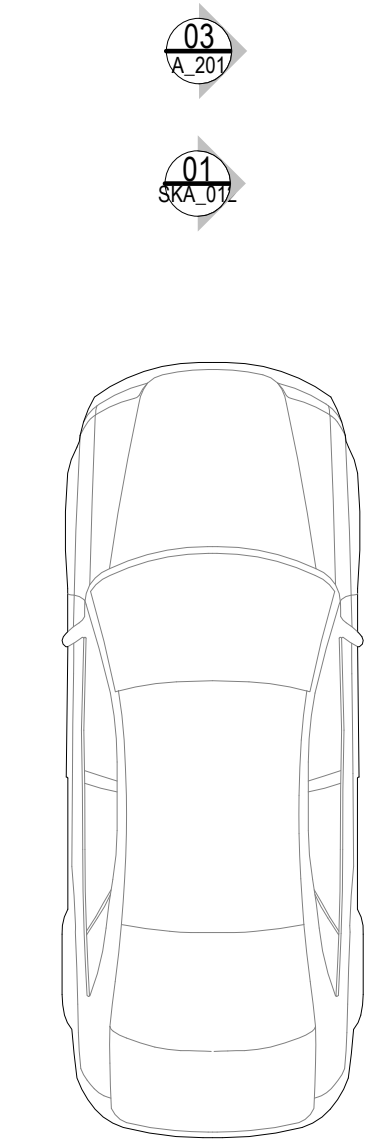
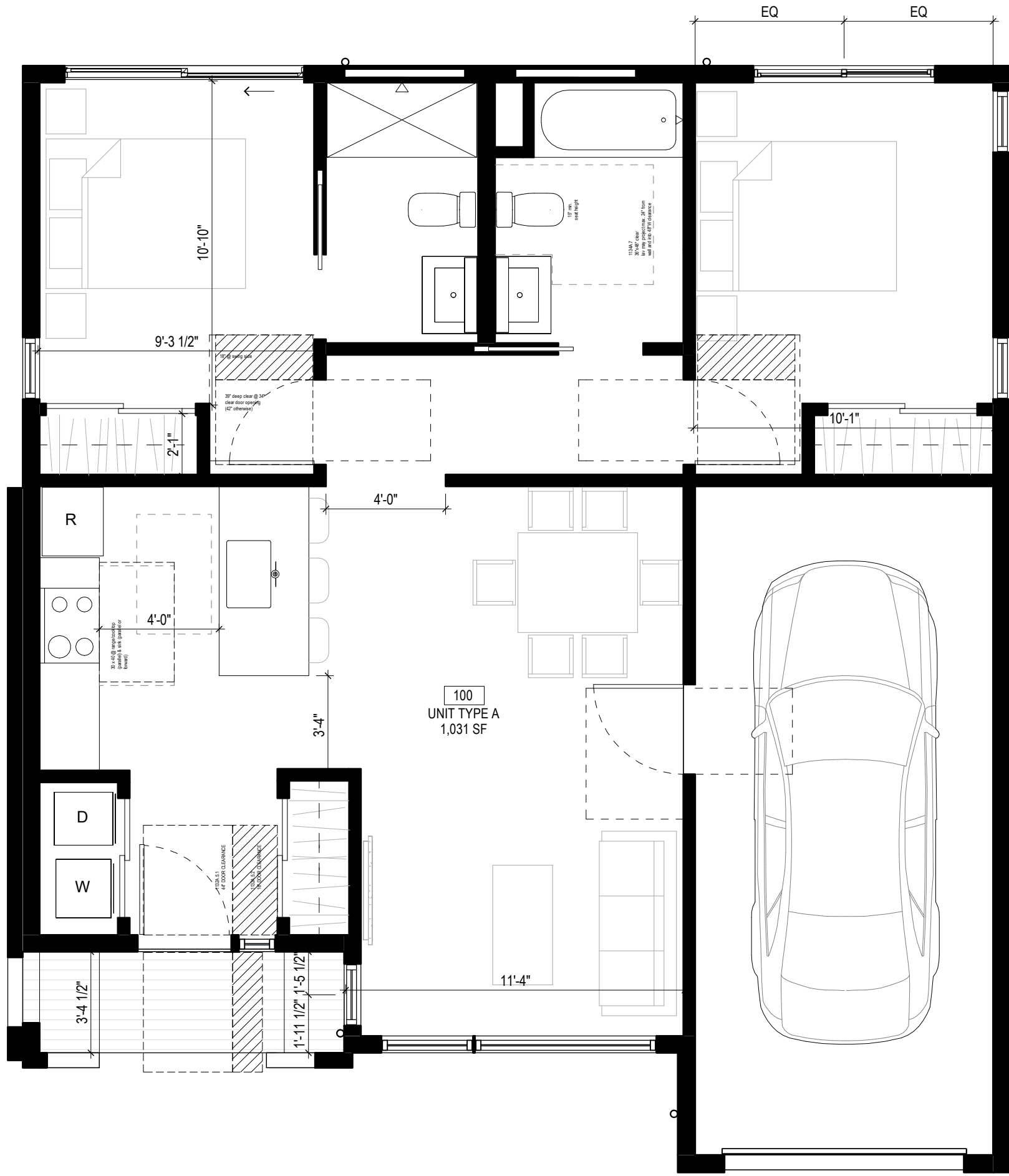


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FLOOR PLAN - TYPE A
SCALE [1/4" = 1'-0"]

KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

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* LEGEND:

- *SEE G_000 FOR ADDITIONAL LEGEND ITEMS
- TYPICAL DOOR OFFSET, UNO
 - FACE OF FINISHED WALL
 - EXTERIOR WALL MTD LIGHT
 - HOSE BIB
 - DROP CEILING ABOVE (GWB)
 - WALL TAG, SEE G_503

OCEANSIDE

3710 Vista Way, Oceanside, CA
JOB NO:
1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

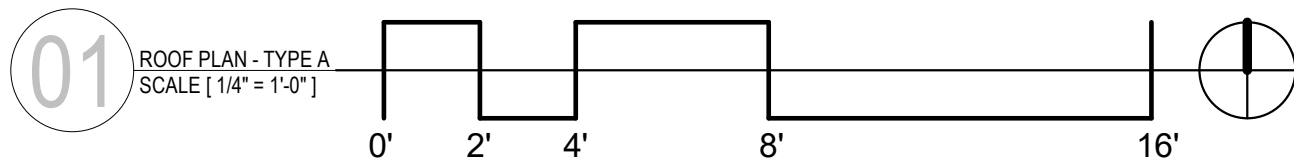
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PLANS - TYPE A

