

VISTA WAY HOMES

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE (DB21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED PUBLIC STREET DEDICATION: 0 AC
 - PROPOSED PRIVATE STREET AREA: 0 AC
 - TOTAL NUMBER OF EXISTING LOTS: 1
 - TOTAL NUMBER OF PROPOSED LOTS: 1
 - TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
 - PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
 - PARKING SPACES PER UNIT=2.33

UNIT NO.	GARAGE	DETACHED
1	2	1
2	4	3
3	6	5
4	7	8
5	9	10
6	11	40
7	12	13
8	14	15
9	16	17
10	18	19
11	20	21
12	22	23
13	25	24
14	26	39
15	27	28
16	29	32
17	30	33
18	31	34
UNASSIGNED PARKING SPACES 35-38		

- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1024
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
- AREA/PERCENT OF SITE IN LANDSCAPING: 28,568 SF OR 33% AREA/PERCENT OF SITE IN PAVERS: 27,815 SF OR 32%
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 2/16/12
- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.
- RENEWABLE ENERGY: SECTION 3047 OF THE ZONING ORDINANCE WILL BE A CONDITIONED FOR THIS PROJECT

TRANSPORTATION NOTES:

- PAINTED MEDIA FROM BUENA HILLS DRIVE TO NORTH WAY YELLOW STRIPING.
- VEHICLE WILL ONLY BE PERMITTED TO TURN RIGHT WHEN EXITING THE COMMUNITY. PROJECT TO INSTALL A RIGHT TURN PORK CHOP (RIGHT TURN SLIP LANE) FOR DRIVEWAY EXIT. ADA COMPLIANCE IS REQUIRED.

	SITE AREA IN AC	SITE DENSITY DU/AC	GENERAL PLAN	ZONING	LANDSCAPING
EXISTING	1.97	0	RESIDENTIAL	RM-A	VACANT
PROPOSED	1.97	9.14	RESIDENTIAL SINGLE-FAMILY	RM-A	40%

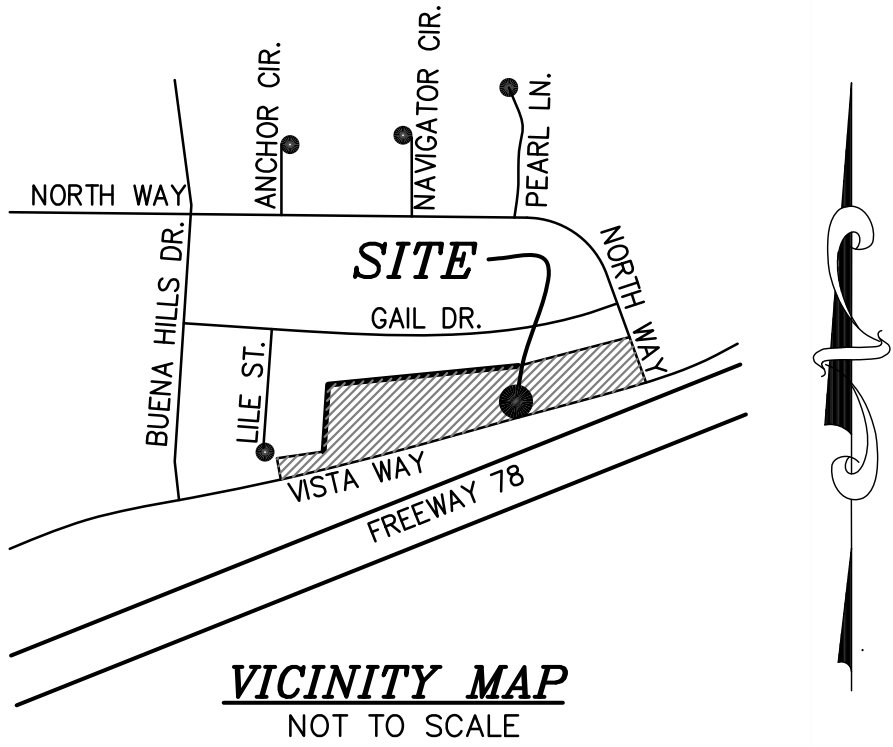
UNIT #	BUILD. AREA IN SF	SETBACKS
1, 14-18	1,069	REAR 15'
2-12	1,089	SIDE 15'
13	1,114	FRONT 20'
18 UNITS TOTAL		

AFFORDABLE HOUSING

UNITS 16, 17 & 18 ARE PROPOSED TO BE AFFORDABLE. THE AFFORDABLE HOUSING UNITS FOR THIS SITE. 3/18=16.7% OF THE PROPOSED DWELLINGS FOR THIS SITE WILL BE AFFORDABLE HOUSING.

LOT COVERAGE:

MAXIMUM ALLOWABLE LOT COVERAGE=50%
PROPOSED LOT COVERAGE=23%



EXISTING EASEMENTS NOTES

SEE SHEET NO. 2 FOR LOCATIONS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY FIRST NATIONAL TITLE, ORDER NO. 00147440-996- AND SD1-0F2 DATED FEBRUARY 25, 2021 EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

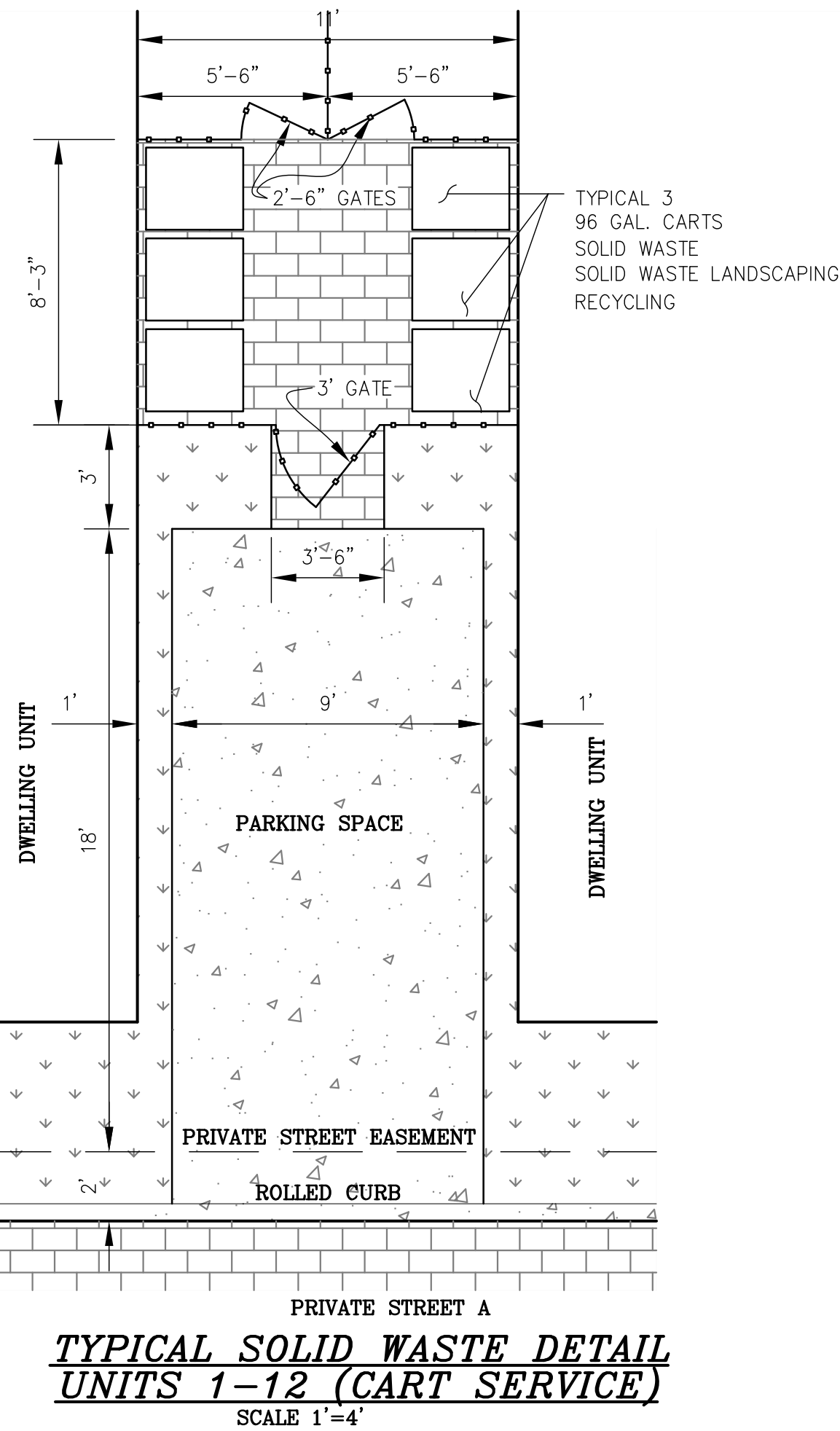
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LEGEND:

BOUNDARY-----	
CENTERLINE-----	
RIGHT-OF-WAY-----	
EXISTING LOT LINE-----	
SETBACK LINE-----	
EXISTING CURB & GUTTER-----	
EXISTING WATER-----	
EXISTING SEWER-----	
EXISTING FENCE-----	
EXISTING RETAINING WALL-----	
EXISTING CONCRETE-----	
EXISTING AC PAVING-----	
EXISTING CONTOUR LINE-----	
EXISTING ELEVATION-----	
EXISTING FIRE HYDRANTS-----	
EXISTING STREET SIGN-----	
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	
PROPOSED 2" WATER SERVICE-----	
W/ BACKFLOW PREVENTER	
PROPOSED 8" FIRE SERVICE-----	
FOR PVT. FIRE HYDRANT	
PROPOSED 1" WATER SERVICE W/-----	
PRIVATE WATER METER TO BE MAINTAINED BY HOA	
PROPOSED PRIVATE 4"SEWER LATERAL---	
8" PRIVATE SEWER MAIN W/ SEWER MH---	
PARKING SPACE NUMBER-----	
PROPOSED G-2 CURB & GUTTER-----	
PROPOSED G-1 GUTTER-----	
PROPOSED ROLLED CURB-----	
PROPOSED FENCE-----	
SEE LANDSCAPE PLANS FOR DETAILS	

PROPOSED LANDSCAPING-----	
PROPOSED CONCRETE-----	
PROPOSED AC PAVING-----	
PROPOSED PAVER-----	
TRENCH RESURFACING M_3A-----	
PROPOSED WATER STORAGE SEE SWOMP FOR DETAILS	
PROPOSED RETAINING WALL-----	
2:1 SLOPE-----	
DAYLIGHT LINE-----	
DIRECTION OF FLOW-----	
(PVT.) PROPOSED STORM DRAIN-----	
CURB OUTLET PER D-25A-----	
(PVT.) PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 10	
(PVT.)MODIFIED TYPE A-4 CLEANOUT-----	
W/SUMP PUMP	
(PVT.) 3636 OR 1818 BROOKS BOX-----	
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	
(PVT.) 2424 BROOKS BOX W/-----	
PARKWAY GRATE PER DETAILS ON SHEET 11	
AREA DRAIN PER DETAIL ON SHEET 10-----	



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: AUGUST, 2022

OWNER

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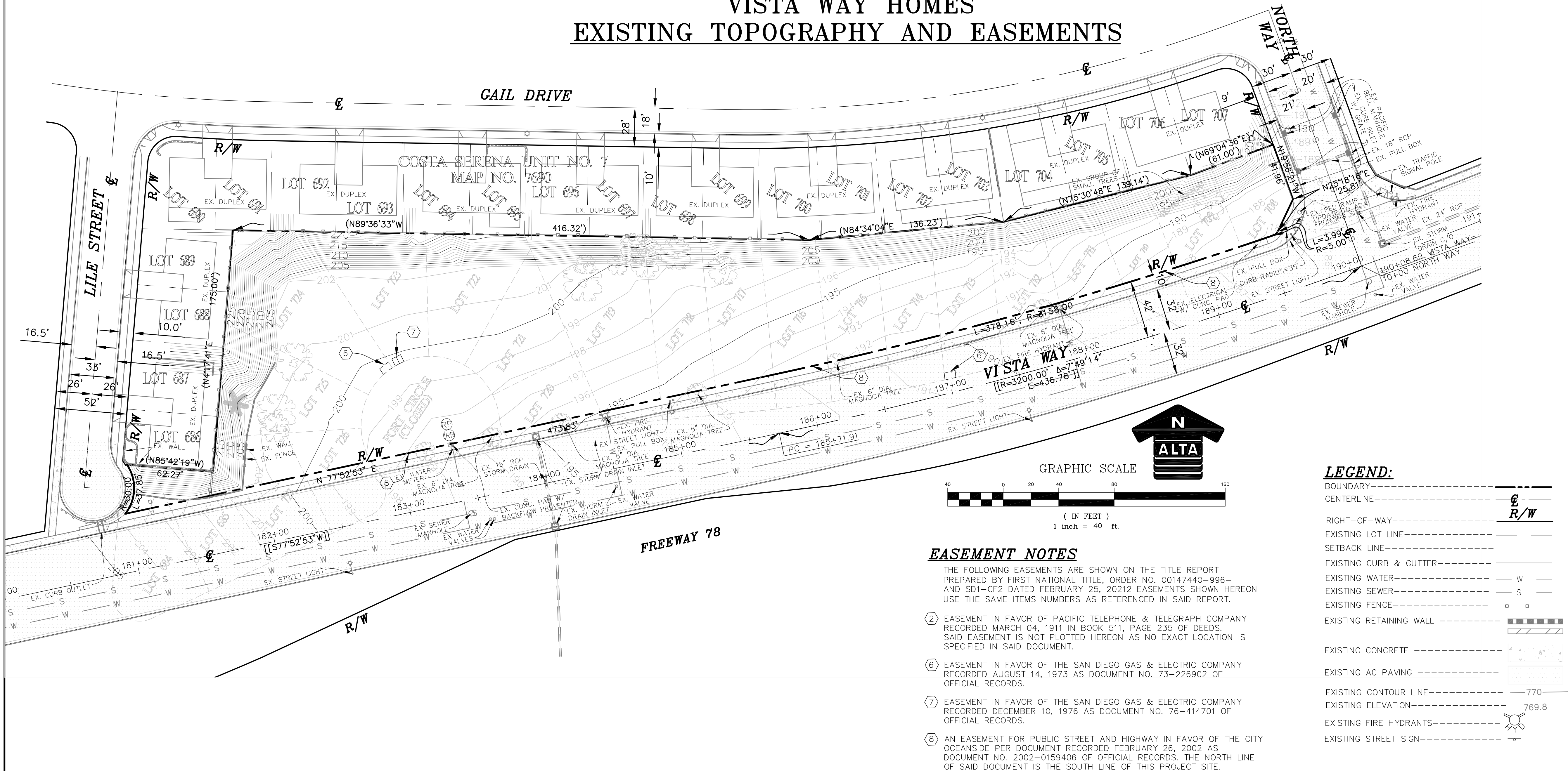
BY: REZA SHERA

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 740-8818 Fax (619) 740-8818
JOB NO. 499-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 1 OF 12

VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS



EASEMENT NOTES

- THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY FIRST NATIONAL TITLE, ORDER NO. 00147440-996- AND SD1-CF2 DATED FEBRUARY 25, 2012 EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.
- (2) EASEMENT IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH COMPANY RECORDED MARCH 04, 1911 IN BOOK 511, PAGE 235 OF DEEDS. SAID EASEMENT IS NOT PLOTTED HEREON AS NO EXACT LOCATION IS SPECIFIED IN SAID DOCUMENT.
- (6) EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED AUGUST 14, 1973 AS DOCUMENT NO. 73-226902 OF OFFICIAL RECORDS.
- (7) EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED DECEMBER 10, 1976 AS DOCUMENT NO. 76-414701 OF OFFICIAL RECORDS.
- (8) AN EASEMENT FOR PUBLIC STREET AND HIGHWAY IN FAVOR OF THE CITY OF OCEANSIDE PER DOCUMENT RECORDED FEBRUARY 26, 2002 AS DOCUMENT NO. 2002-0159406 OF OFFICIAL RECORDS. THE NORTH LINE OF SAID DOCUMENT IS THE SOUTH LINE OF THIS PROJECT SITE.

LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---

General Notes

- THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
 - PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
 - ASSESSOR'S PARCEL NUMBER: 165-493-47
 - SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
 - PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
 - BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.80 DATUM: NAV 88 CITY OF OCEANSIDE #1020
 - SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
 - TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
 - THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.
 - FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 5/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: AUGUST, 2022



T21-00002
D21-00005
DB21-00003

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General Notes

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- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (14'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
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- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- ALL HOMES ARE REQUIRED TO HAVE FIRE SPRINKLERS PER NFPA 13.
- WATER METER SIZE TO BE DETERMINED BY FIRE SPRINKLER DEMAND.
- FIRE ACCESS ROADWAYS SHALL BE A MINIMUM 28' WIDE WITH NO PARKING SIGNS POSTED ON EITHER SIDE OF THE STREET.
- TURNING RADIUS SHALL BE 30' INSIDE AND 50' OUTSIDE.
- ADDRESSES SHALL BE 4" IN HEIGHT AND VISIBLE FROM STREET WITH CONTRASTING COLORS.
- SMOKE AND CARBON MONOXIDE ALARMS REQUIRED PER 2019 CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE.
- KNOX KEY SWITCH AND OPTICOM REQUIRED FOR SITE ACCESS GATES.
- HYDRANTS MUST BE WITH 400' OF WETTER WALLS OF THE STRUCTURE. HYDRANTS ARE PRIVATE ON A LOOPED PUBLIC WATER MAIN.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.
- (2) PRIVATE FIRE HYDRANTS WITH PRIVATE FIRE SERVICE LATERALS ARE PROPOSED FOR THIS PROJECT.
- FIRE MASTER PLAN IS REQUIRED AS PART OF FINAL DESIGN.
- PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF OF COMBUSTIBLE CONSTRUCTION, PAVED VEHICLE ACCESS ROADS CAPABLE OF SUPPORTING VEHICLE LOADING (78,000 LBS) MUST BE INSTALLED. IN ADDITION THE APPROVED, PERMANENT WATER SUPPLY (FIRE HYDRANTS MUST BE INSTALLED, TESTED AND PLACED IN SERVICE PRIOR TO DELIVERY OF COMBUSTIBLE MATERIALS OR START OF COMBUSTIBLE CONSTRUCTION.
- PRE-CON MEETING WILL ALSO BE REQUIRED PRIOR TO COMBUSTIBLES BEING DROPPED ON SITE.
- THE CITY OF OCEANSIDE IS IN THE PROCESS OF IMPLEMENTING A CITYWIDE CFD IT IS EXPECTED THAT THIS PROJECT WILL BE REQUIRED TO ANNEX INTO THE CFD AS A CONDITION OF APPROVAL.

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST 31, 2022



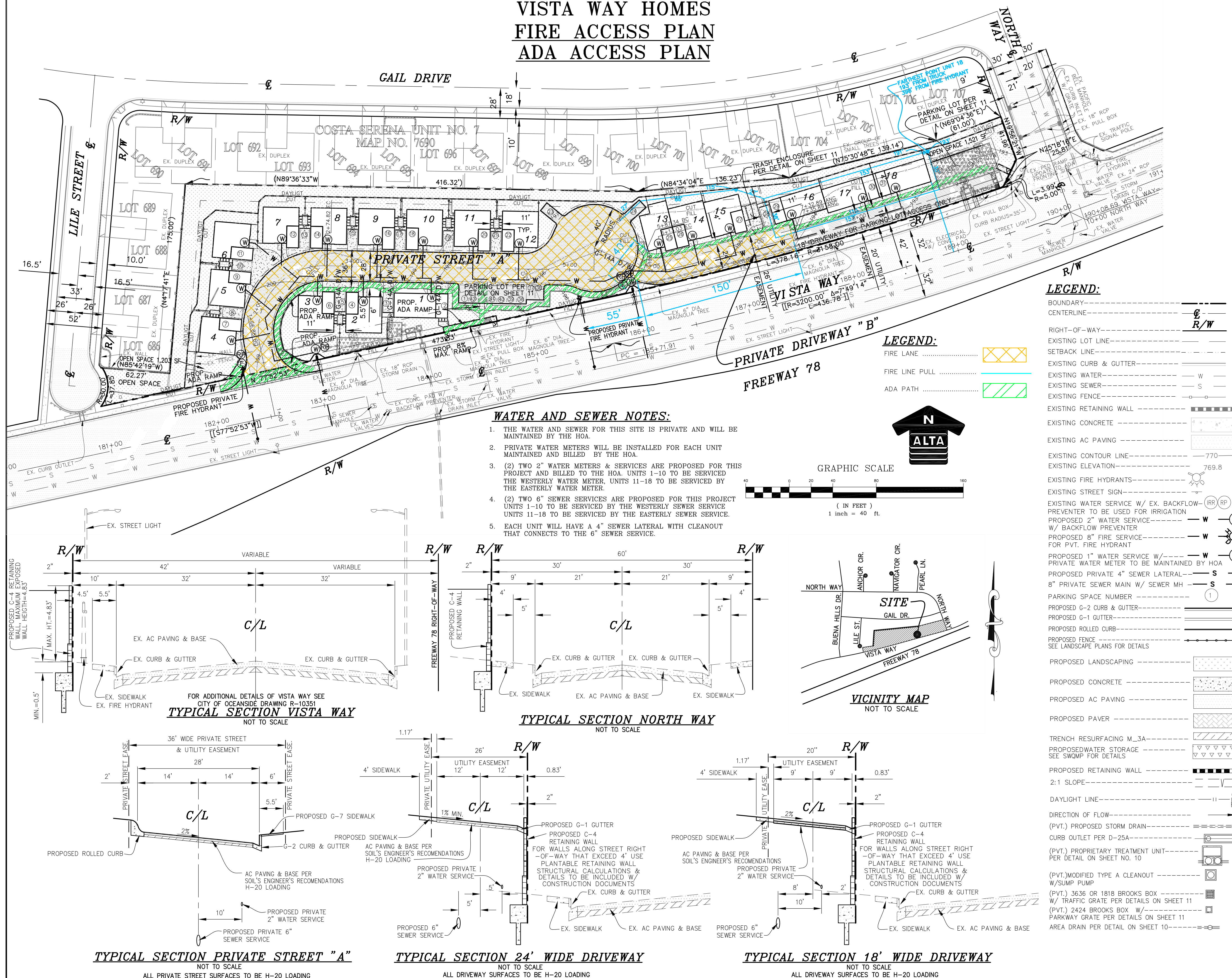
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JOB NO. 490-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 3 OF 12

VISTA WAY HOMES FIRE ACCESS PLAN ADA ACCESS PLAN

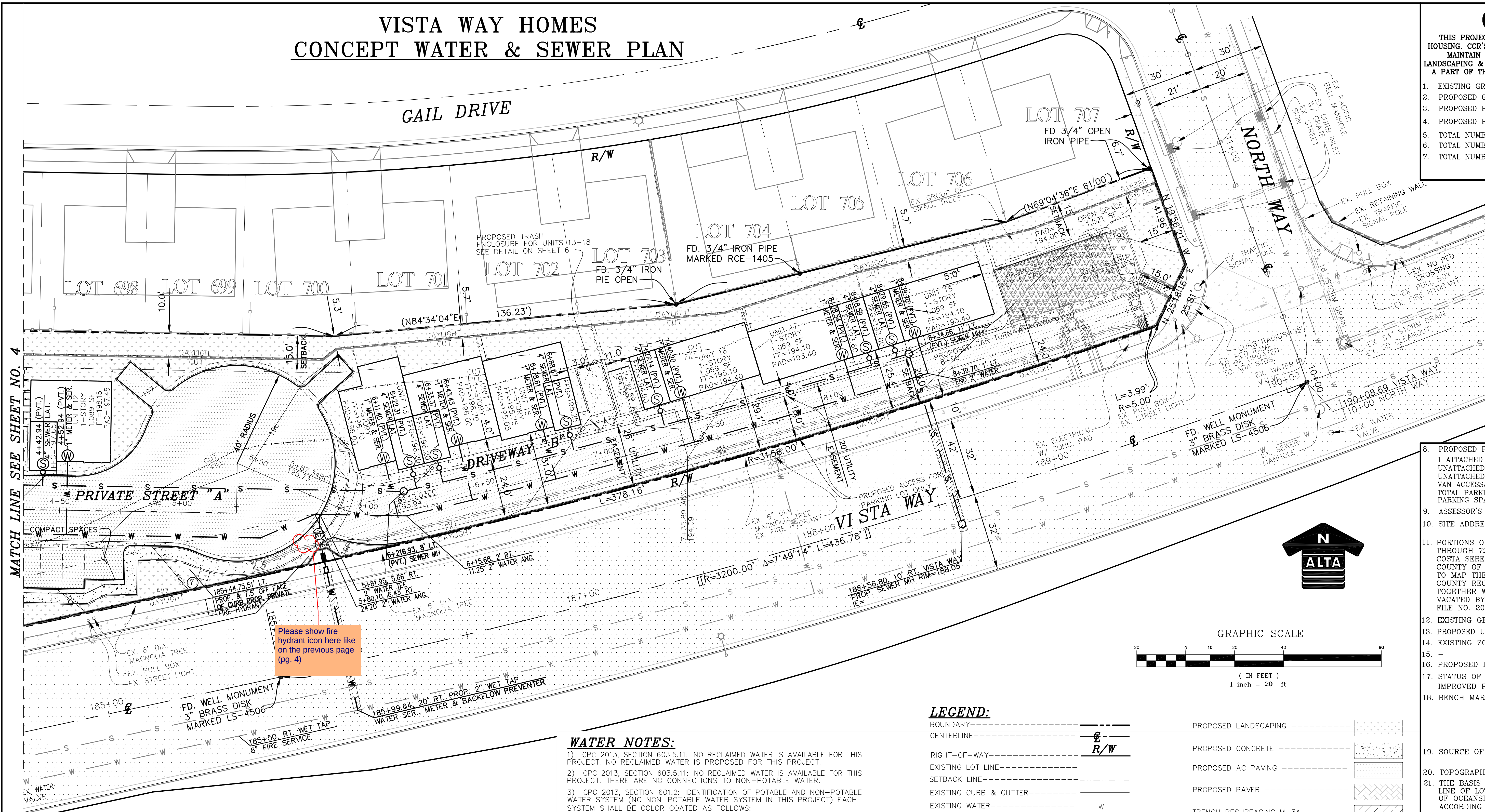


VISTA WAY HOMES CONCEPT WATER & SEWER PLAN

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SURVEYED ON: 02/20/2020
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ENGINEER OF WORK

Bartolome J. Pastor, RCE 38606

DATED: AUGUST, 2022

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

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JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 5 OF 12

WATER NOTES:

- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR CODED AS FOLLOWS:
 - 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
1. NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK". "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [HCD 1 & 2]
 - 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS, SEE TABLE
- CPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS) REFERENCED IN TABLE 611.4. WASTE DISCHARGE FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP.
- CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES: BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING RECOGNIZED STANDARDS OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION THAT ARE CONSISTENT WITH THE INTENT OF THIS CODE.
 - TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (CPC SECTION 603.2).
 - COPIES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT. THESE PRIVATE WATER METERS WILL BE MAINTAINED AND MANAGED BY THE HOA FOR THIS PROJECT.
- THERE ARE (2) 2" PUBLIC WATER METERS PROPOSED FOR THIS SITE. THE PROPOSED 2" WATER METER AT STA. 183+04.04 SERVES UNITS 1-10. THE PROPOSED 2" WATER METER AT STA. 185+99.64 SERVES UNITS 11-18
- PUBLIC WATER METERS SHALL A MINIMUM 3' SPACING / CLEARANCE ALL AROUND METER FOR MAINTENANCE
- FIRE HYDRANTS SHALL A MINIMUM 5' SPACING / CLEARANCE ALL AROUND FIRE HYDRANTS FOR MAINTENANCE

LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
EXISTING RETAINING WALL	---
EXISTING CONCRETE	---
EXISTING AC PAVING	---
EXISTING CONTOUR LINE	---
EXISTING ELEVATION	---
EXISTING FIRE HYDRANTS	---
EXISTING STREET SIGN	---
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	---
PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTER	---
PROPOSED 8" FIRE SERVICE FOR PVT. FIRE HYDRANT	---
PROPOSED 1" WATER SERVICE W/ PRIVATE WATER METER TO BE MAINTAINED BY HOA	---
PROPOSED PRIVATE 4" SEWER LATERAL	---
8" PRIVATE SEWER MAIN W/ SEWER MH	---
PARKING SPACE NUMBER	---
PROPOSED G-2 CURB & GUTTER	---
PROPOSED G-1 GUTTER	---
PROPOSED ROLLED CURB	---
PROPOSED FENCE	---
SEE LANDSCAPE PLANS FOR DETAILS	---

