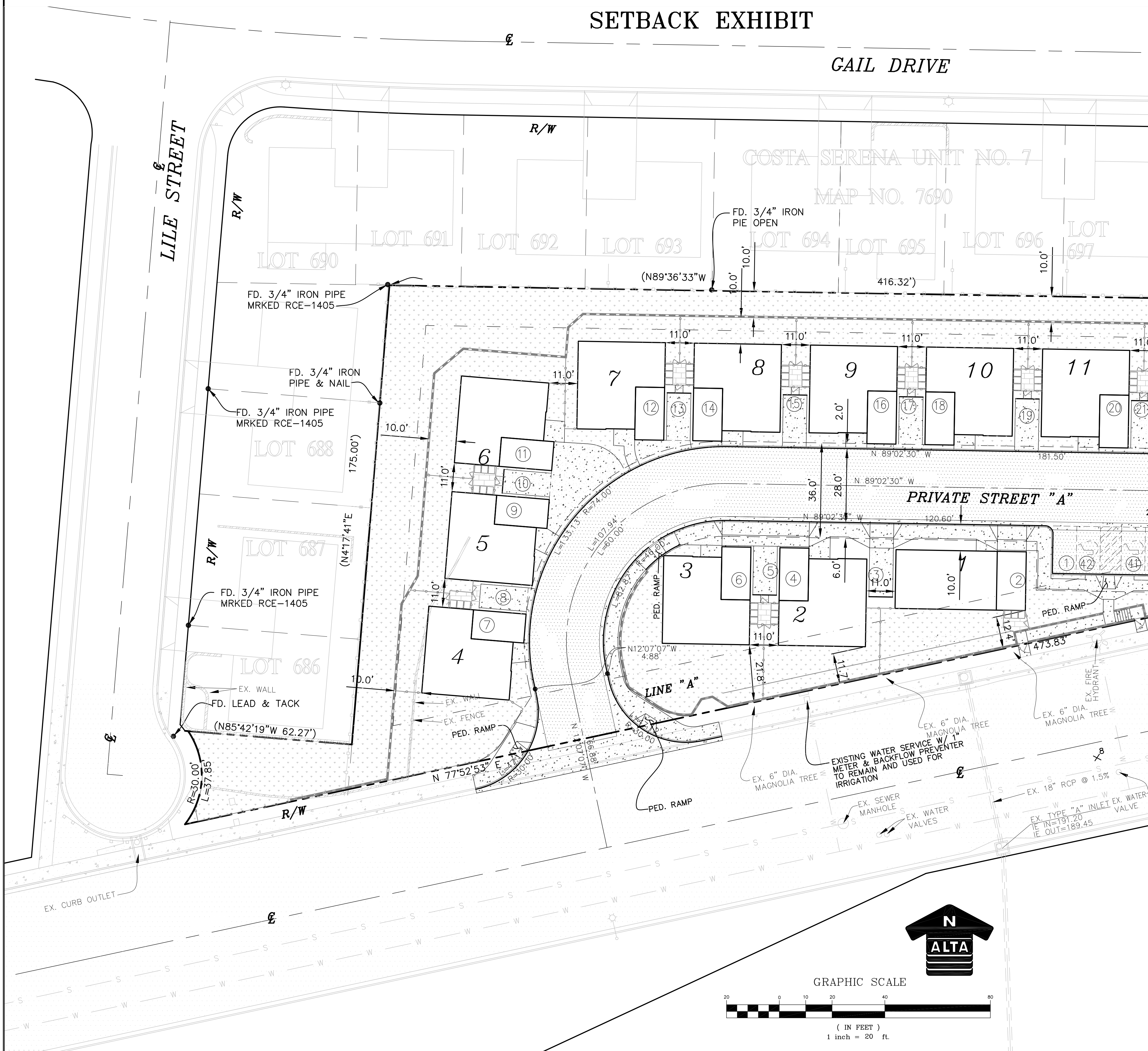
SHEET 4 OF 8

VISTA WAY HOMES
SETBACK EXHIBIT

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690



MATCH LINE SEE SHEET NO. 5

VISTA WAY HOMES
SETBACK EXHIBIT

SITE PLAN

General Notes

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6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
7 UNITS 1, 13-18 ARE 1,069 SF; 11 UNITS 2-12 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=20
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=42
PARKING SPACES PER UNIT=2.39
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-A
15. -
16. PROPOSED DENSITY: 18/1.97=9.14 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF
COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF
EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
19. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.