A_101

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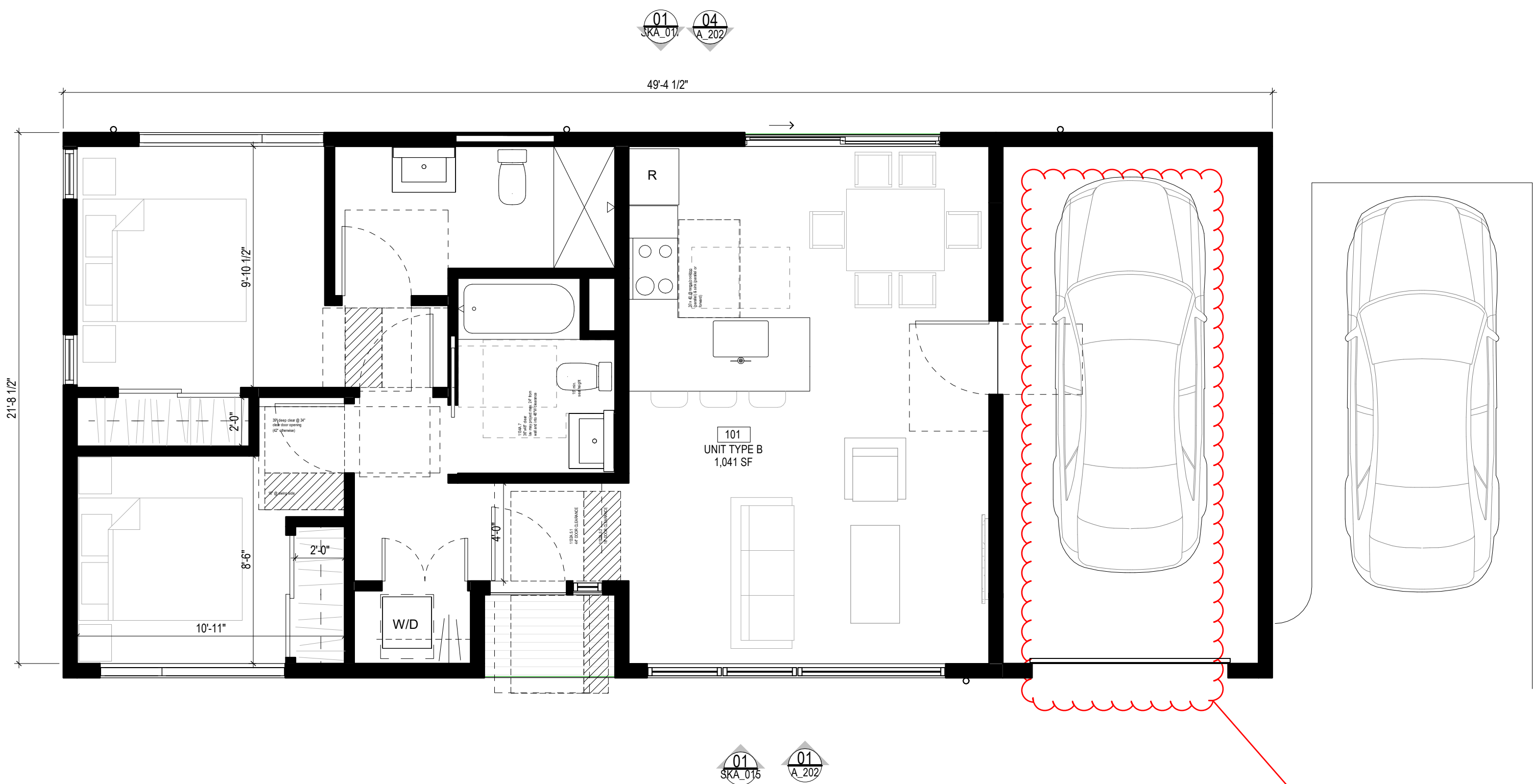


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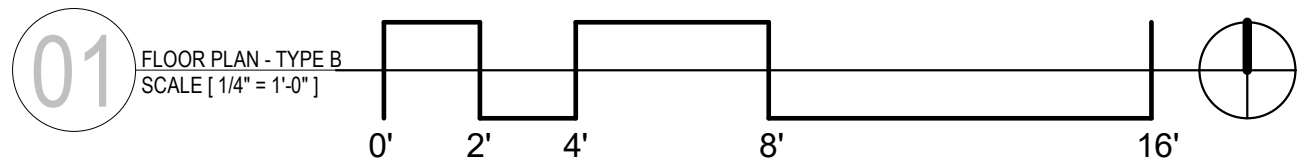
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Add interior dimensions, A_101., A_103., A_105 and A_107 to show compliance with the code requirement of Article 31, Section 3103 which requires a minimum interior width of 18 ft. (not exterior).



KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

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OCEANSIDE

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JOB NO:
1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

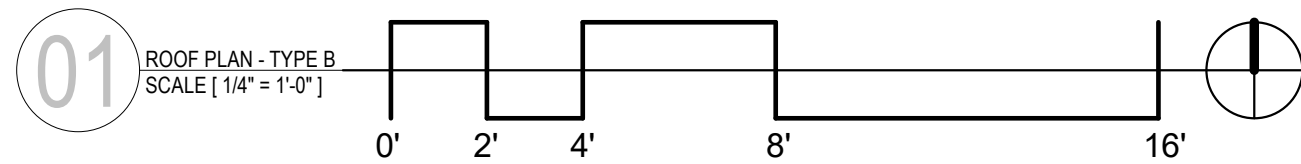
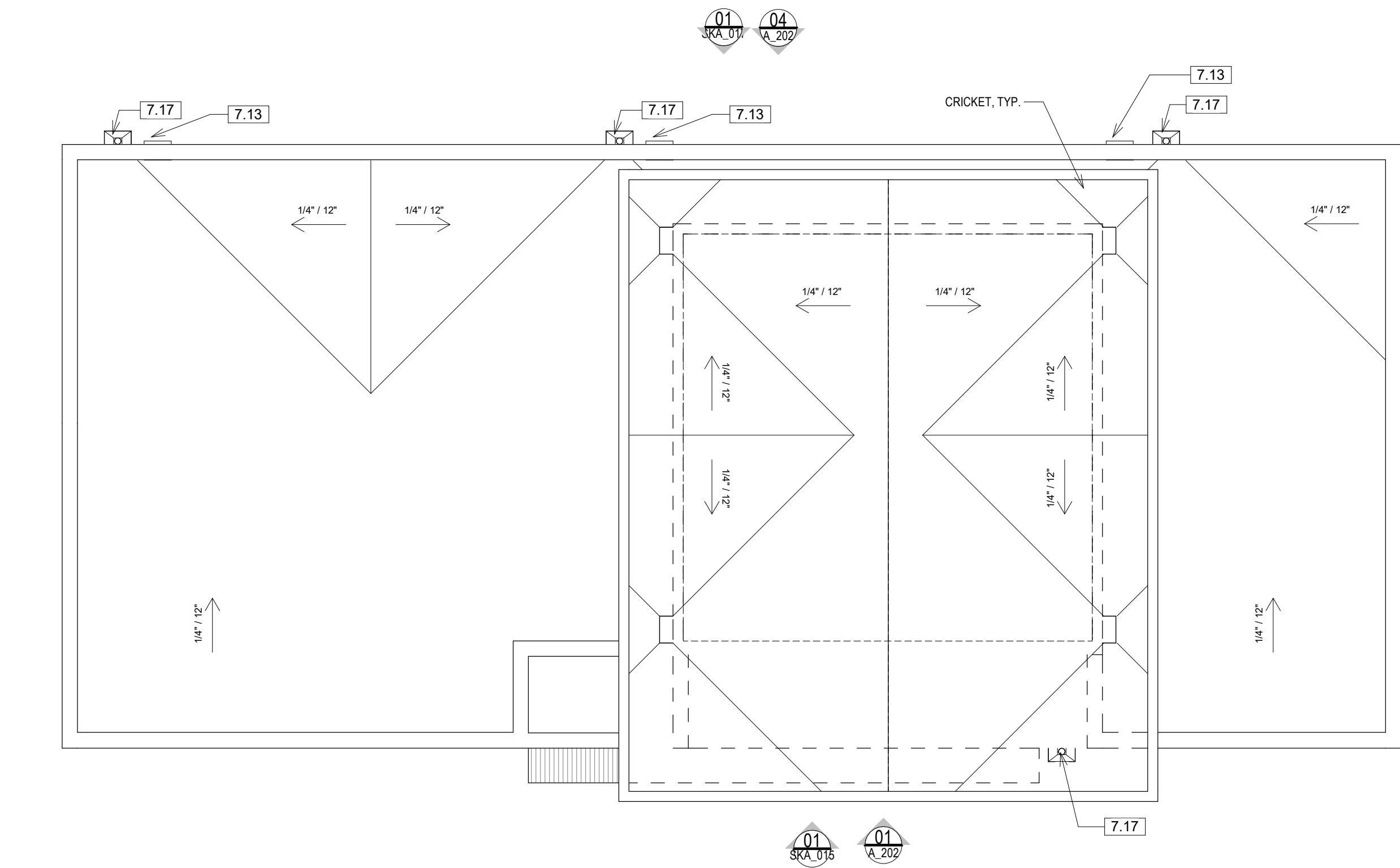
SCALE [AS NOTED]