PROPOSED LANDSCAPING	---
PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
TRENCH RESURFACING M_3A	---
PROPOSED WATER STORAGE SEE SWAMP FOR DETAILS	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
(PVT.) PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
(PVT.) PROPRIETARY TREATMENT UNIT PER DETAIL ON SHEET NO. 10	---
(PVT.) MODIFIED TYPE A CLEANOUT W/ SUMP PUMP	---
(PVT.) 3636 OR 1818 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	---
(PVT.) 2424 BROOKS BOX W/ PARKWAY GRATE PER DETAILS ON SHEET 11	---
AREA DRAIN PER DETAIL ON SHEET 10	---

VISTA WAY HOMES CONCEPT GRADING PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=18
 - UNATTACHED STANDARD PARKING SPACES (18'x9')=20
 - UNATTACHED COMPACT PARKING SPACES (16'x8')=2
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=42
 - PARKING SPACES PER UNIT=2.33
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97-9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1030
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 28.2%
- MINIMUM REQUIRED OPEN SPACE IS 300 SF PER UNIT=18x300=5,400 SF
COMMON OPEN SPACE IS LOCATED IN TWO AREAS OF 1,521 SF+1,203 SF=2,724 SF
EACH UNIT WILL HAVE A MINIMUM OF 150 SF OF PRIVATE OPEN SPACE
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%
- ON-SITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT)
CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G DATED: 2/16/12

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST 31, 2022

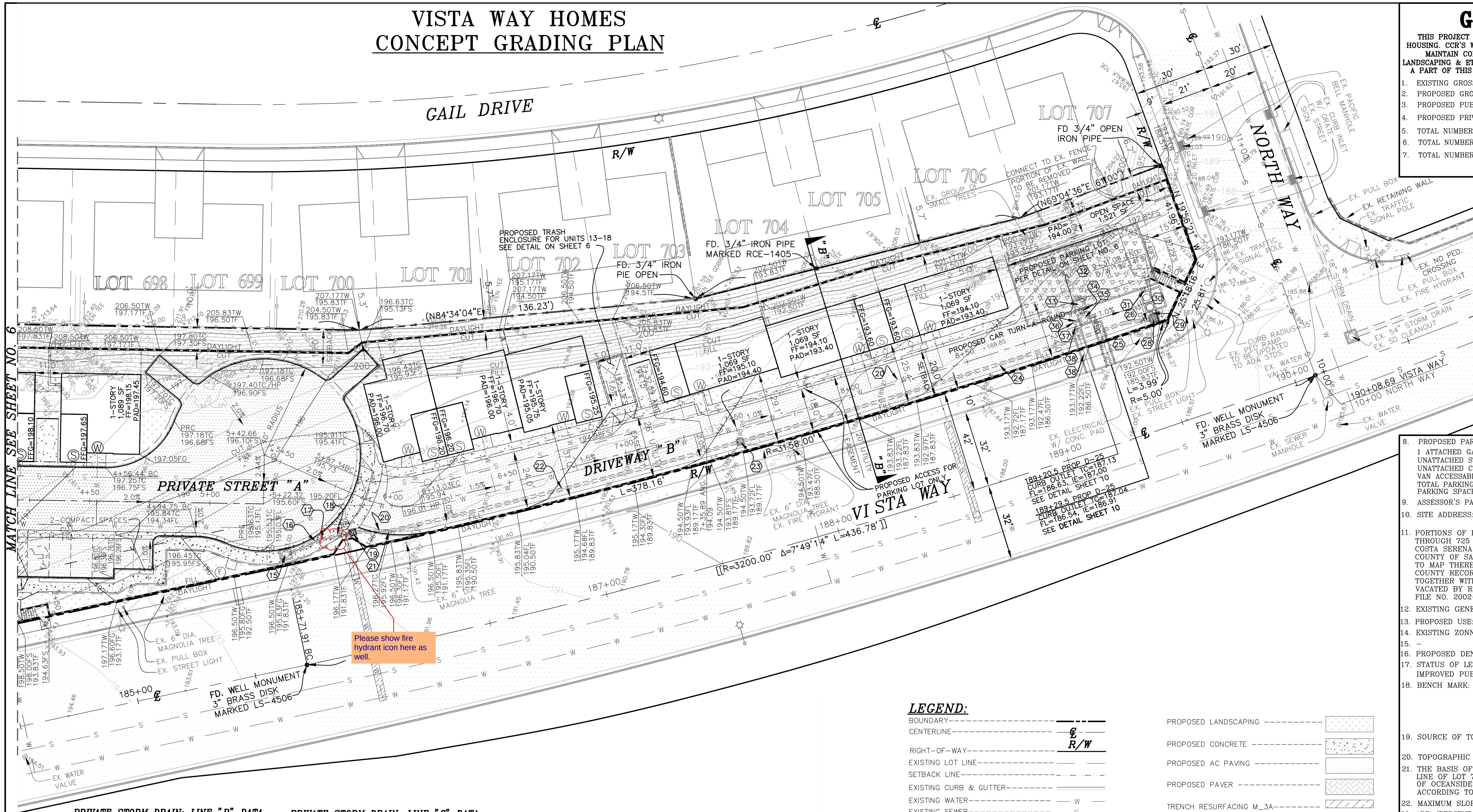
T21-00002 D21-00005 DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

12883 E. Main St., Ste. 105, San Jose, CA 95128 (415) 749-8816 Fax: (415) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 7 OF 12



PRIVATE STORM DRAIN: LINE "B" DATA SEE SHEET 8 FOR PROFILE

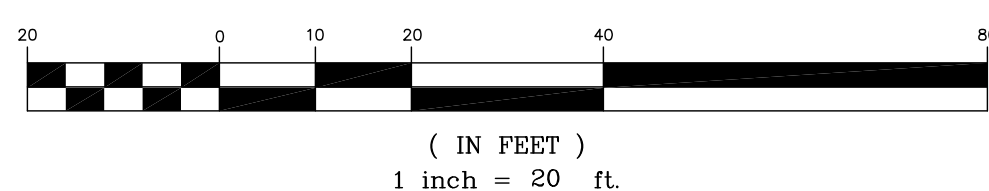
- 5+67.28, 34.24' RT. PROP. 5' B INLET PER D-2 TC=195.51, FL=194.68, IE=191.73, Q₁₀₀=3.55 CFS
- PROP. 14.50 LF N66°37'53"E OF 15" PVC STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS, V₁₀₀=4.11 F/S
- 5+78.80, 24.48 RT. PROP. 12" PVC 11.25' ANG IE=191.65
- PROP. 12.00 LF N77°23'05"E OF 15" PVC STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS, V₁₀₀=4.11 F/S
- 5+88.76, 14.83' RT. PROP. 2424 BROOKS BOX C/O W/ TRAFFIC COVER RIM=195.80, IE IN=191.59 IE OUT=191.49 PER DETAIL ON SHEET 11
- PROP. 14.13 LF N88°38'05"E OF 15" PVC STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS, V₁₀₀=4.11 F/S
- 5+99.93, 10.70' RT. PROP. 12" PVC 11.25' ANG IE=191.42
- PROP. 149.73 LF, R=3,153.17' DELTA=02°43'15"E OF 15" PVC STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS V₁₀₀=4.11 F/S
- 7+50, 5.0' RT. PROP. 2424 BROOKS BOX C/O W/ TRAFFIC COVER RIM=193.97, IE IN=190.67 IE OUT=190.57 PER DETAIL ON SHEET 11
- PROP. 186.34 LF, R=3,153.17' DELTA=03°01'21"E OF 15" HDPE STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS V₁₀₀=4.11 F/S
- 9+17.07, 5.0' RT. PROP. 12" HDPE 11.25' ANG IE=189.73
- PROP. 10.83 LF N82°17'43"E OF 15" HDPE STORM DRAIN @ 0.50% Q₁₀₀=3.55 CFS, V₁₀₀=4.11 F/S

PRIVATE STORM DRAIN: LINE "C" DATA SEE SHEET 8 FOR PROFILE

- 9+29.18, 7.08' RT. DRIVEWAY B 1+98.44 PROP. 3636 BROOKS BOX W/ TRAFFIC GRATE TG=192.00, IE IN=189.68, IE OUT=189.58 Q₁₀₀=2.51 CFS PER DETAIL SHEET 11
- PROP. 1.80 LF N28°52'18"W OF 15" HDPE STORM DRAIN @ 5.00% Q₁₀₀=6.06 CFS, V₁₀₀=11.25 F/S
- 1+91.08 STORMWATER BIO-FILTRATION SYSTEM BIO-CLEAN UNIT MWS L-8-8-4-6"-V RIM=192.14 SEE DETAILS ON SHEET 10 IE IN=189.49, IE OUT=188.06
- PROP. 2.00 LF N28°52'18"W OF 15" PVC STORM DRAIN @ 1.50% Q₁₀₀=6.06 CFS, V₁₀₀=7.10 F/S
- PROP. UNDERGROUND STORAGE VAULT WITH OPEN BOTTOM MINIMUM VOLUME =5,065 CF BOTTOM ELEV.=187.16 IE IN=188.06, IE OUT=187.16
- PROP. OUTLET CONTROL FL=187.16
- PROP. 6.25 LF N18°29'53"W OF 15" PVC STORM DRAIN @ 1.50% Q₁₀₀=6.06 CFS, V₁₀₀=7.10 F/S
- 9+01.87, 2.00' LT. D/W B 1+58.15 PROP. MOD. A-4 CLEANOUT PER D-9 RIM=192.57, IE IN=187.20 IE OUT=187.10 / 187.01.01
- THERE ARE TWO (2) OF ITEMS 35-38
- 2-PROP. 2.50 LF N71°29'07"W OF 15" PVC STORM DRAIN @ 1.00% Q₁₀₀=3.03 CFS, V₁₀₀=5.09 F/S
- 5+78.80, 24.48 RT. 2-PROP. 15" PVC 11.25' ANG IE=187.04 / 186.95
- 2-PROP. 3.50 LF N18°30'53"W OF 15" PVC STORM DRAIN @ 1.00% Q₁₀₀=3.03 CFS, V₁₀₀=5.09 F/S
- 2-PROP. 18.50 LF N18°30'53"W OF (2) D-25A CURB OUTLET @ 2.00% Q₁₀₀=3.03 CFS, V₁₀₀=5.11 F/S UNDETAINED FL=186.63 / 186.54 IE=187.00 / 186.91



GRAPHIC SCALE



LEGEND:

BOUNDARY-----	
CENTERLINE-----	
RIGHT-OF-WAY-----	
EXISTING LOT LINE-----	
SETBACK LINE-----	
EXISTING CURB & GUTTER-----	
EXISTING WATER-----	
EXISTING SEWER-----	
EXISTING FENCE-----	
EXISTING RETAINING WALL-----	
EXISTING CONCRETE-----	
EXISTING AC PAVING-----	
EXISTING CONTOUR LINE-----	
EXISTING ELEVATION-----	
EXISTING FIRE HYDRANTS-----	
EXISTING STREET SIGN-----	
EXISTING WATER SERVICE W/ EX. BACKFLOW- PREVENTER TO BE USED FOR IRRIGATION	
PROPOSED 2" WATER SERVICE-----	
PROPOSED 8" FIRE SERVICE-----	
FOR PVT. FIRE HYDRANT	
PROPOSED 1" WATER SERVICE W/-----	
PRIVATE WATER METER TO BE MAINTAINED BY HOA	
PROPOSED PRIVATE 4" SEWER LATERAL-----	
8" PRIVATE SEWER MAIN W/ SEWER MH-----	
PARKING SPACE NUMBER-----	
PROPOSED G-2 CURB & GUTTER-----	
PROPOSED G-1 GUTTER-----	
PROPOSED ROLLED CURB-----	
PROPOSED FENCE-----	
SEE LANDSCAPE PLANS FOR DETAILS	

PROPOSED LANDSCAPING-----	
PROPOSED CONCRETE-----	
PROPOSED AC PAVING-----	
PROPOSED PAVER-----	
TRENCH RESURFACING M_3A-----	
PROPOSED WATER STORAGE-----	
SEE SWMP FOR DETAILS	
PROPOSED RETAINING WALL-----	
2:1 SLOPE-----	
DAYLIGHT LINE-----	
DIRECTION OF FLOW-----	
(PVT.) PROPOSED STORM DRAIN-----	
CURB OUTLET PER D-25-----	
(PVT.) PROPRIETARY TREATMENT UNIT-----	
PER DETAIL ON SHEET NO. 10	
(PVT.) MODIFIED TYPE A CLEANOUT-----	
W/SUMP PUMP	
(PVT.) 3636 OR 1818 BROOKS BOX-----	
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11	
(PVT.) 2424 BROOKS BOX W/-----	
PARKWAY GRATE PER DETAILS ON SHEET 11	
AREA DRAIN PER DETAIL ON SHEET 10-----	