ENGINEER OF WORK

Bartolome J. Pastor, RCE 38606
DATED: AUGUST, 2021



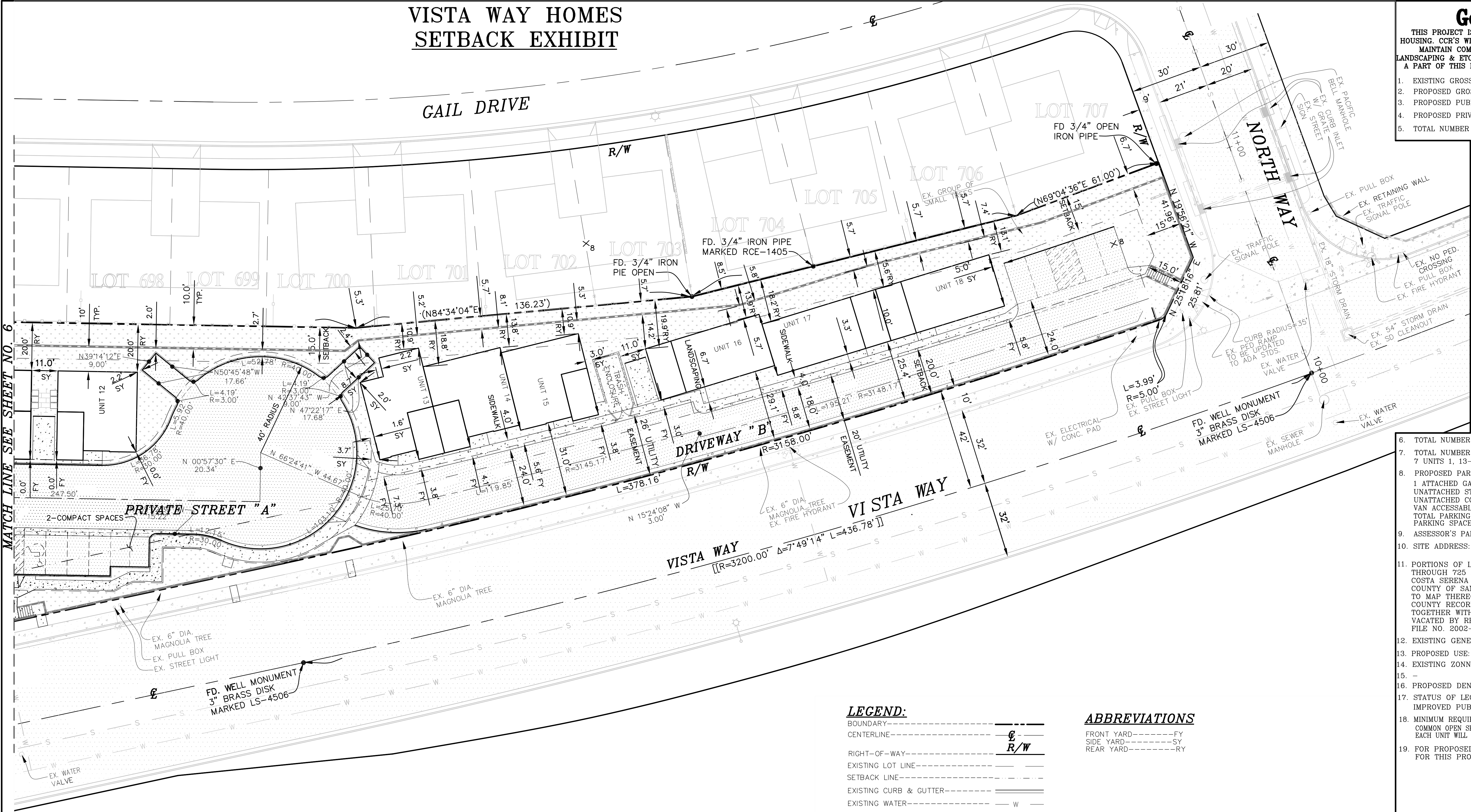
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 08/31/2022

SHEET 5 OF 8

MATCH LINE SEE SHEET NO. 6



LEGEND:

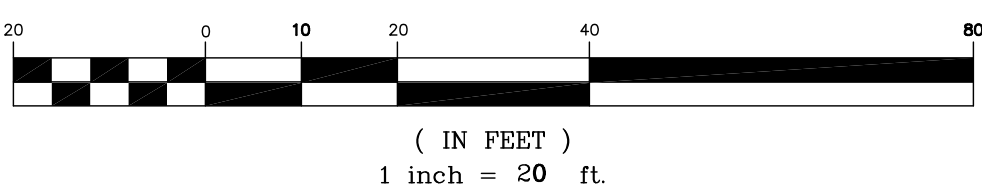
BOUNDARY-----	
CENTERLINE-----	
RIGHT-OF-WAY-----	
EXISTING LOT LINE-----	
SETBACK LINE-----	
EXISTING CURB & GUTTER-----	
EXISTING WATER-----	
EXISTING SEWER-----	
EXISTING FENCE-----	
EXISTING RETAINING WALL-----	
EXISTING CONCRETE-----	
EXISTING AC PAVING-----	
EXISTING CONTOUR LINE-----	
EXISTING ELEVATION-----	
EXISTING FIRE HYDRANTS-----	
EXISTING STREET SIGN-----	
PROPOSED G-2 CURB & GUTTER-----	
PROPOSED G-1 GUTTER-----	
PROPOSED ROLLED CURB-----	
PROPOSED FENCE-----	
SEE LANDSCAPE PLANS FOR DETAILS	
PROPOSED LANDSCAPING-----	
PROPOSED CONCRETE-----	
PROPOSED AC PAVING-----	
PROPOSED PAVER-----	
PER DETAIL ON SHEET NO. 10	
PROPOSED RETAINING WALL-----	