FLOOR PLAN TYPE B

A_103

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KEYNOTES	
Key Value	Keynote Text
7.13	OVERFLOW SCUPPER
7.17	RAIN CONDUCTOR WITH 3\"/>

SHEET NOTES

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OCEANSIDE

3710 Vista Way, Oceanside, CA

APN:

JCP NO:
1505

PTS:

Architect:

TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:

LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:

tbd



PROJECT PHASE

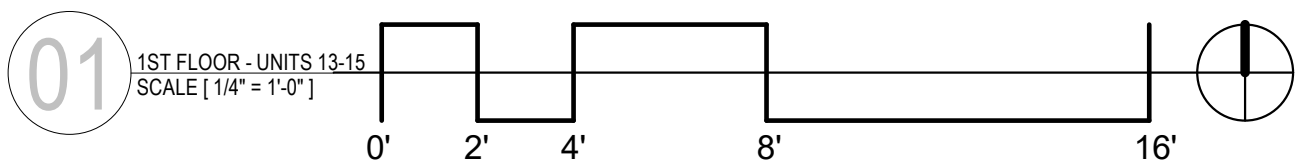
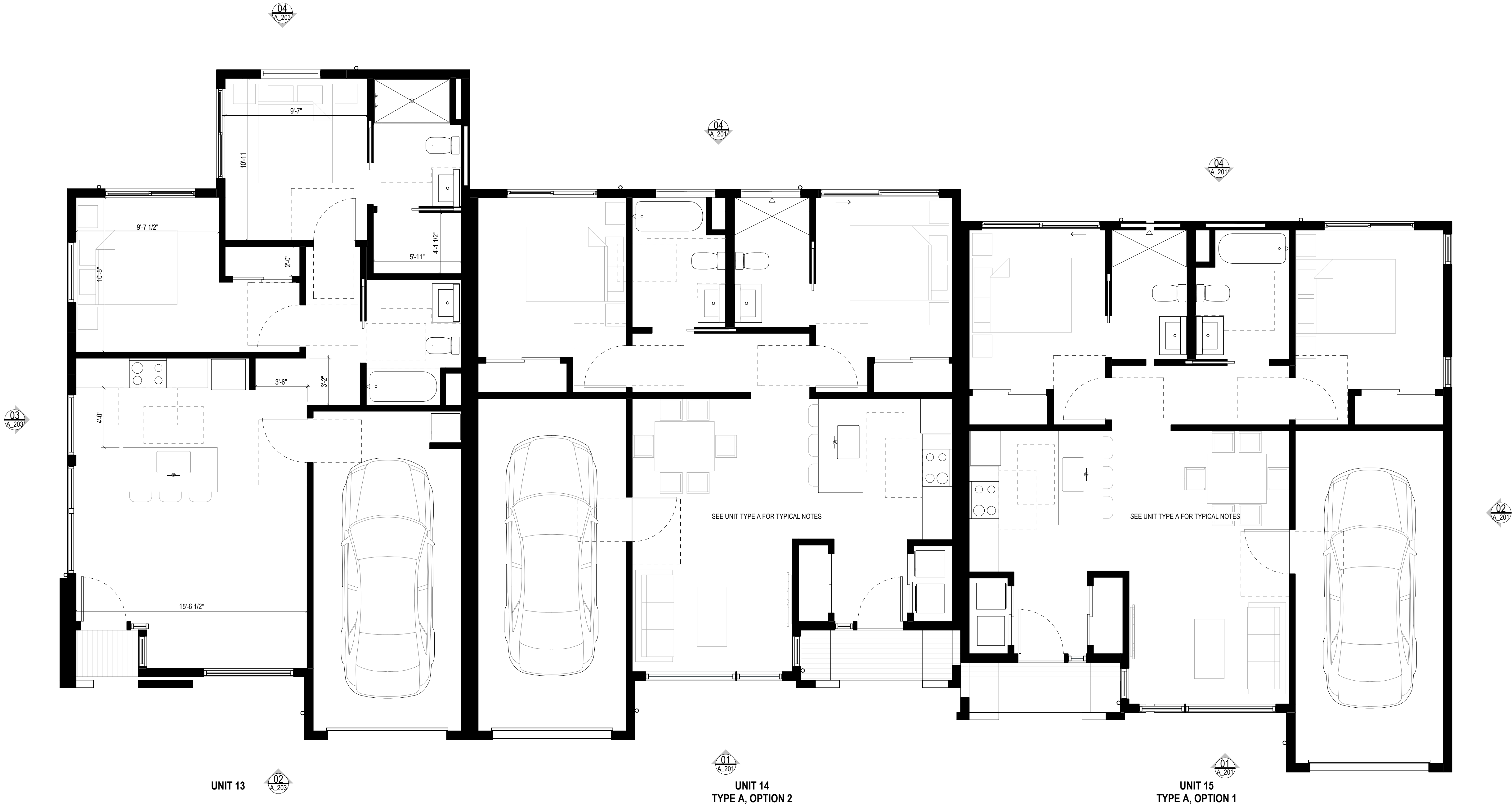
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ROOF PLAN TYPE B

A_104

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KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

1 TBD

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APN:
PTS:

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TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
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LLC
123 Street
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v: 619.930.5445

Civil Engineer:
tbd



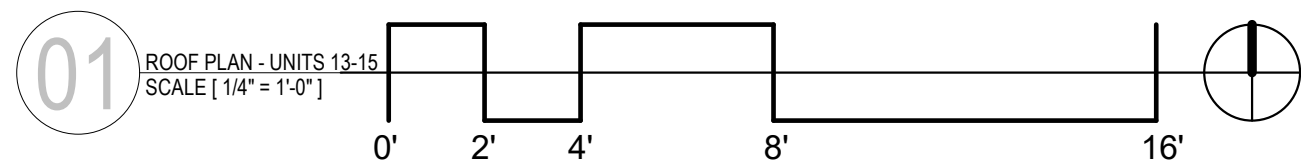
PROJECT PHASE

SCALE [AS NOTED]