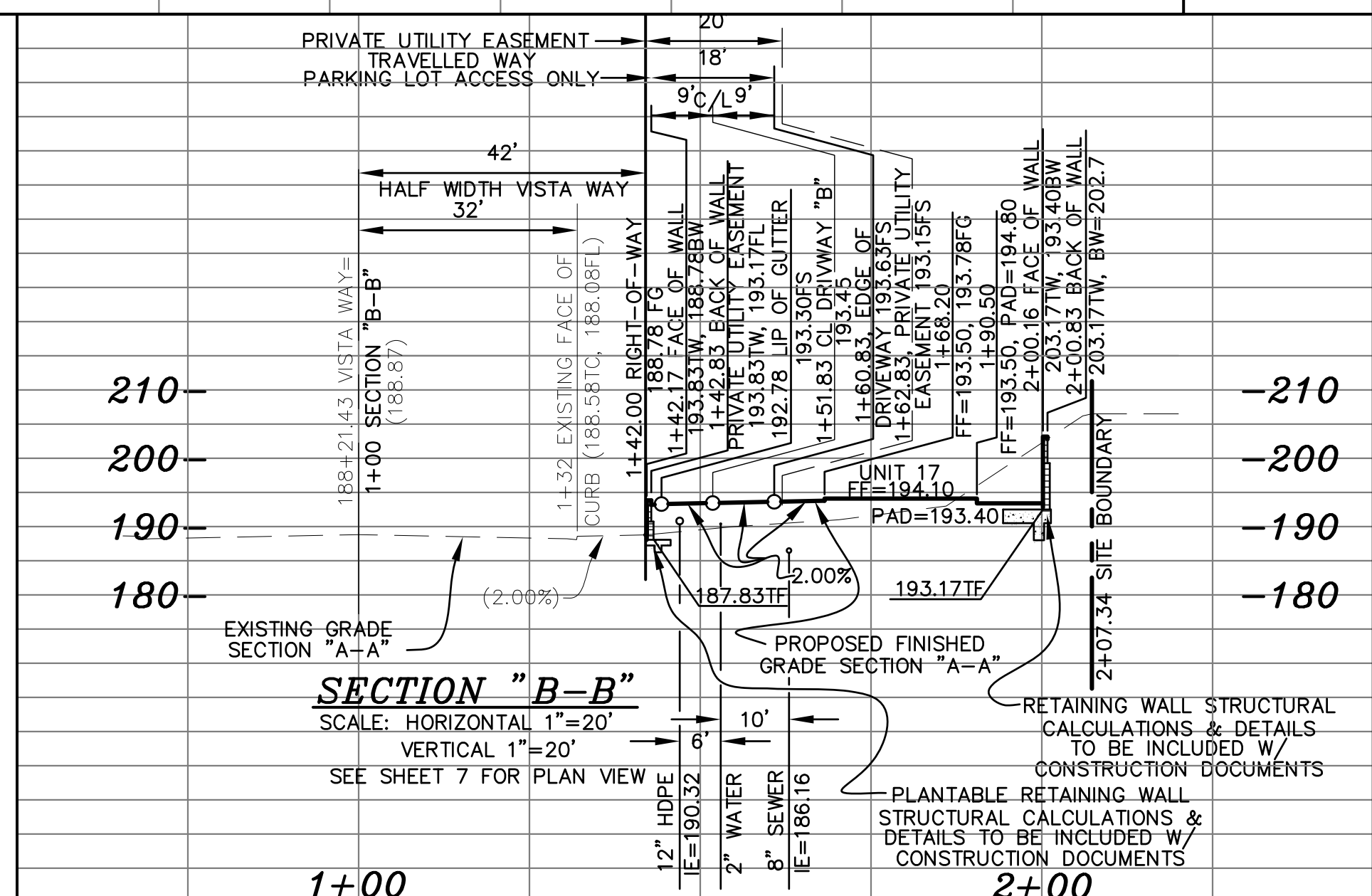
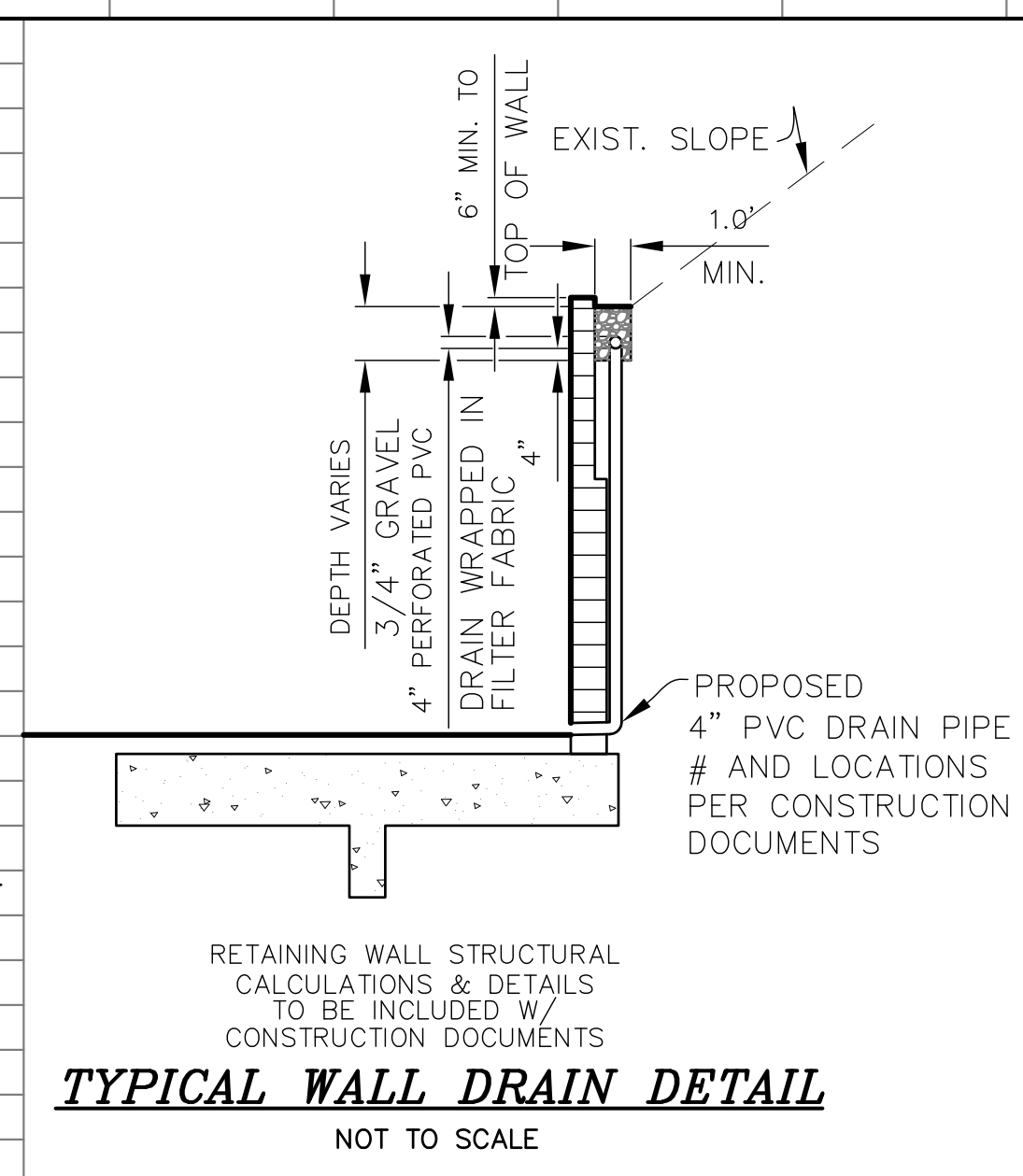
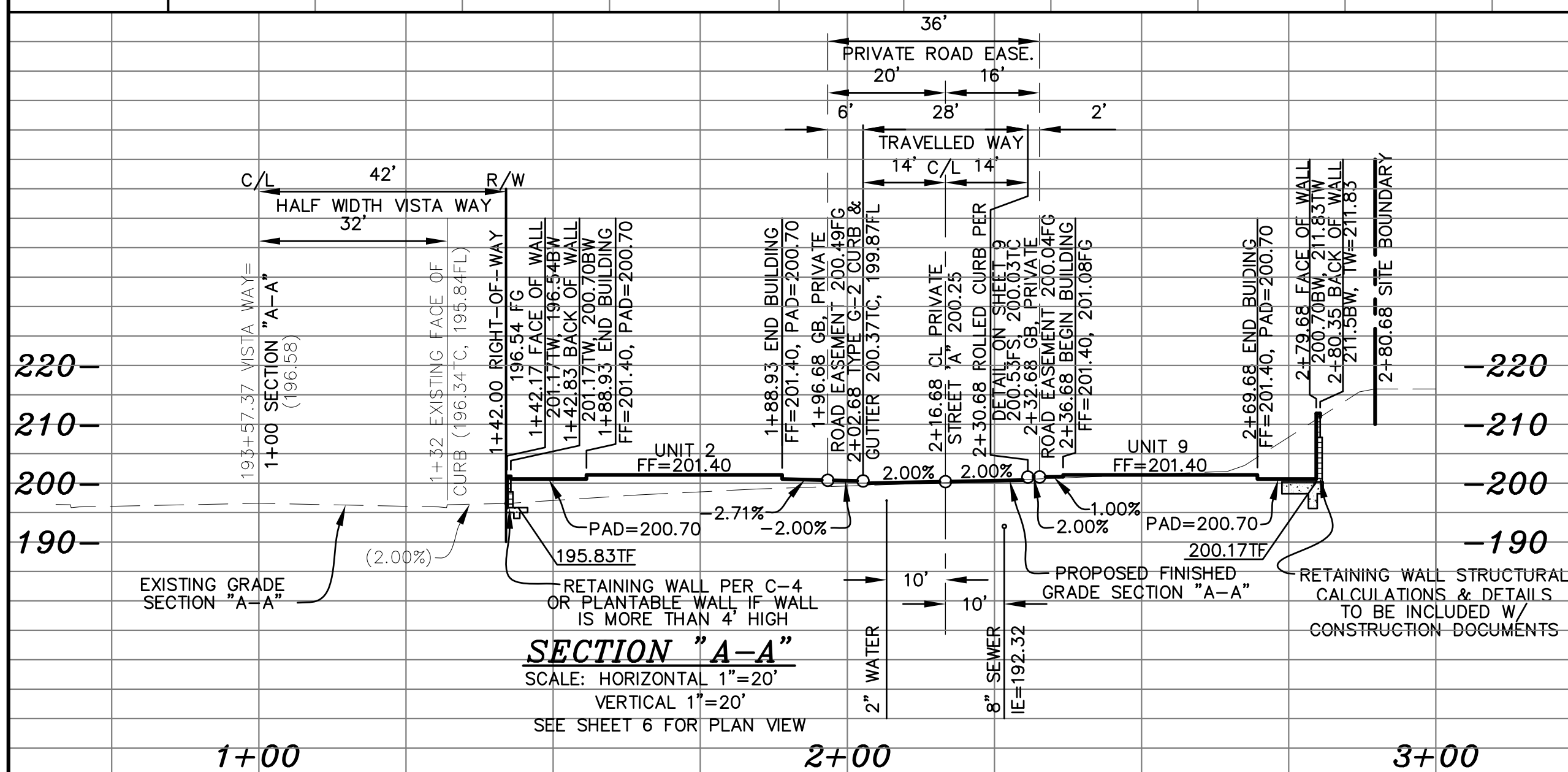
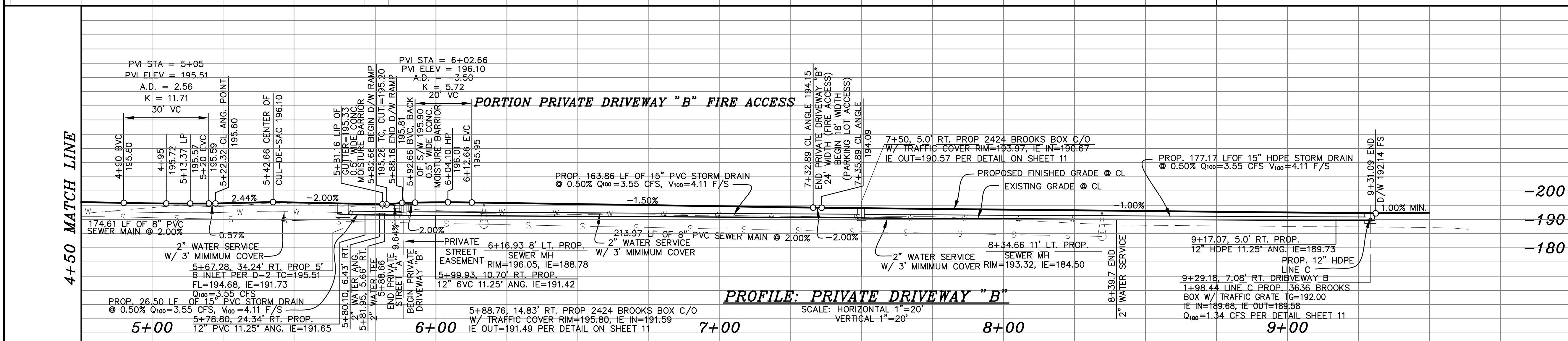
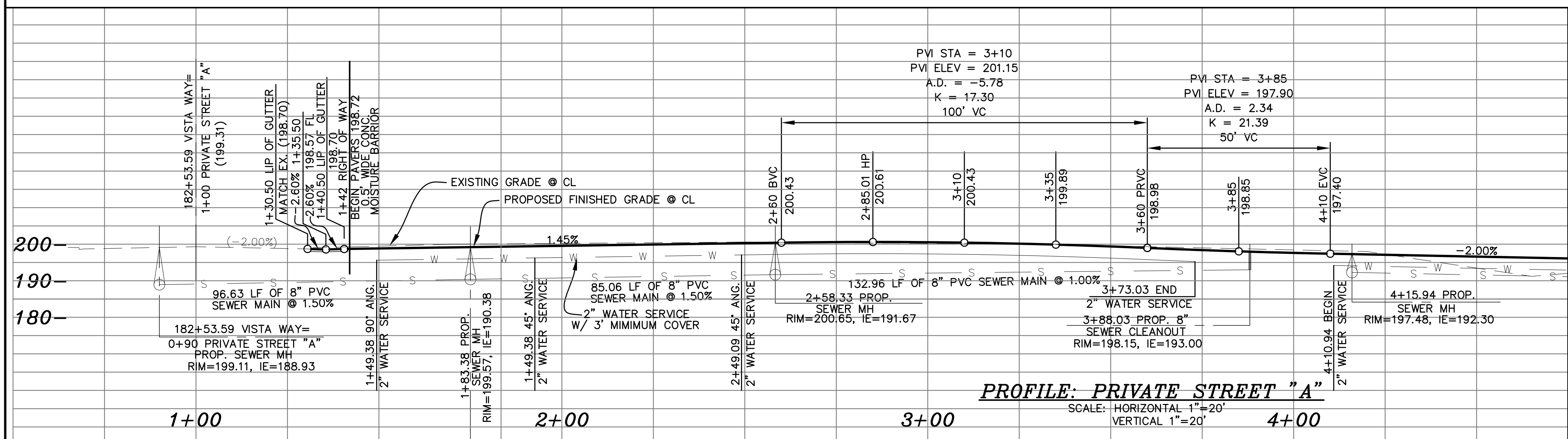
VISTA WAY HOMES CONCEPT PROFILES AND SECTIONS