ABBREVIATIONS

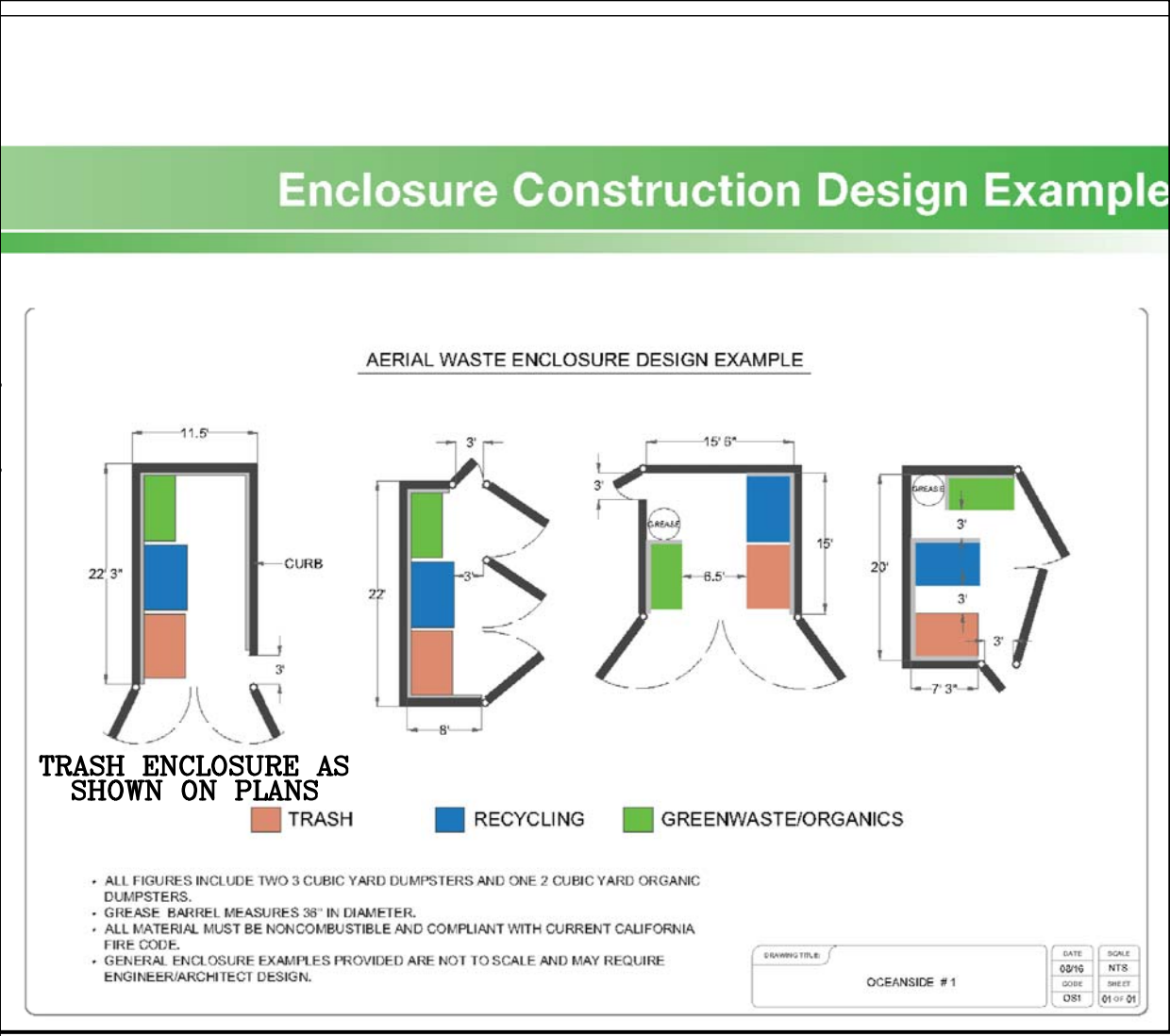
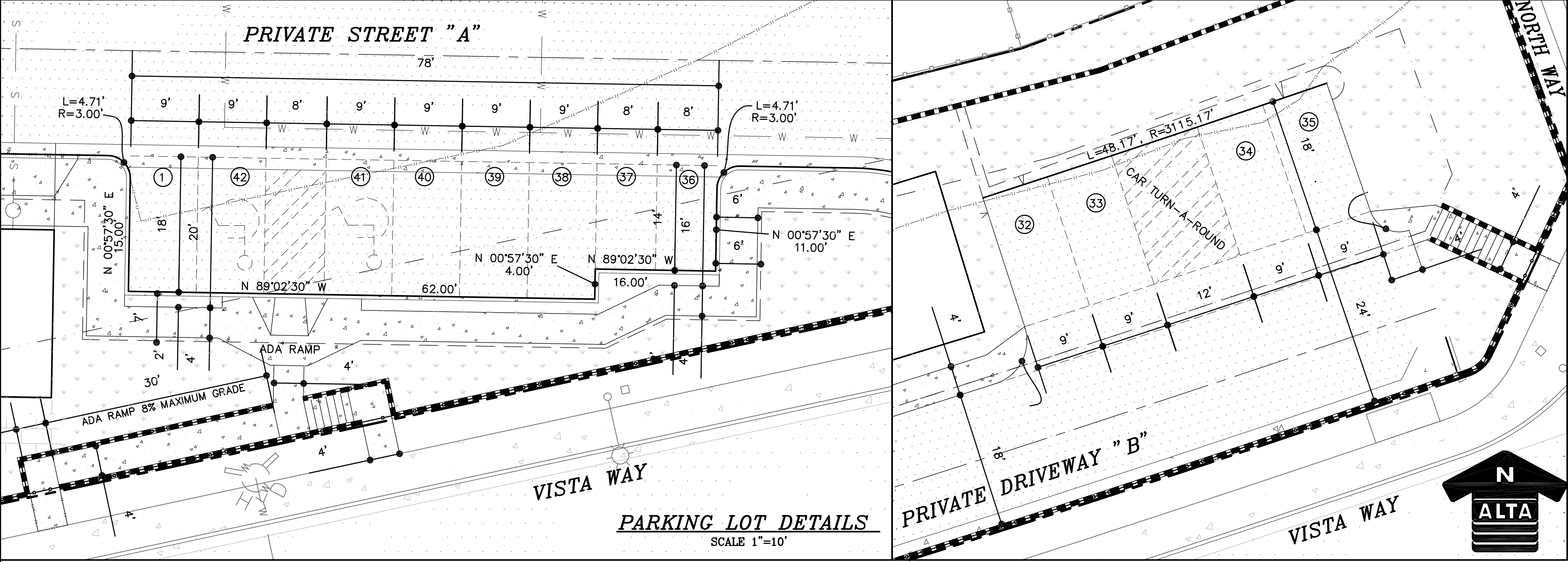
FRONT YARD-----FY
SIDE YARD-----SY
REAR YARD-----RY



GRAPHIC SCALE



VISTA WAY HOMES
DETAILS



General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 1
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
 - PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED SATNDARD PARKING SPACES (18'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSABLE HADICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
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 - ASSESSOR'S PARCEL NUMBER: 165-493-47
 - SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
 - PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

ENGINEER OF WORK

Bartolome J. Pastor
BARTOLOME J. PASTOR, RCE 38606
DATED: _____ AUGUST _____, 2022



T21-00002
D21-00005
DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
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JOB NO. 498-01, DATE AUGUST 31, 2022