PLANS - UNITS 13-15

A_105

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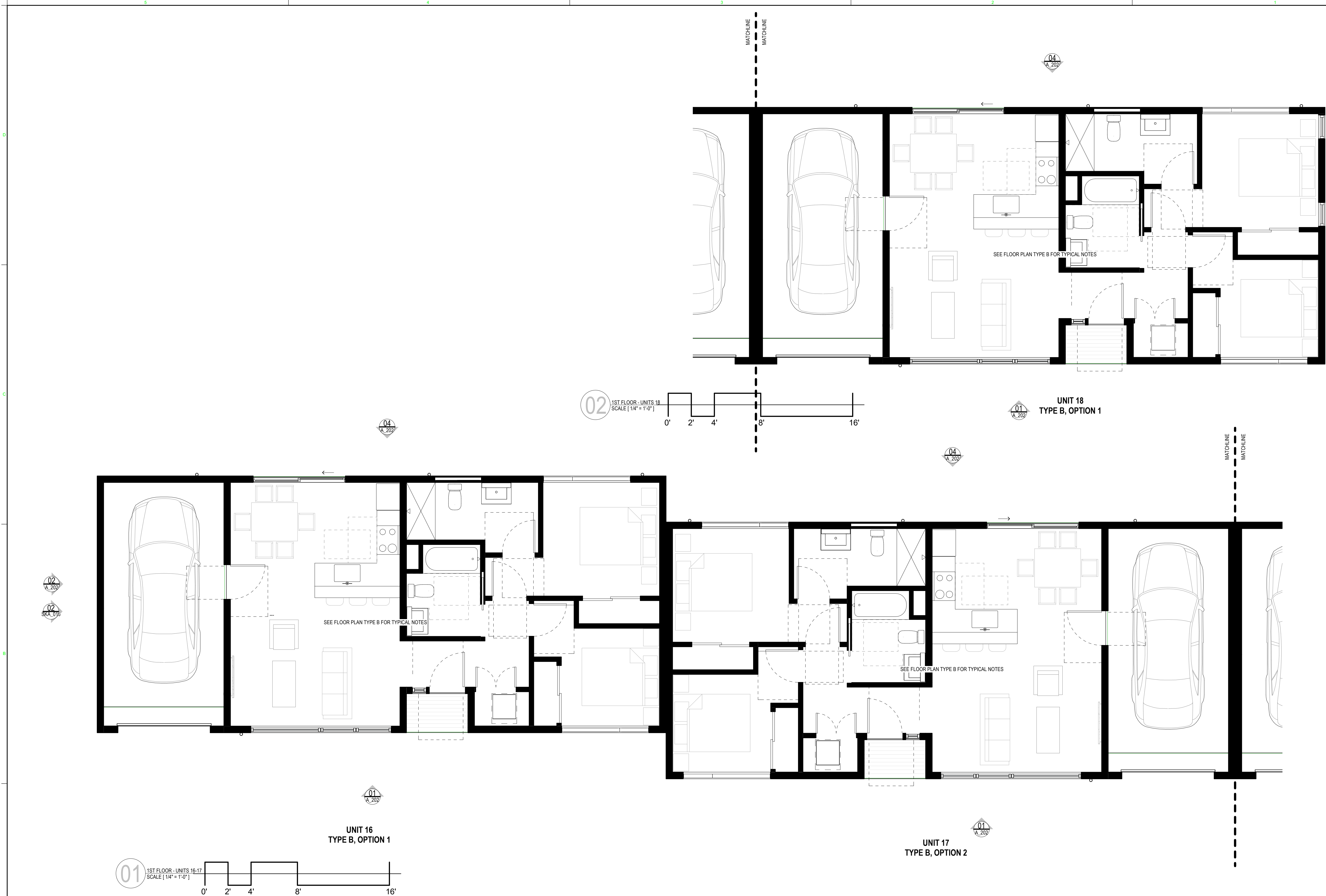


SHEET NOTES

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OCEANSIDE

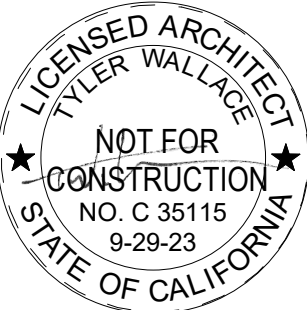
3710 Vista Way, Oceanside, CA
APN: 1505

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



SHEET NOTES

KEYNOTES	
Key Value	Keynote Text

① TBD

② TBD

③ TBD

PROJECT PHASE

SCALE [AS NOTED]

FLOOR PLAN - UNIT 16-18

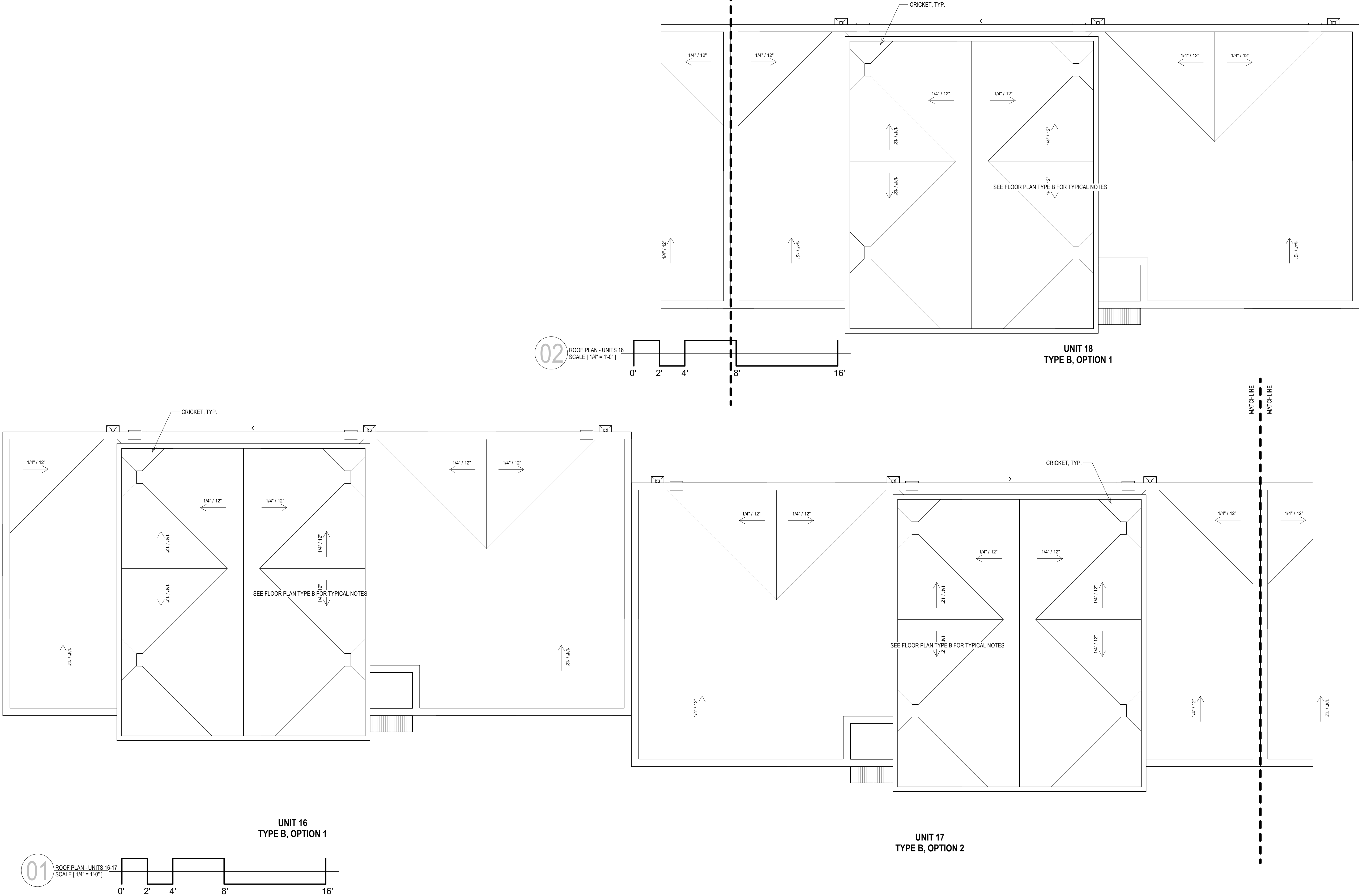
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KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

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2 TBD

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JCP NO.
1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.455.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