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED STANDARD PARKING SPACES (18'x9')=20
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=42
PARKING SPACES PER UNIT=2.33
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST 31, 2022



T21-00002
D21-00005
DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, Escondido, CA 92026 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 8 OF 12

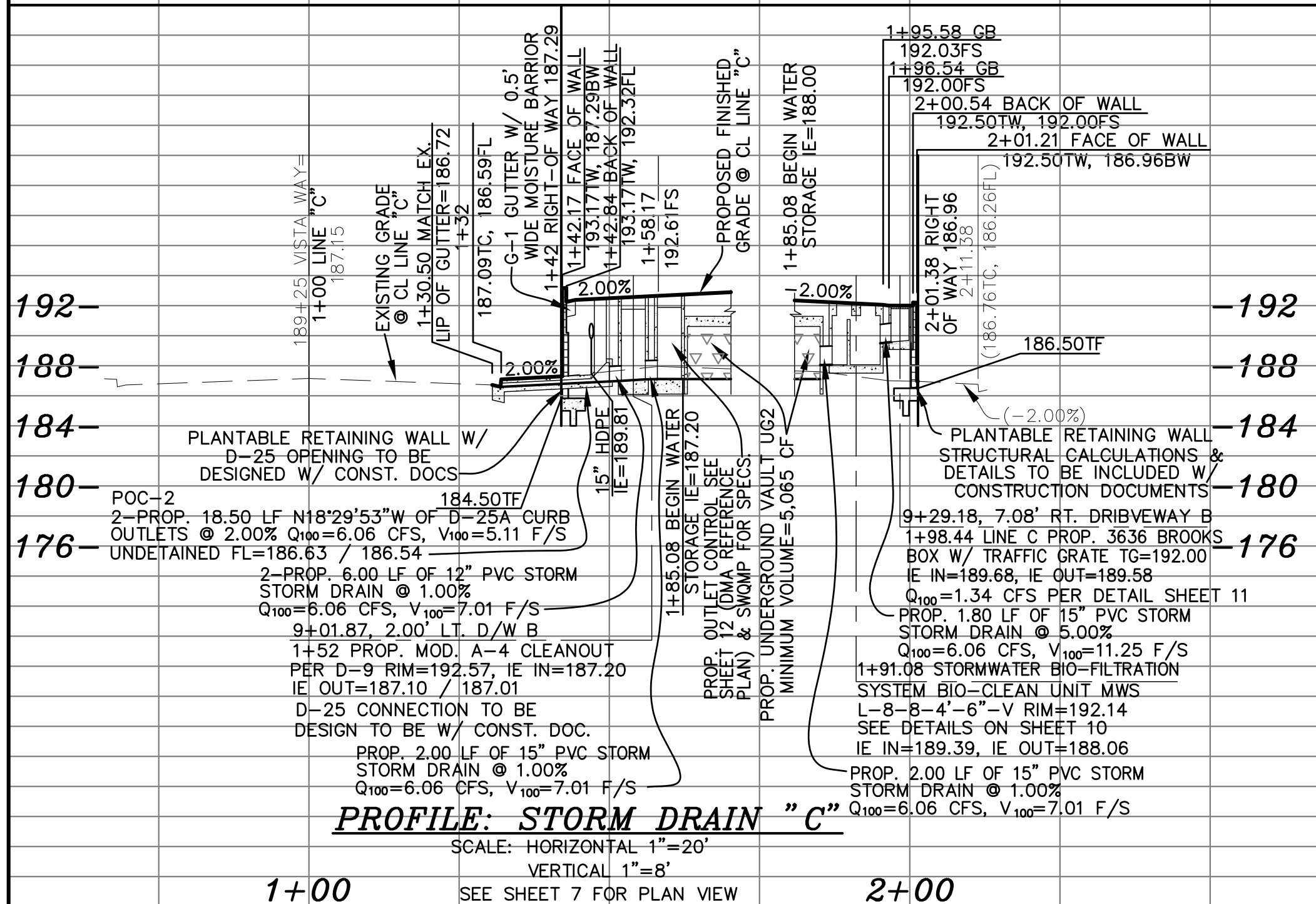
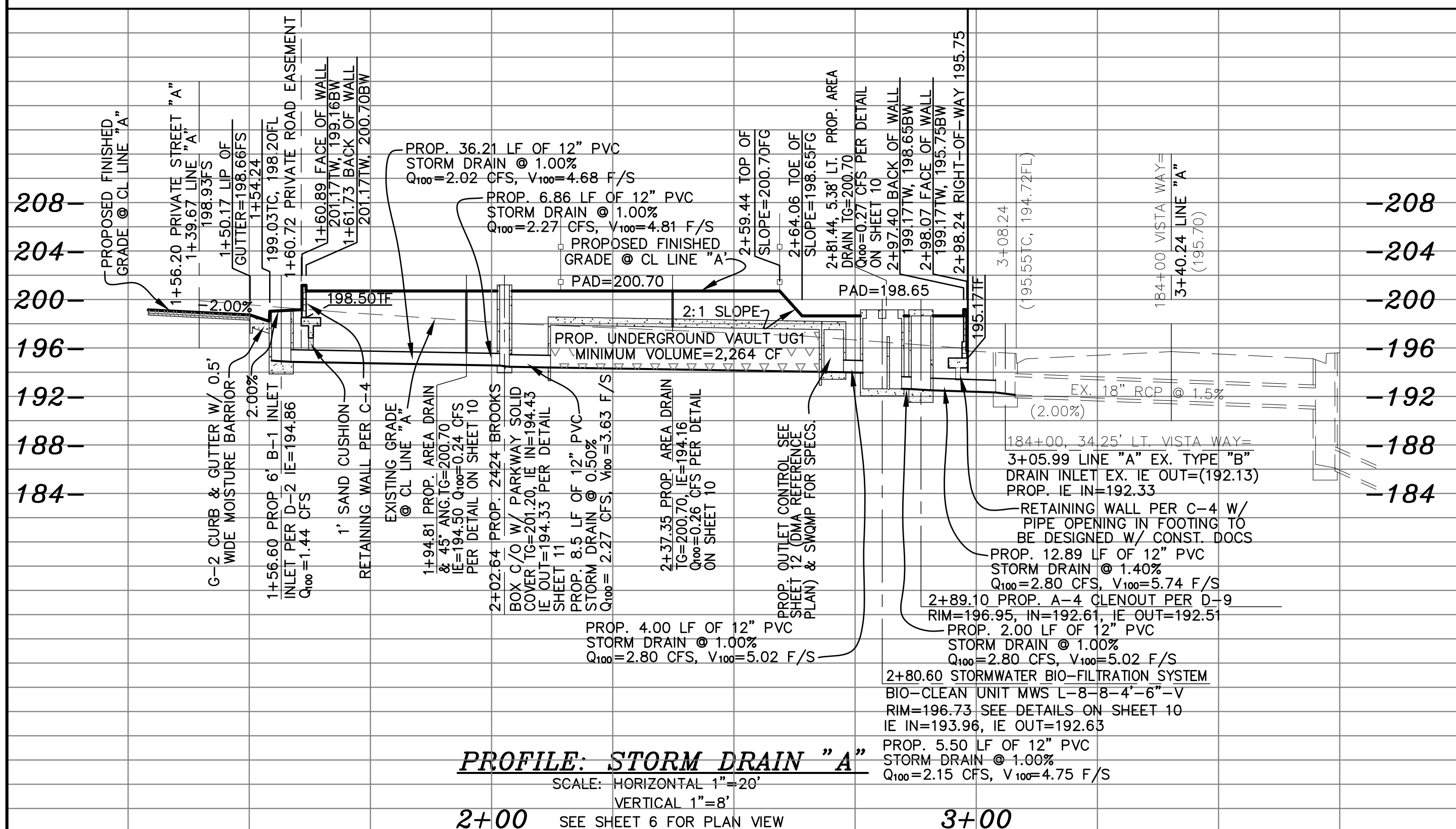
VISTA WAY HOMES CONCEPT STORM DRAIN PROFILES

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

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- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
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TOTAL PARKING SPACES PROPOSED=42
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- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
-
- PROPOSED DENSITY: 18/1.97=9.14 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
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ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST, 2022



T21-00002
D21-00005
DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 9 OF 12

VISTA WAY HOMES STORM WATER DETAILS

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

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- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

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UNATTACHED STANDARD PARKING SPACES (18'x9')=20
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TOTAL PARKING SPACES PROPOSED=42
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- ASSESSOR'S PARCEL NUMBER: 165-493-47

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- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL

- PROPOSED USE: RESIDENTIAL-SENIOR HOUSING

- EXISTING ZONING: RM-A

-

- PROPOSED DENSITY: 18/1.97=9.14 DU/AC

- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET

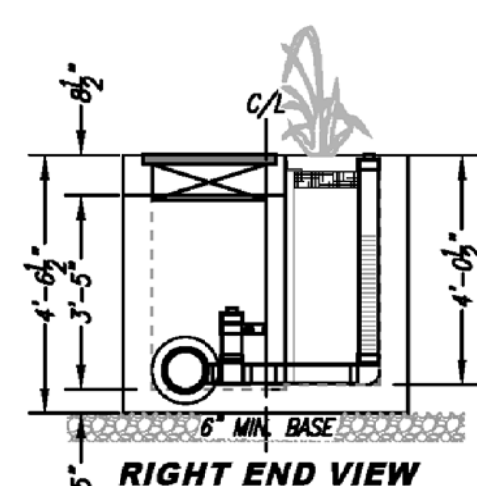
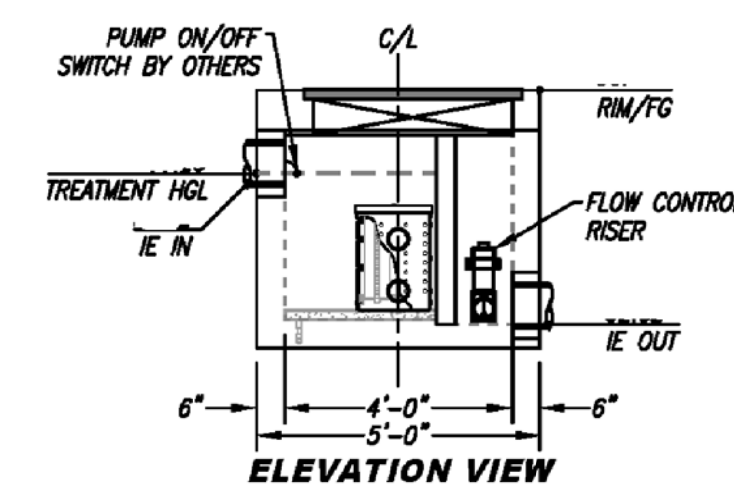
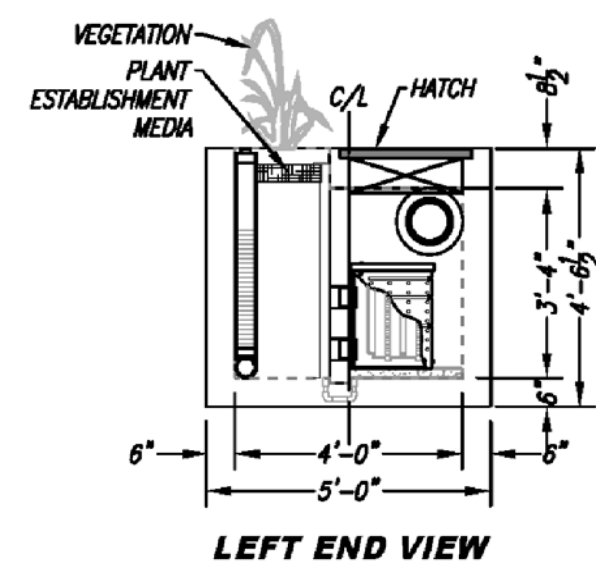
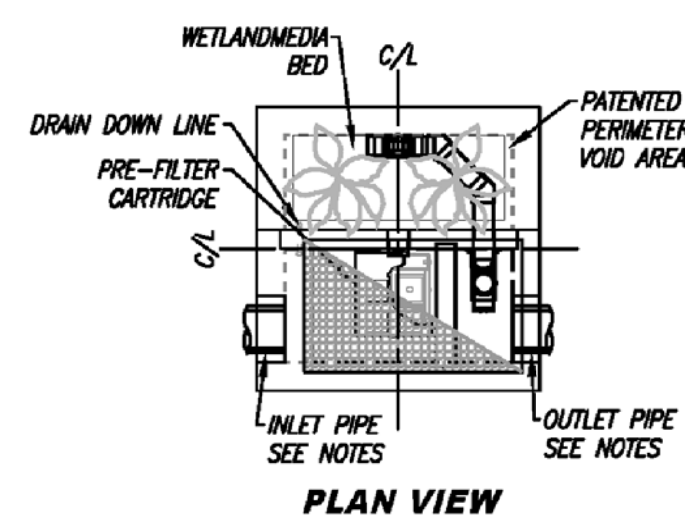
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
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LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80' DATUM: NAV 88
CITY OF OCEANSIDE #1020

- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020

- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

- THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS THE SOUTH LINE OF LOT 707 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 7690 I.E. NORTH 69°04'36" EAST.

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (CFS)	
1,248		N/A	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		OFFLINE	
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE		PVC	8"
OUTLET PIPE		PVC	8"
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD		PEDESTRIAN	OPEN PLANTER
FRAME & COVER		24" X 42"	N/A
WETLAND/MEDIA VOLUME (CY)		0.83	
ORIFICE SIZE (DIA. INCHES)		#0.48"	
NOTES: PRELIMINARY NOT FOR CONSTRUCTION.			