VISTA WAY HOMES
RETAINING WALL EXHIBIT

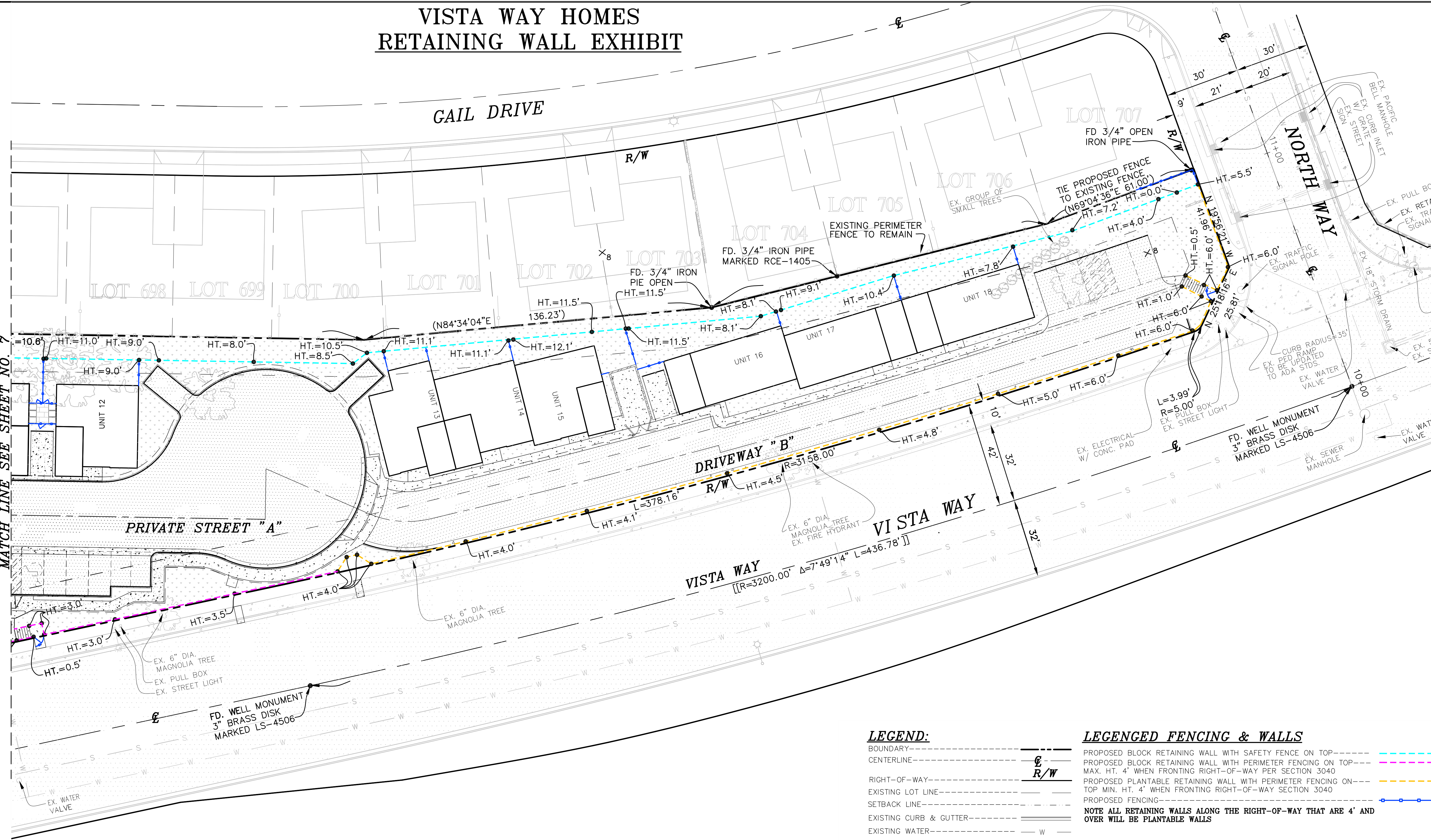
SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (021-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
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19. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.



LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
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PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---
PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 10	---
PROPOSED RETAINING WALL	---

LEGENDED FENCING & WALLS

PROPOSED BLOCK RETAINING WALL WITH SAFETY FENCE ON TOP
PROPOSED BLOCK RETAINING WALL WITH PERIMETER FENCING ON TOP
MAX. HT. 4' WHEN FRONTING RIGHT-OF-WAY PER SECTION 3040
PROPOSED PLANTABLE RETAINING WALL WITH PERIMETER FENCING ON TOP
MIN. HT. 4' WHEN FRONTING RIGHT-OF-WAY SECTION 3040
PROPOSED FENCING
NOTE ALL RETAINING WALLS ALONG THE RIGHT-OF-WAY THAT ARE 4' AND OVER WILL BE PLANTABLE WALLS

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: AUGUST, 2021

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