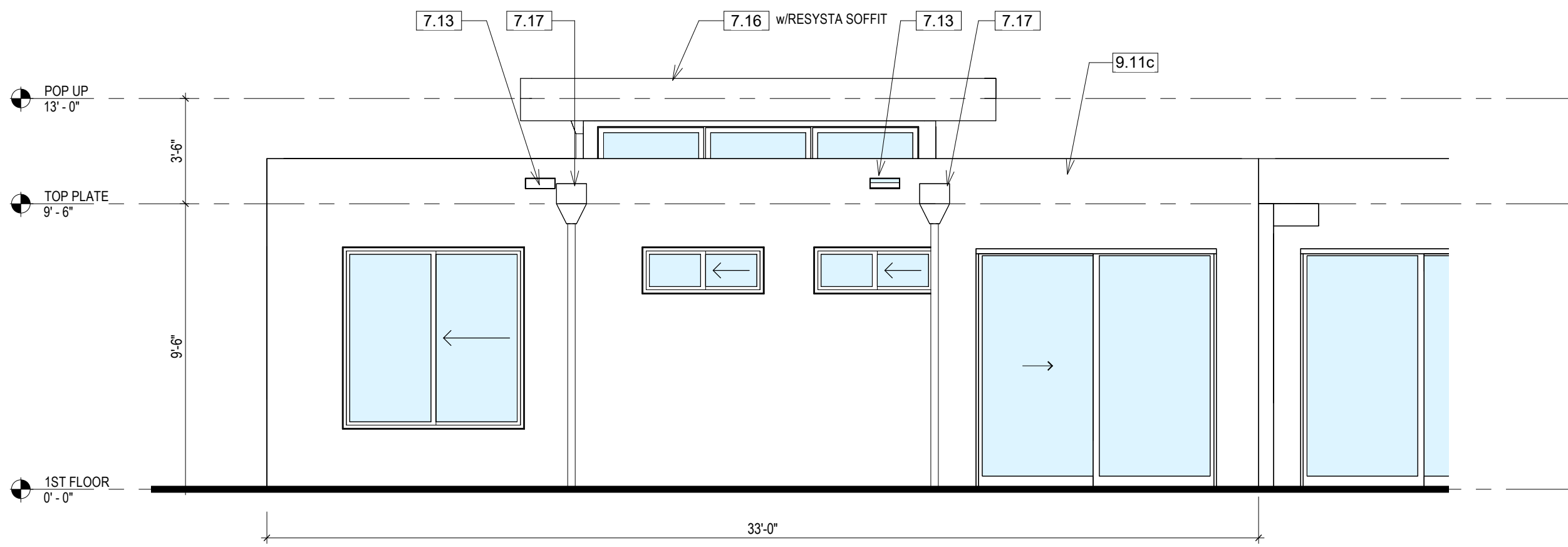
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ROOF PLAN - UNITS 16-18

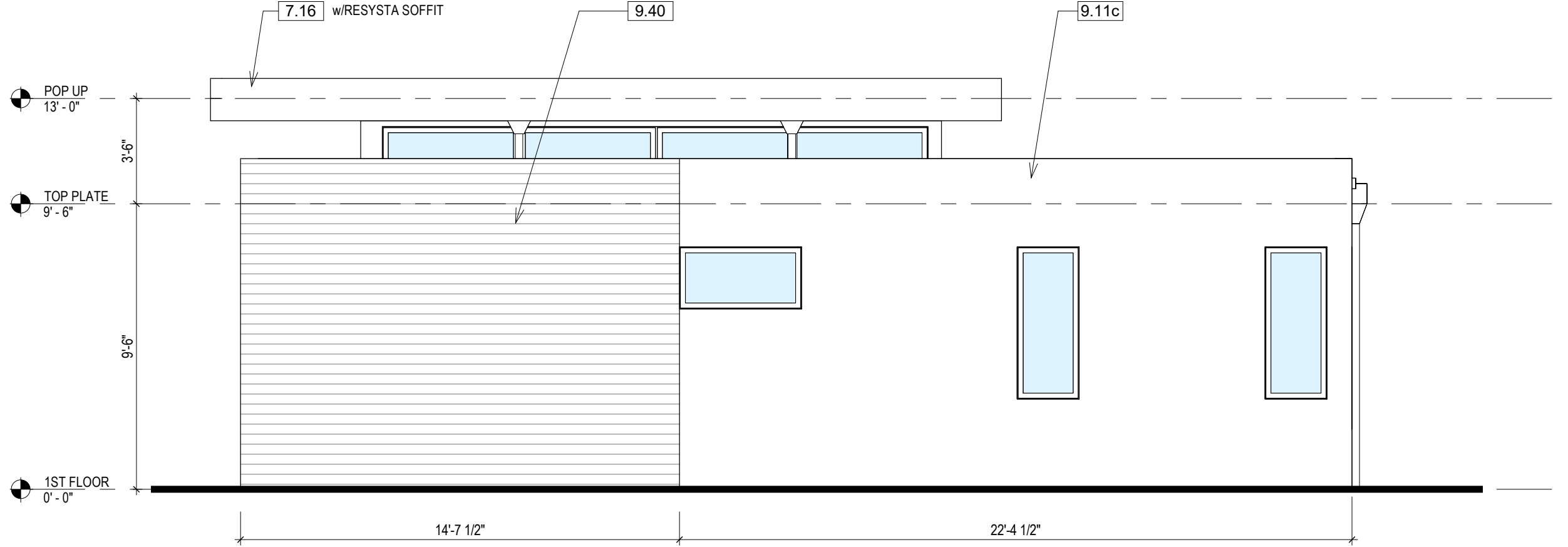
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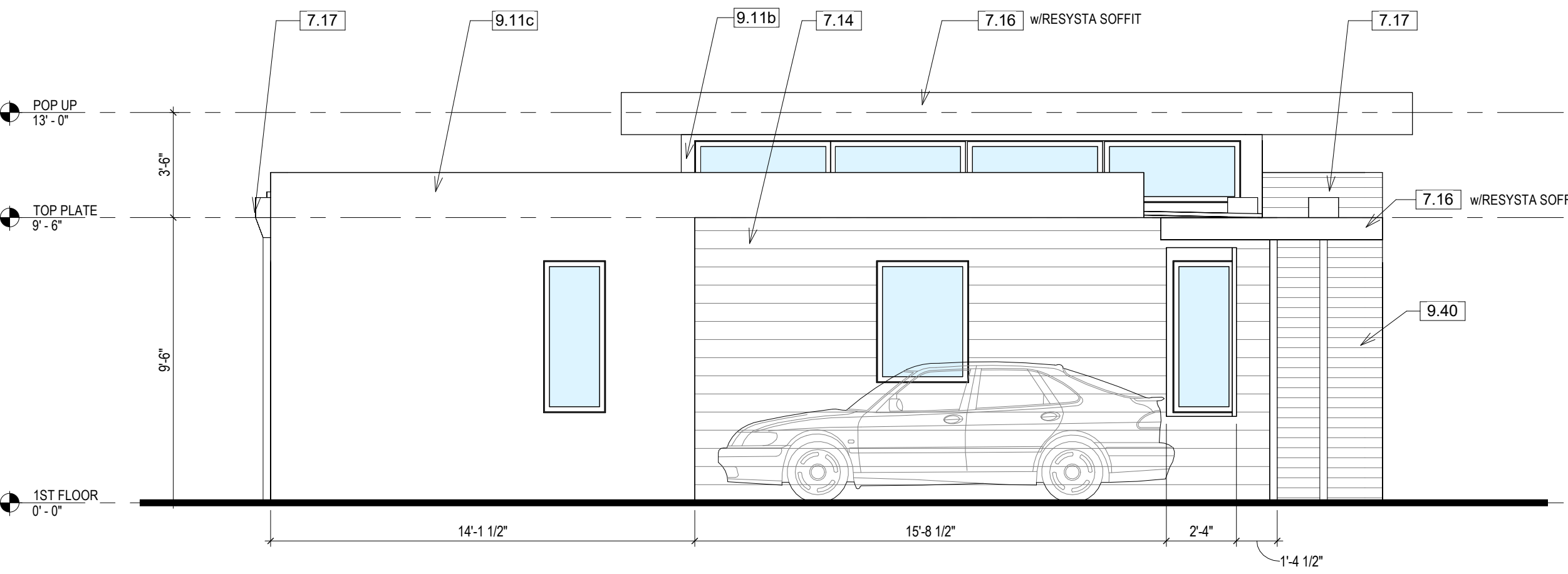
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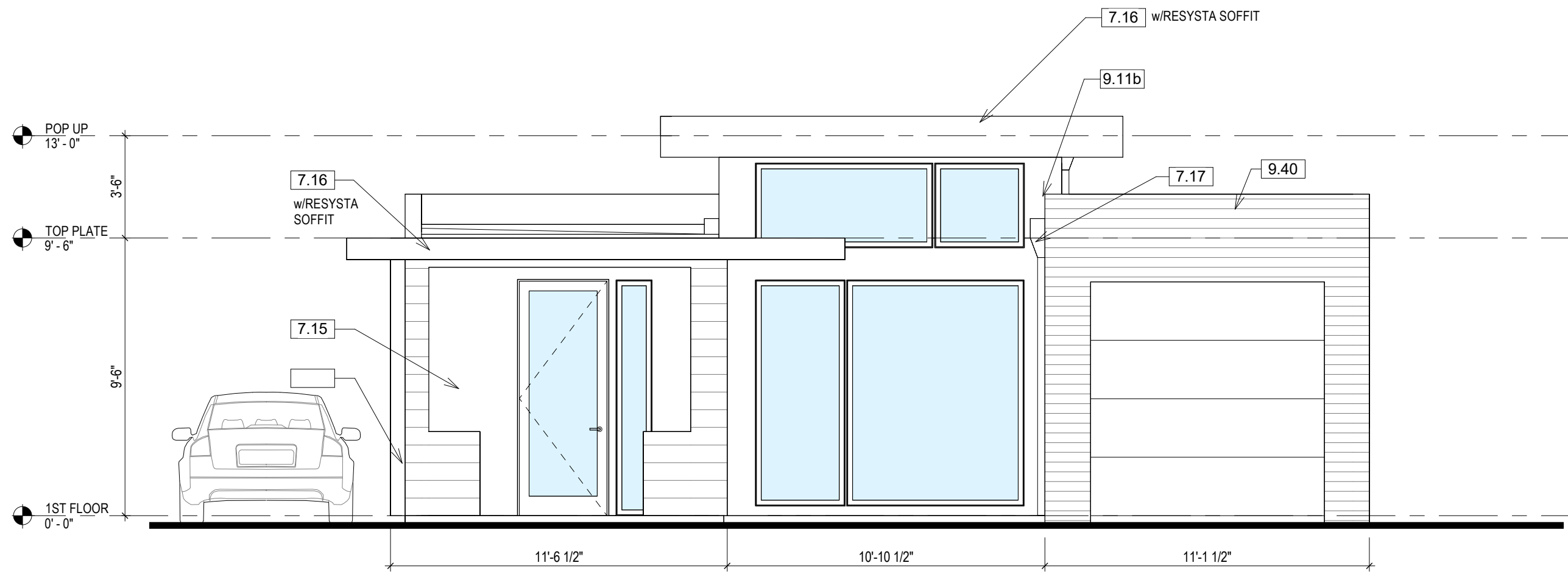
04 UNIT TYPE A - REAR ELEVATION
SCALE [1/4" = 1'-0"]