REQUIRED TREATMENT VOLUME (CF)	
DRAWDOWN DURATION (HOURS)	36
AVERAGE DISCHARGE RATE PER MWS UNIT (GPM)	
OPERATING HEAD (FT)	2.5
WETLANDMEDIA INFILTRATION RATE (IN/HR)	26
WETLANDMEDIA LOADING RATE (GPM/SF)	0.26

MWS-L-4-4-4'-1" V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFLoad AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

GENERAL NOTES

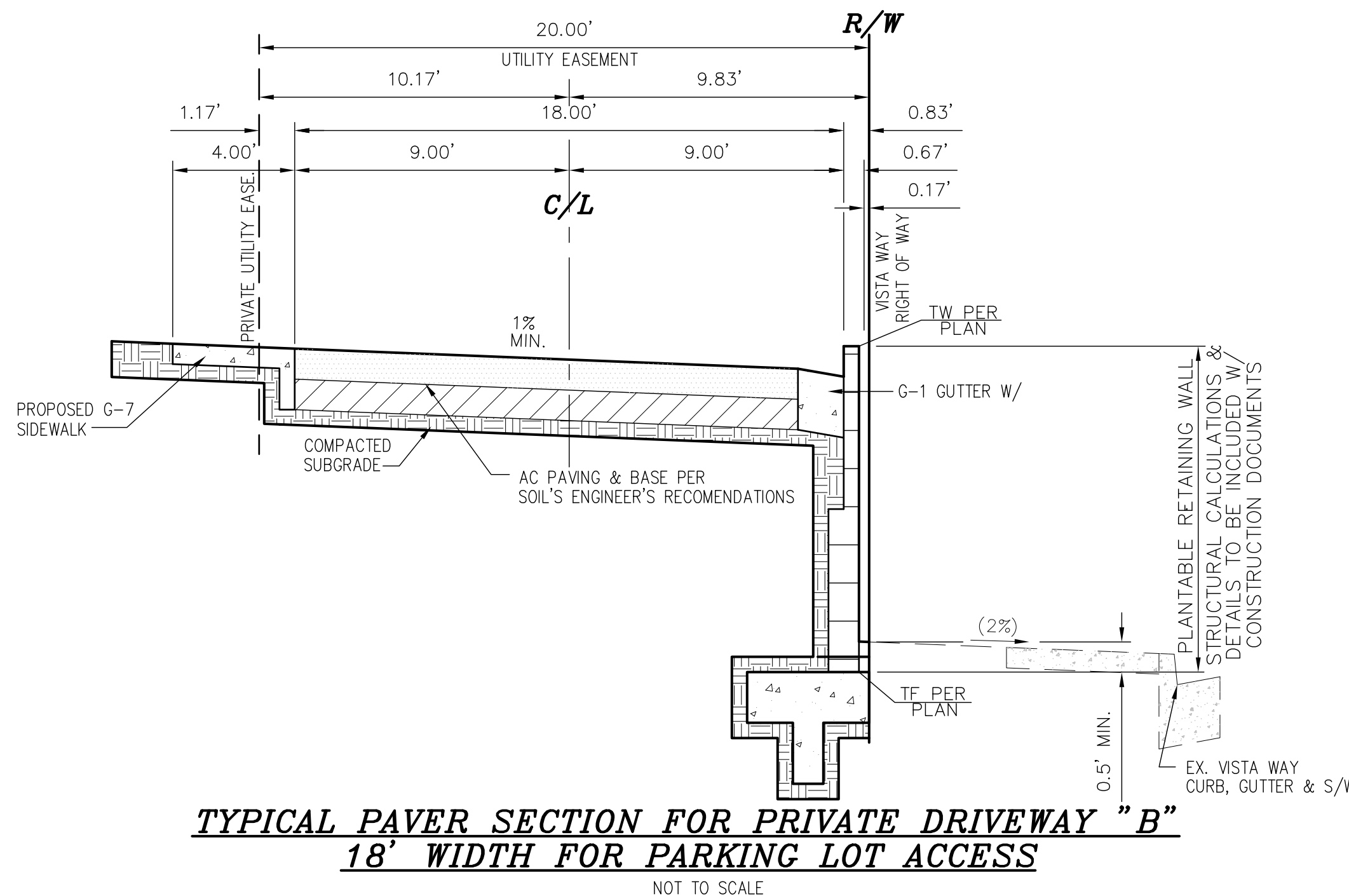
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



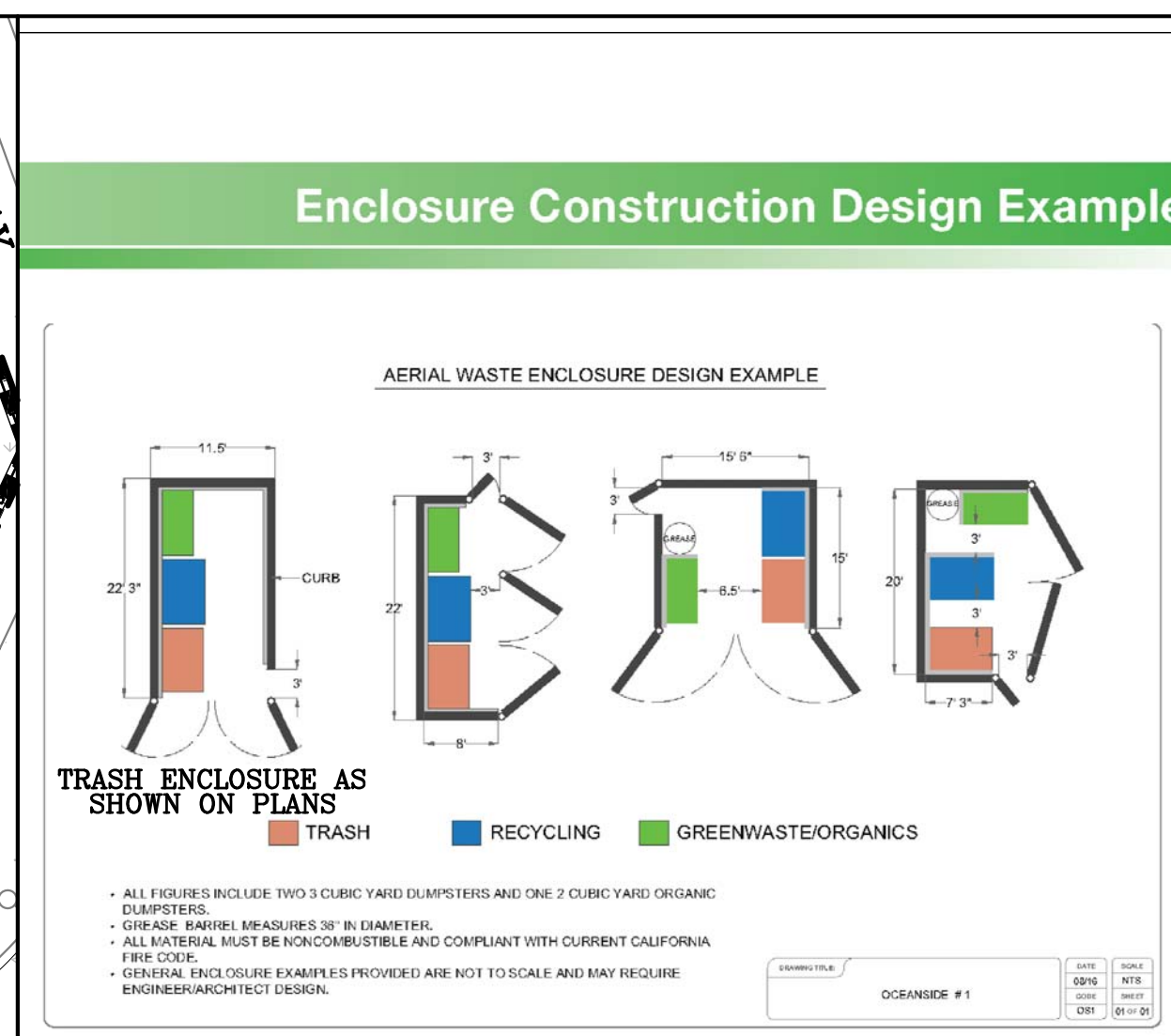
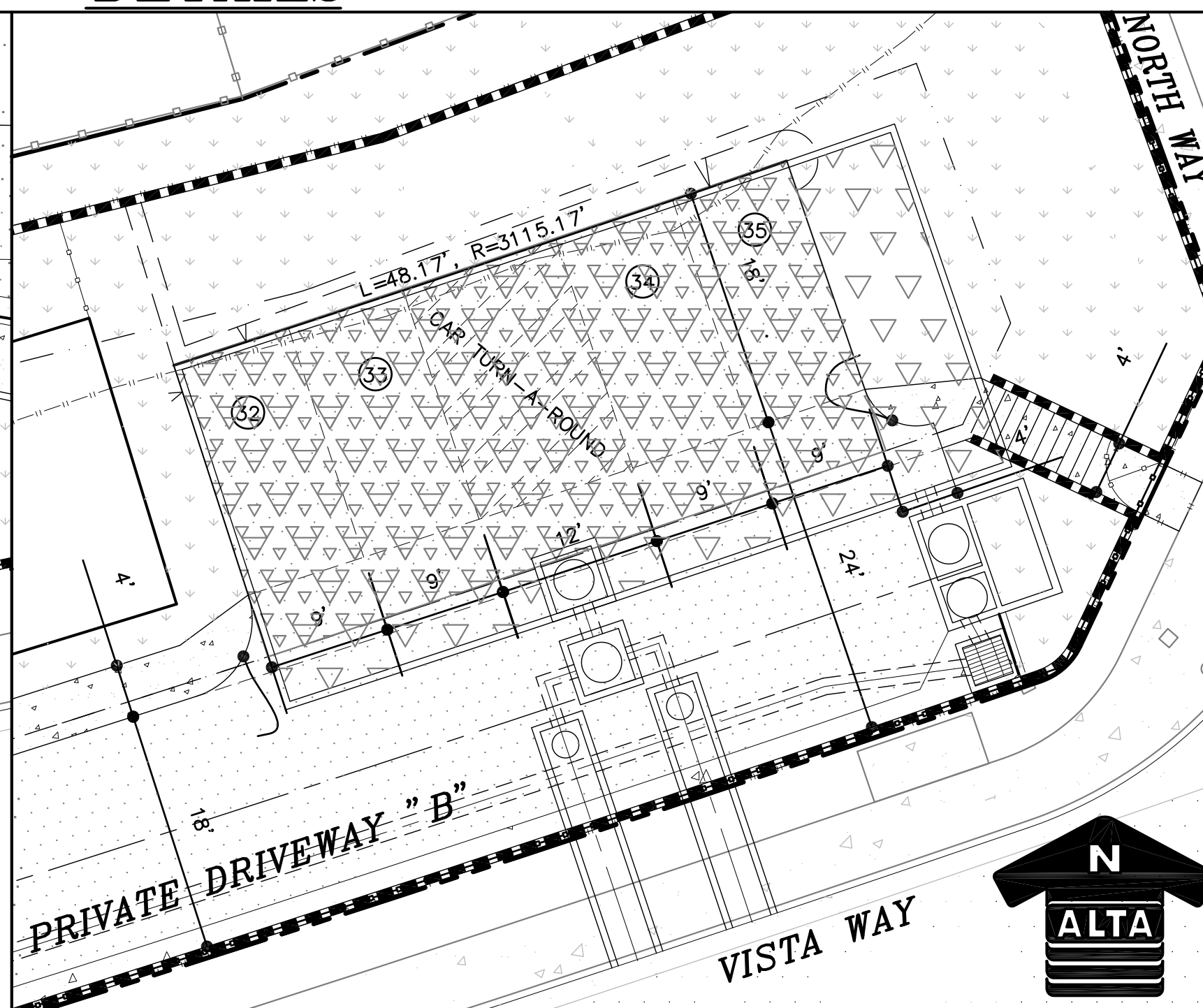
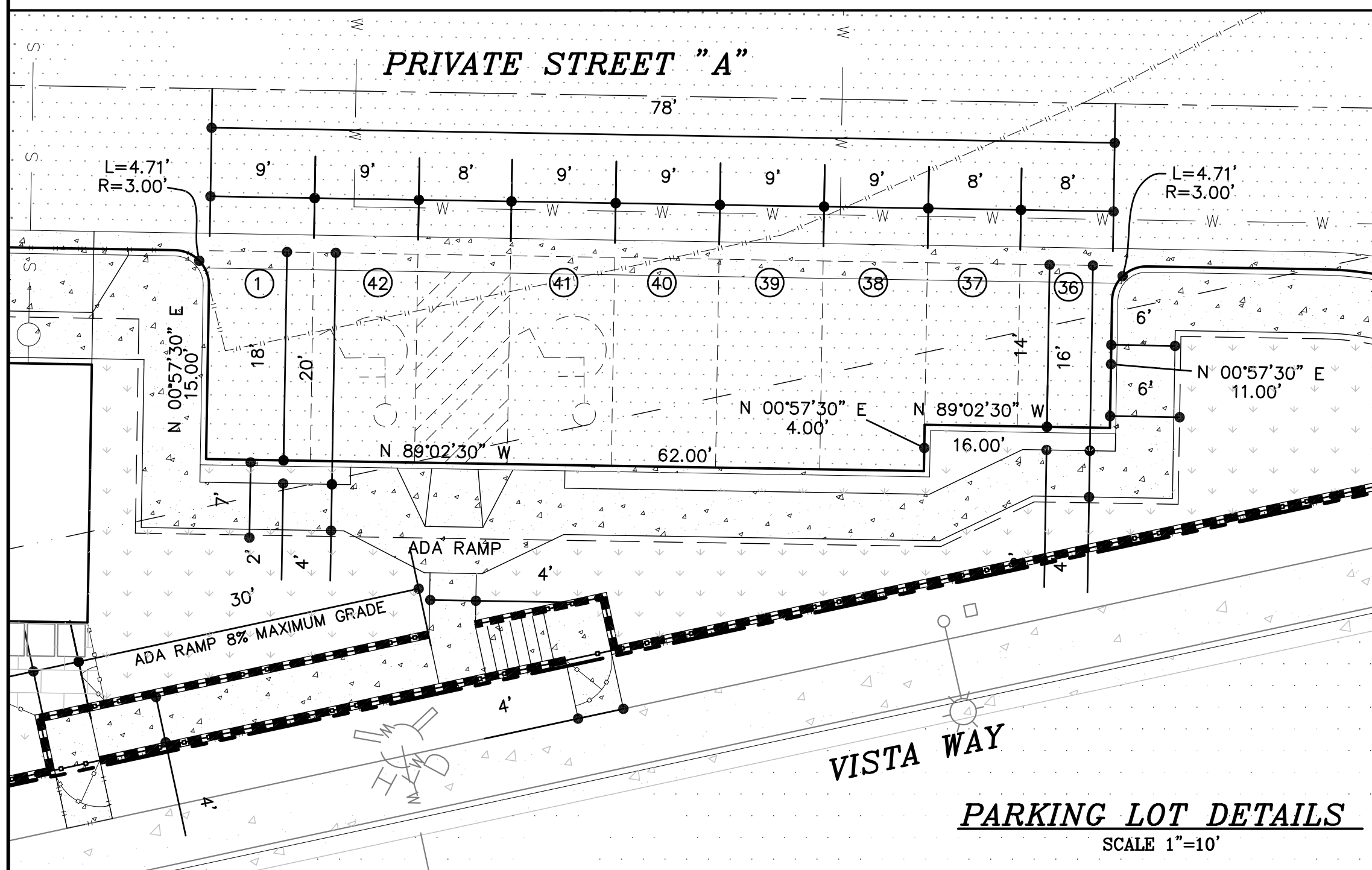
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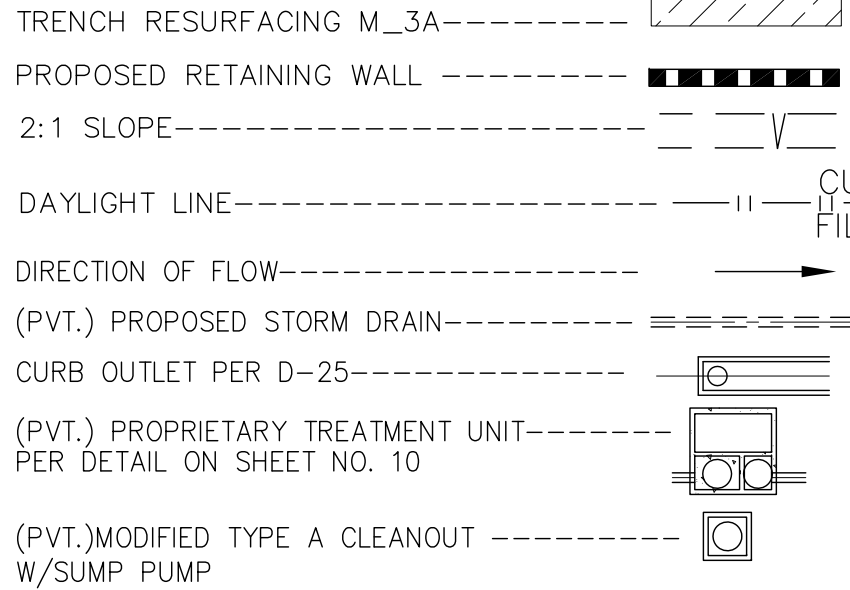
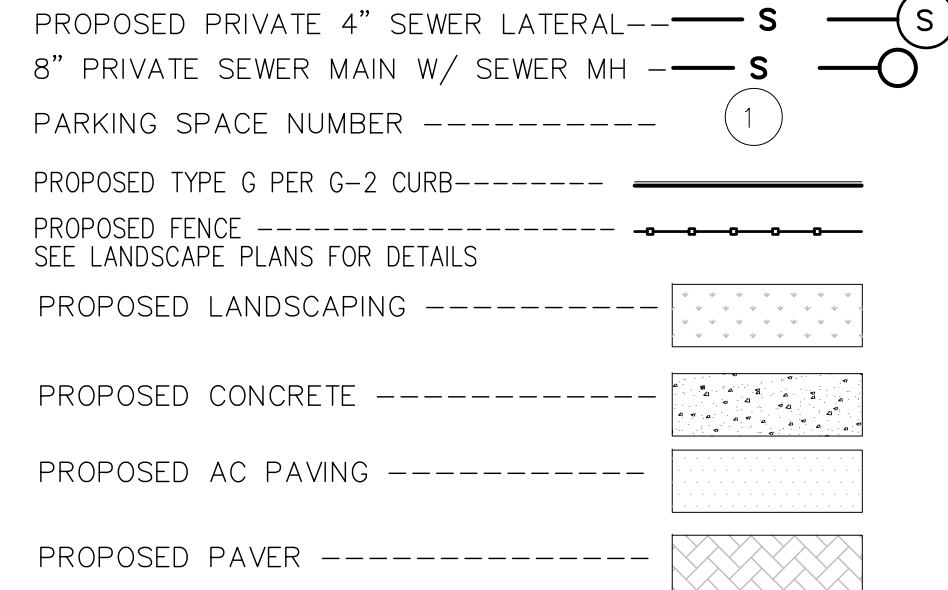
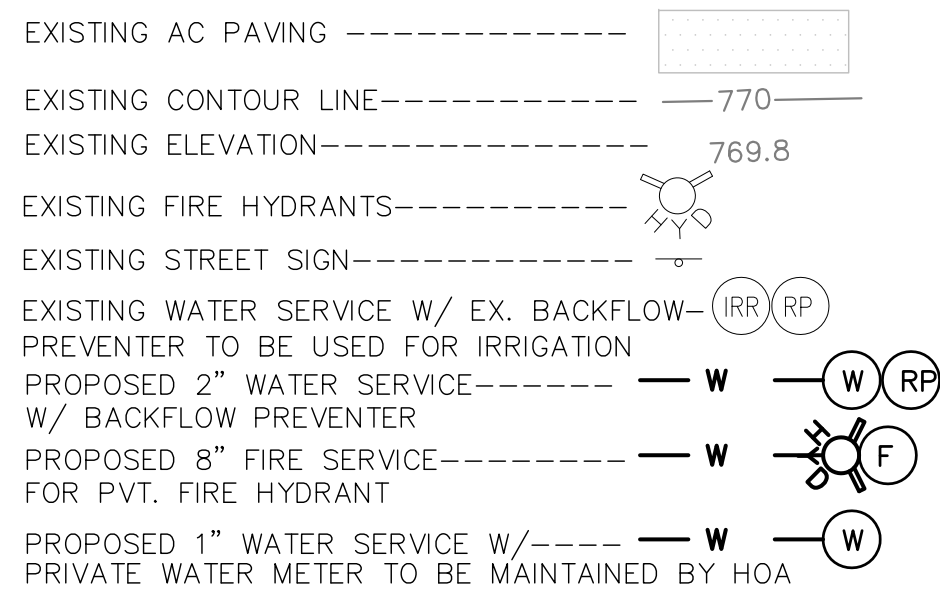
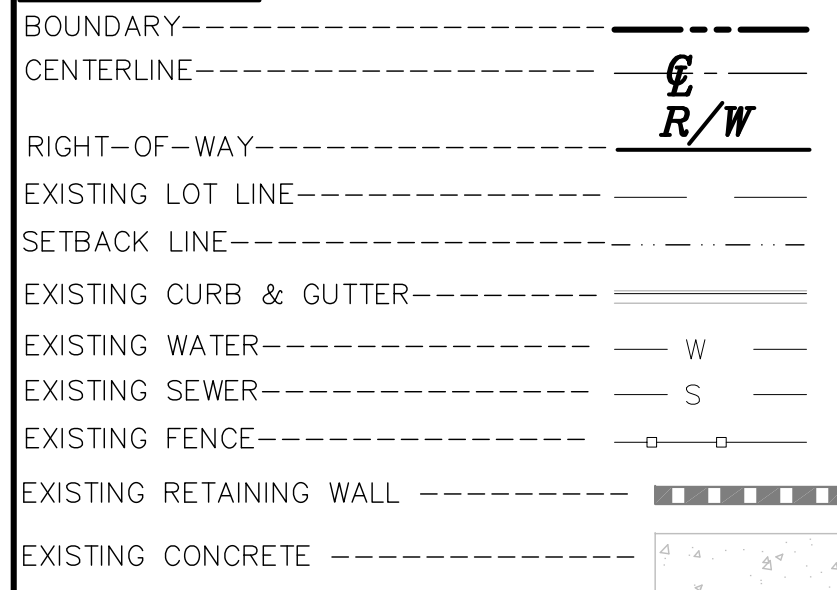
MODULAR WETLAND



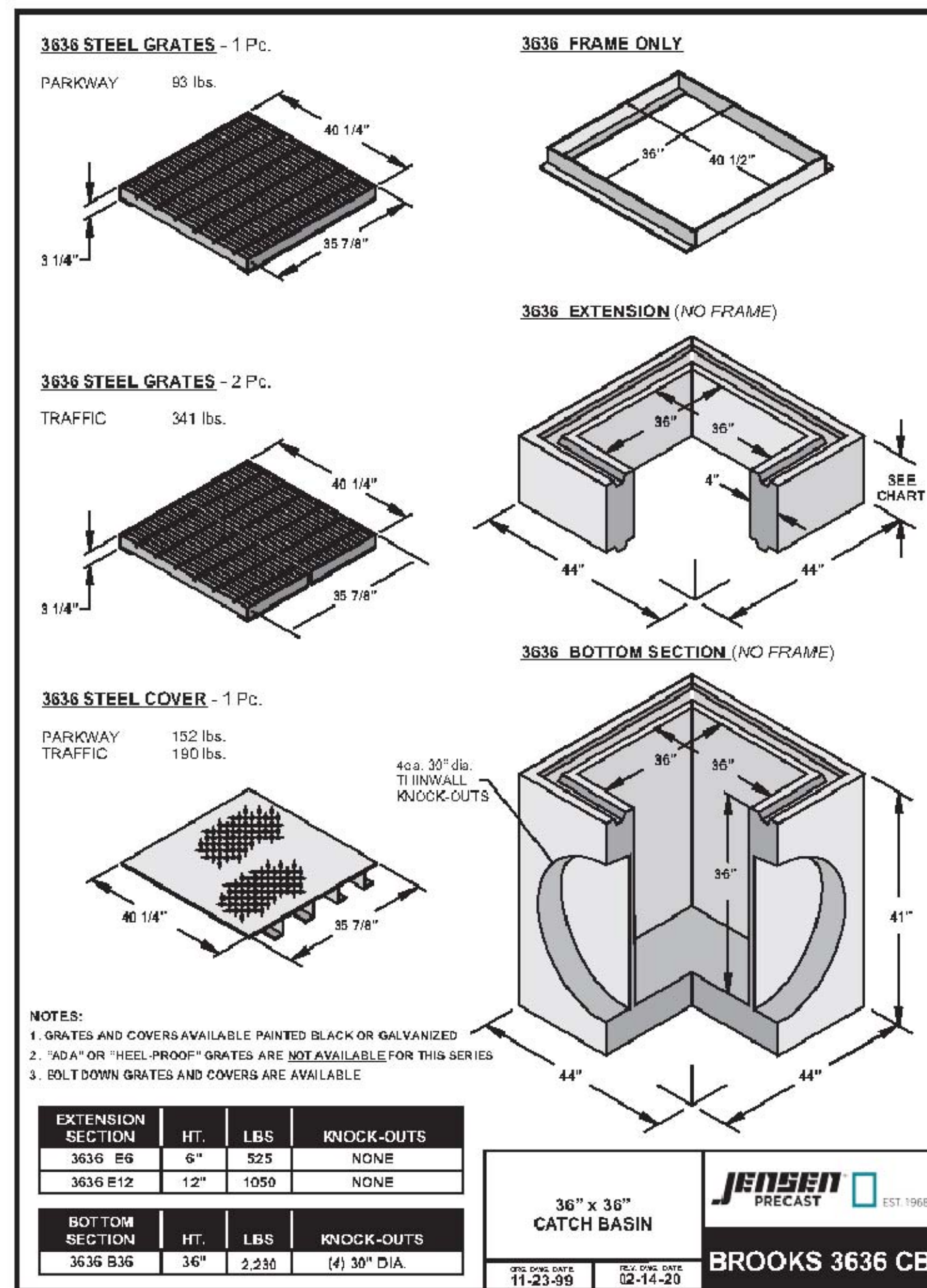
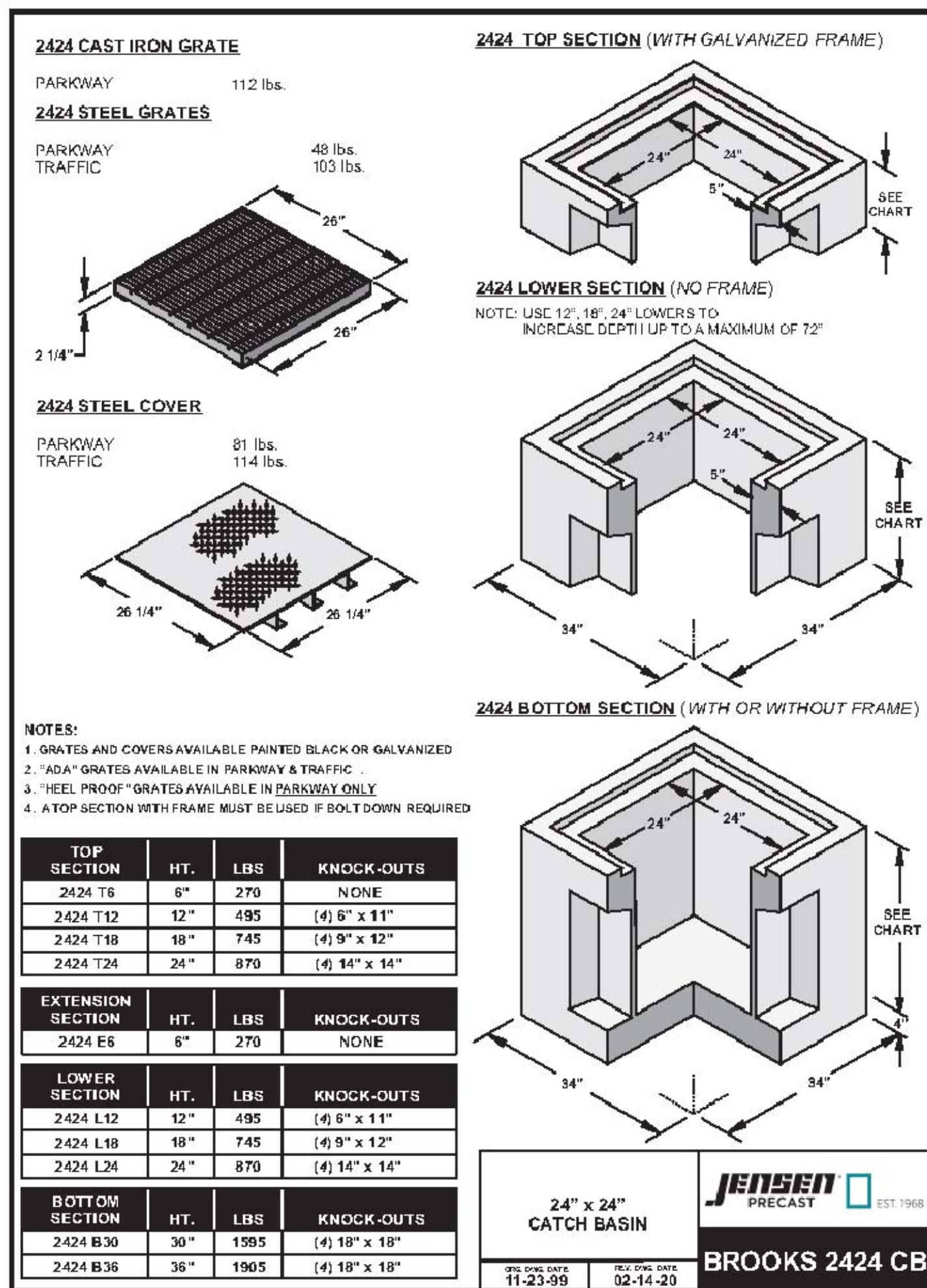
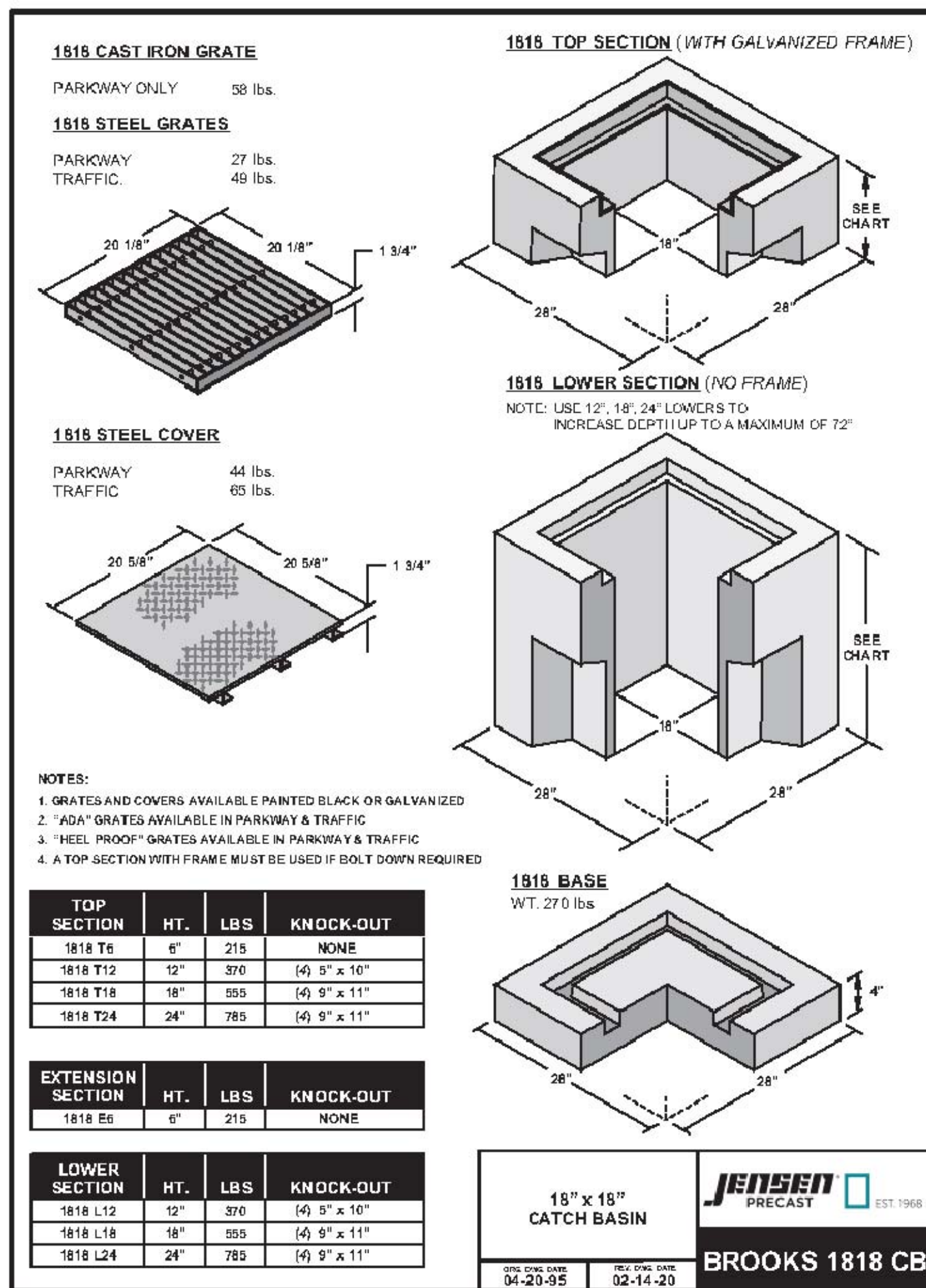
VISTA WAY HOMES DETAILS