02 UNIT TYPE A - RIGHT ELEVATION
SCALE [1/4" = 1'-0"]



03 UNIT TYPE A - LEFT ELEVATION
SCALE [1/4" = 1'-0"]



01 UNIT TYPE A - FRONT ELEVATION
SCALE [1/4" = 1'-0"]



TYPE A - OPTION 1



TYPE A - OPTION 2

KEYNOTES	
Key Value	Keynote Text
7.13	OVERFLOW SCUPPER
7.14	FIBER CEMENT BOARD, PTD, HARDIE PANEL OR SIMILAR
7.15	RESYSTA OR EQUAL
7.16	METAL TRIM, COLOR PER ARCHITECT
7.17	RAIN CONDUCTOR WITH 3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD
9.11b	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, BLACK COLOR TBD
9.11c	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, WHITE COLOR TBD
9.40	FIBER CEMENT LAP SIDING, COLOR PER ARCHITECT

SHEET NOTES

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GENERAL NOTES

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ARCHITECTURE
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San Diego, CA 92107
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LLC
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San Diego, CA 92103
v: 619.930.5445
Civil Engineer:
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PROJECT PHASE

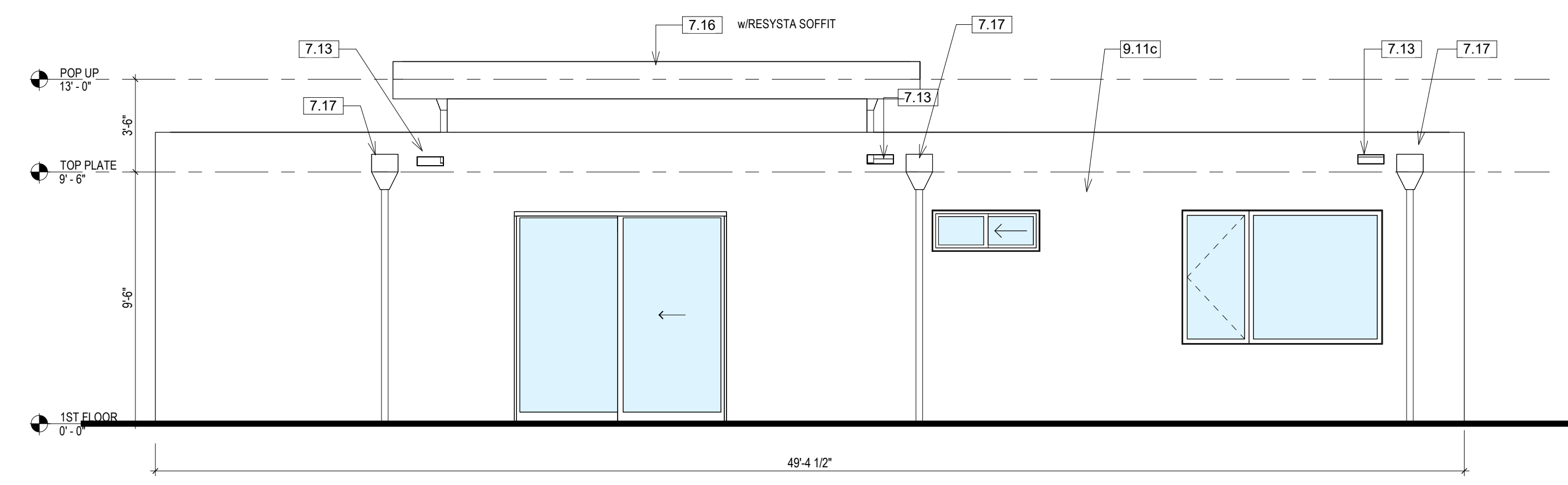
SCALE [AS NOTED]

ELEVATIONS

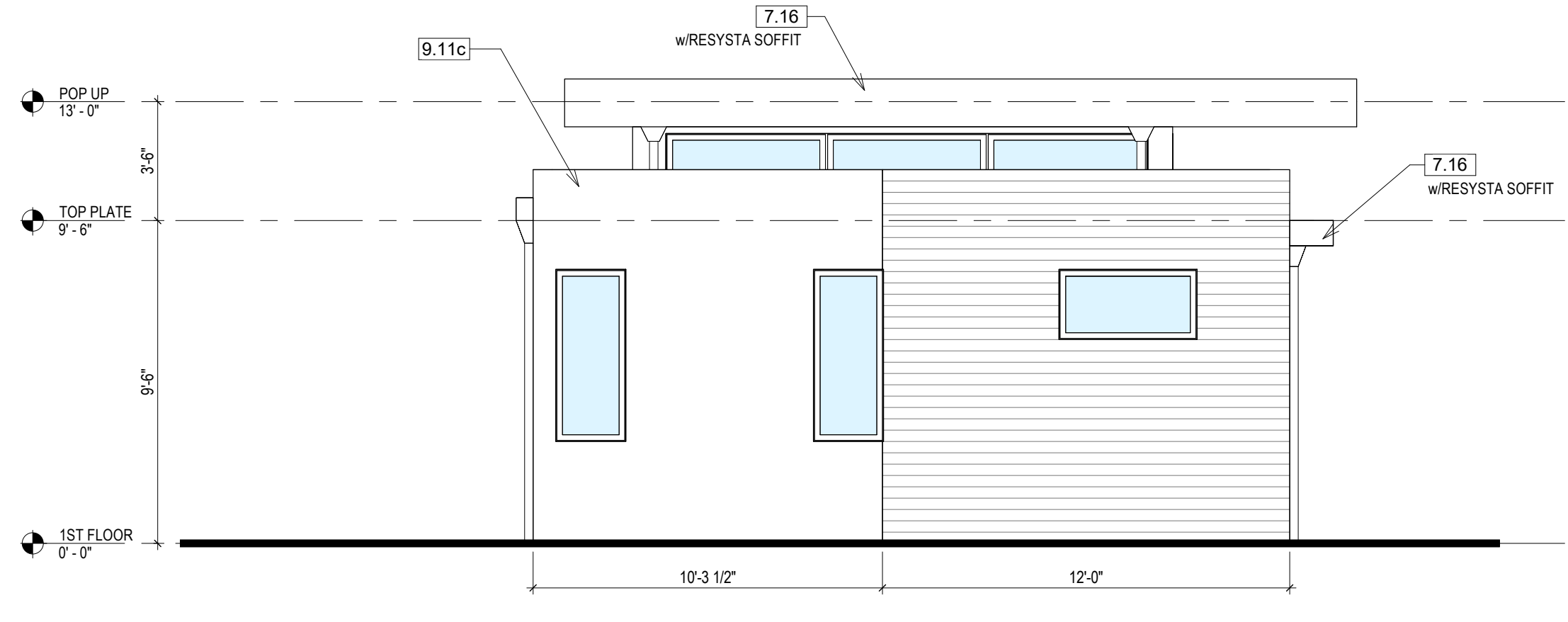
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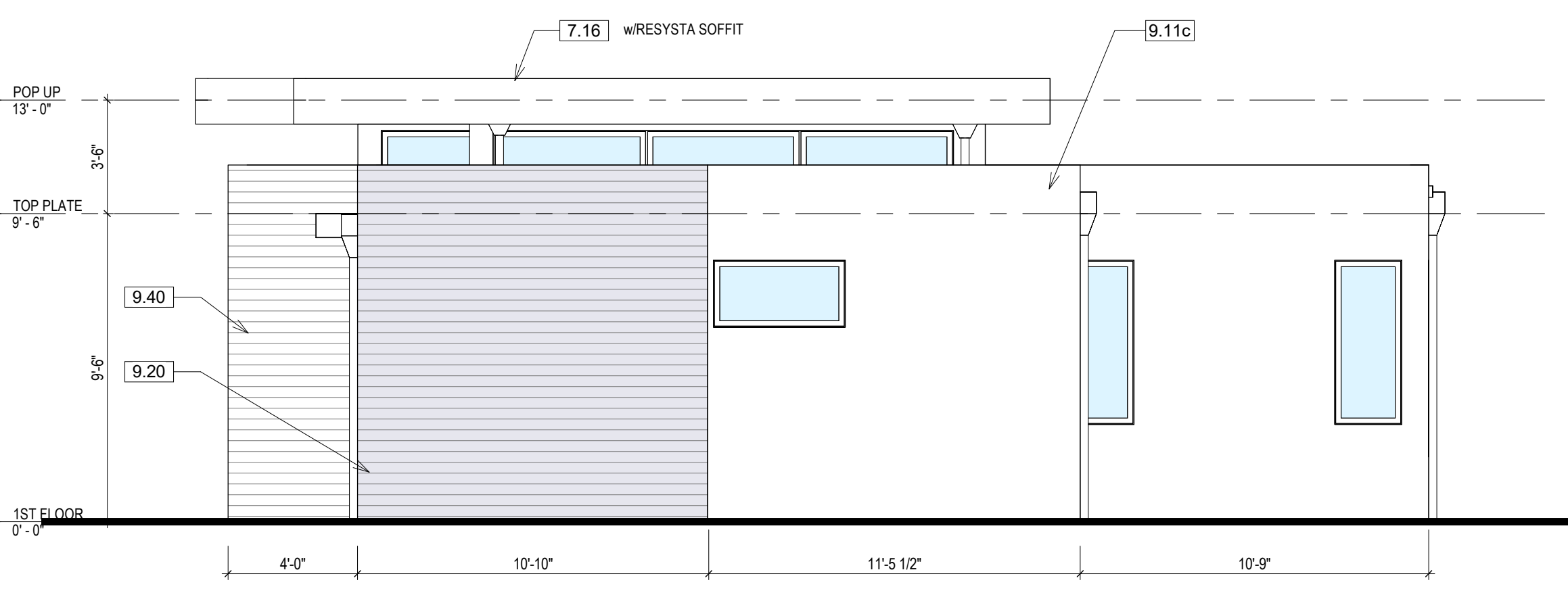
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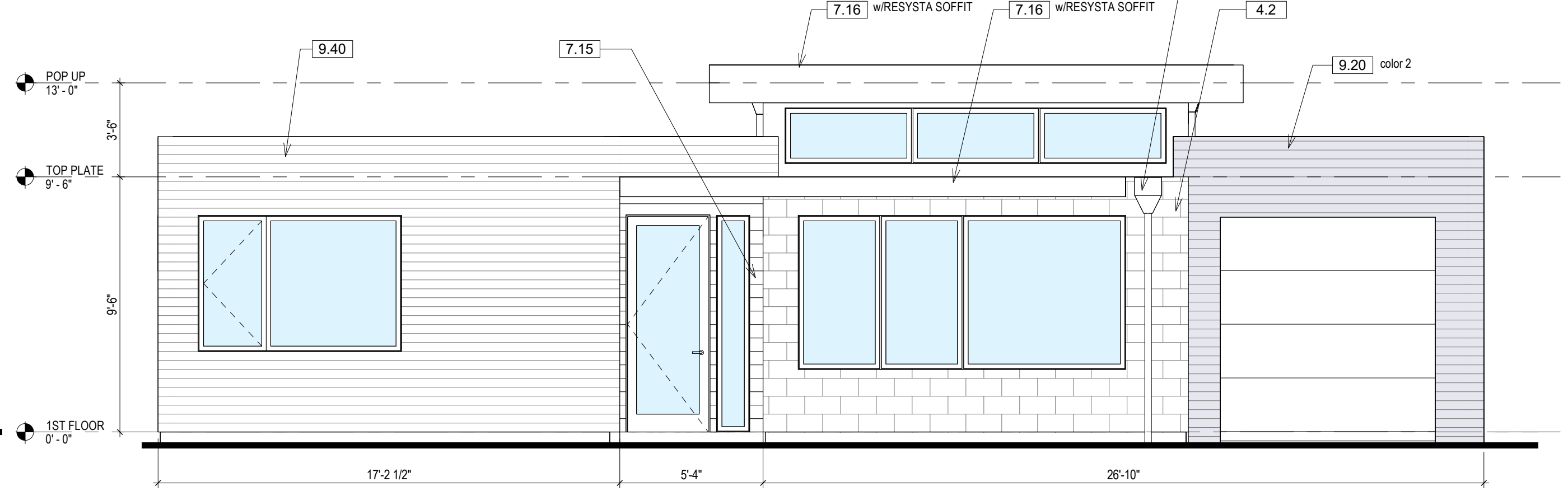
04 UNIT TYPE B - REAR ELEVATION
SCALE [1/4" = 1'-0"]