LEGEND:



(PVT.) 3636 OR 1818 BROOKS BOX
W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
(PVT.) 2424 BROOKS BOX W/ TRAFFIC GRATE PER DETAILS ON SHEET 11
AREA DRAIN PER DETAIL ON SHEET 10



General Notes

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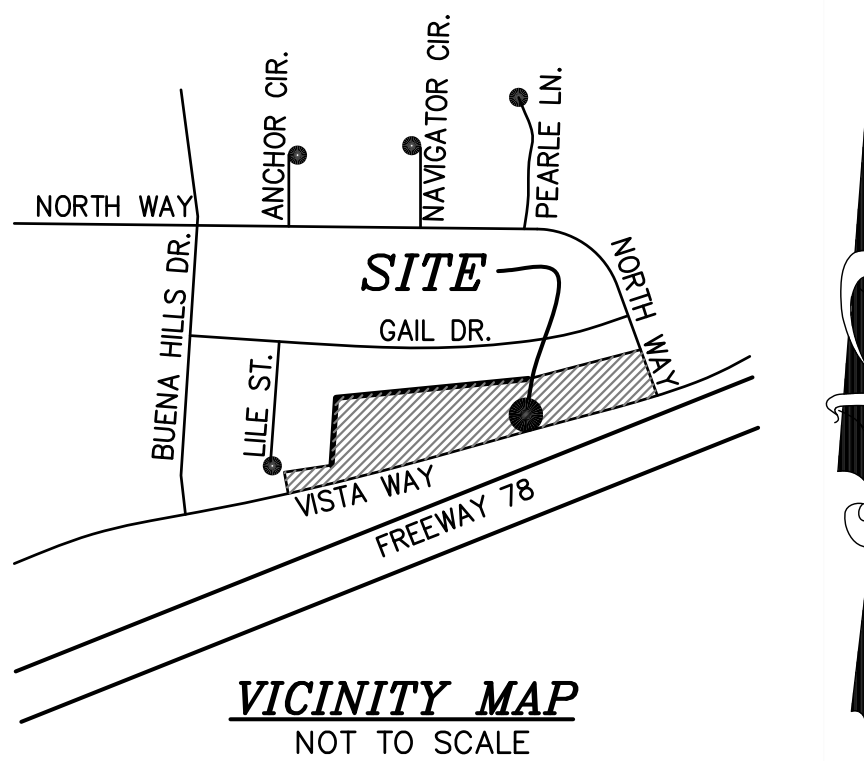
- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 18

- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=18
UNATTACHED SATNDARD PARKING SPACES (18'x9')=20
UNATTACHED COMPACT PARKING SPACES (16'x8')=2
VAN ACCESSABLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=42
PARKING SPACES PER UNIT=2.33
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.

- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
CITY OF OCEANSIDE #1020

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- MAXIMUM SLOPE GRADIENT: 2:1
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 08073C0766G DATED: 5/12/16



ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606

DATED: AUGUST 2022



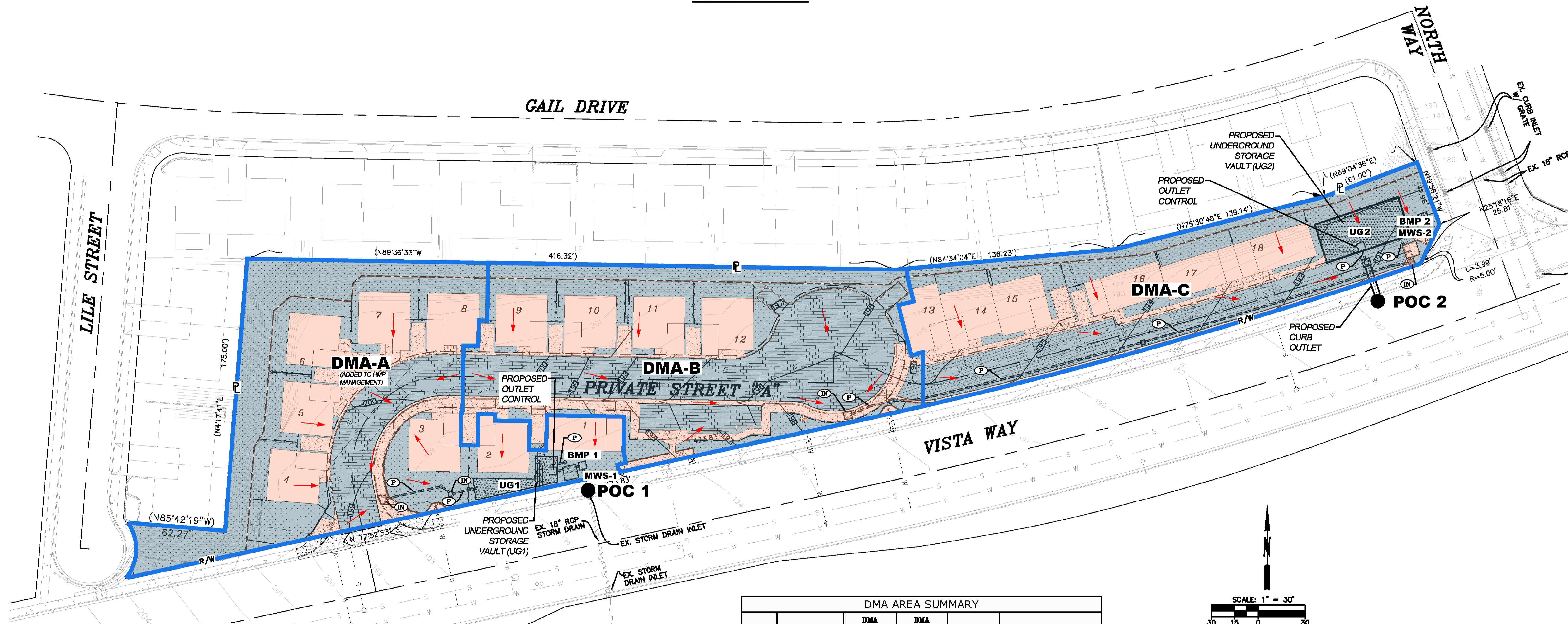
T21-00002
D21-00005
DB21-00003

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 105 - Escondido, CA 92025 (619) 749-8816 Fax (619) 749-8818
JOB NO. 498-01, DATE AUGUST 31, 2022

Date: 8/31/2022 SHEET 11 OF 12

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING (D21-00005) IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY (DB21-00003)

VISTA WAY HOMES
DMA PLAN

NOTES:

1. THE UNDERLYING SOIL TYPE GROUPS IS "D" FOR THE ENTIRE PROPERTY AND SURROUNDING PARCELS
2. THE APPROXIMATE DEPTH TO GROUND WATER IS EXPECTED TO BE LESS THAN 15 FEET
3. NO CRITICAL COARSE SEDIMENT YIELD AREAS TO BE PROTECTED BASED ON SEDIMENT TRANSPORT ANALYSIS (SEE PROJECT SWQMP).
4. THE SITE DOES NOT CONTAIN ANY EXISTING NATURAL HYDROLOGIC FEATURES. (WATERCOURSES, SEEPS, SPRINGS, WETLANDS)

LEGEND

- POC 1** ● POINT OF COMPLIANCE
- MWS-#** MODULAR WETLAND SYSTEM
- PERVIOUS AREAS
- IMPERVIOUS AREAS
- PROPOSED PIPE
- PROPOSED INLET
- DRAINAGE MANAGEMENT AREA (DMA)
- FLOW DIRECTION

DMA AREA SUMMARY

DMA ID	DRAINS TO	DMA IMPERVIOUS AREA (SF)	DMA PERVIOUS AREA (SF)	TOTAL	TYPE OF BMP
A	BMP 1 / POC 1	17,481	13,846	31,327	PROPRIETARY RETENTION & BIO-FILTRATION(MWS)
B	BMP 2 / POC 2	22,501	7,767	30,268	PROPRIETARY RETENTION & BIO-FILTRATION(MWS)
C	BMP 2 / POC 2	9,605	18,405	28,010	PROPRIETARY RETENTION & BIO-FILTRATION(MWS)

1. DMA Type can only be: 1) Drains to BMP, 2) Self-mitigating, 3) De Minimis, or 4) Self-retaining
2. BMP Type must be consistent with terminology in the BMP Design Manual and/or CASQA Fact Sheets
3. Structural BMP Size is typically presented as an area (sq. ft.) or size (e.g., proprietary devices)

TRIPLE PURPOSE BMP

BMP	TRIBUTARY AREA (SF)	FOOTPRINT AREA (FT ²)	DEPTH (FT)	TOTAL VOLUME (FT ³)
UG1	31,327	847	3.5	2,264
UG2	53,964	1447	3.5	5,065

SUMMARY OF RISER

BMP	LOWER ORIFICE		UPPER WEIR	
	DIAMETER (IN)	ELEV. (FT)	LENGTH (FT)	ELEV. (FT)
UG1	1.4	18	6	3.5
UG2	1.4	18	6	3.5



SAMPLE PROHIBITIVE
SIGNAGE
NTS

T21-00002
D21-00005
DB21-00003

REFERENCE ONLY

ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 105, El Cajon, CA 92021 (619) 749-8816 Fax (619) 749-8818
JOB NO. 499-01, DATE AUGUST 31, 2022

Date: 8/31/2022

SHEET 12 OF 12