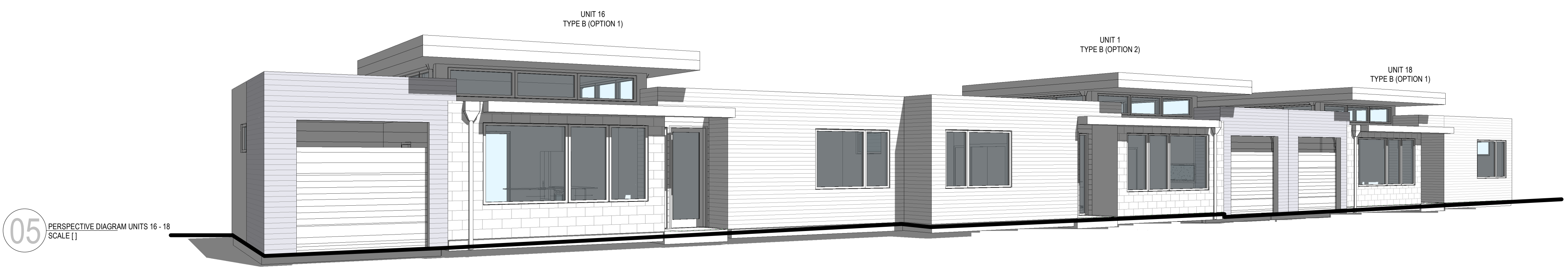
02 UNIT TYPE B - LEFT ELEVATION
SCALE [1/4" = 1'-0"]



03 UNIT TYPE B - RIGHT ELEVATION
SCALE [1/4" = 1'-0"]



01 UNIT TYPE B - FRONT ELEVATION
SCALE [1/4" = 1'-0"]



05 PERSPECTIVE DIAGRAM UNITS 16 - 18
SCALE []



TYPE B - OPTION 1



TYPE B - OPTION 2

KEYNOTES	
Key Value	Keynote Text
4.2	MASONRY VENEER
7.13	OVERFLOW SCUPPER
7.15	RESYSTA OR EQUAL
7.16	METAL TRIM, COLOR PER ARCHITECT
7.17	RAIN CONDUCTOR WITH 3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD
9.11c	3-COAT STUCCO, SMOOTH ACRYLIC FINISH, WHITE COLOR TBD
9.20	JAMES HARDIE, 5/16" STANDARD LAP WITH 4" EXPOSURE, TEXTURE: SMOOTH, COLOR: TBD
9.40	FIBER CEMENT LAP SIDING, COLOR PER ARCHITECT

SHEET NOTES

- 1 TBD
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GENERAL NOTES:
1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

OCEANSIDE

3710 Vista Way, Oceanside, CA
JOB NO: 1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

SCALE [AS NOTED]

ELEVATIONS

A 202

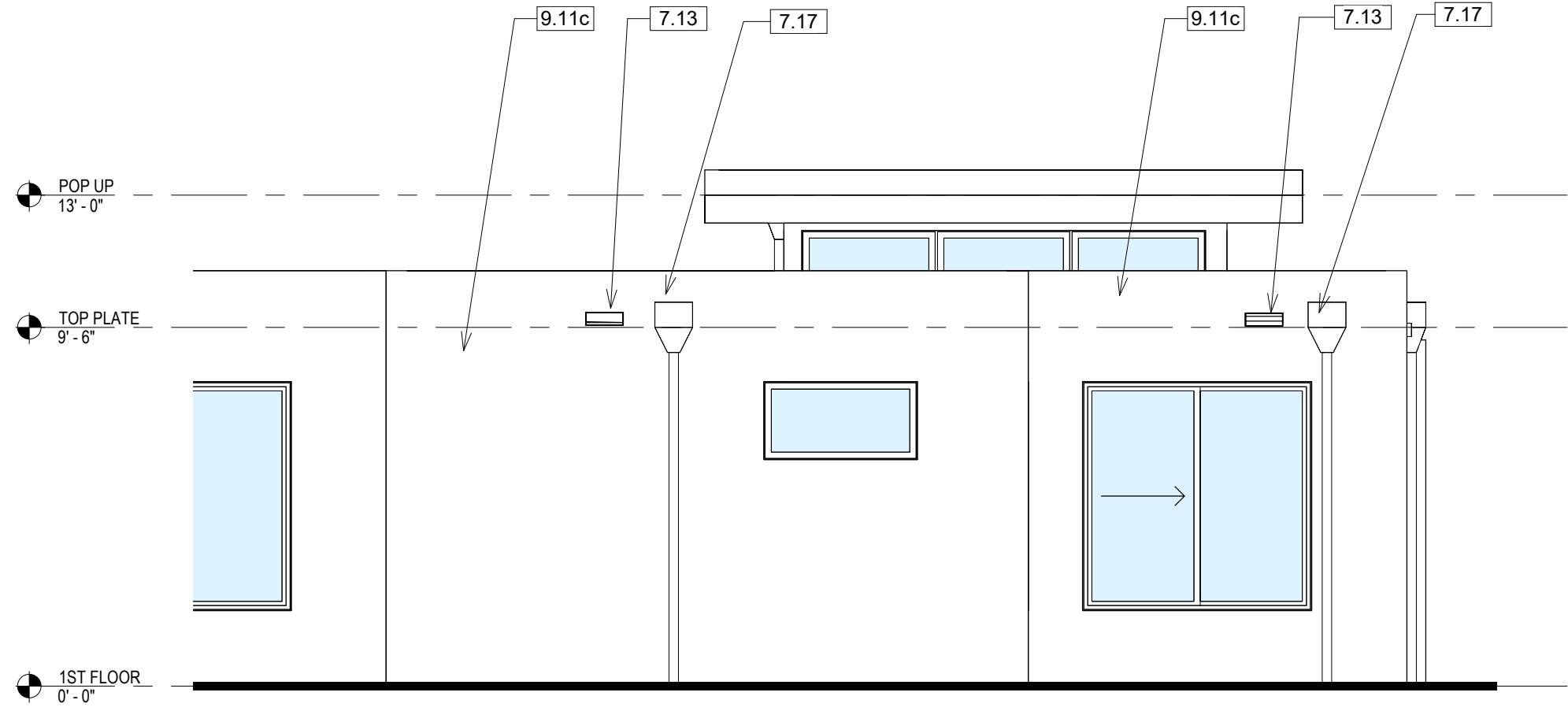
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©TFWA ARCHITECTURE

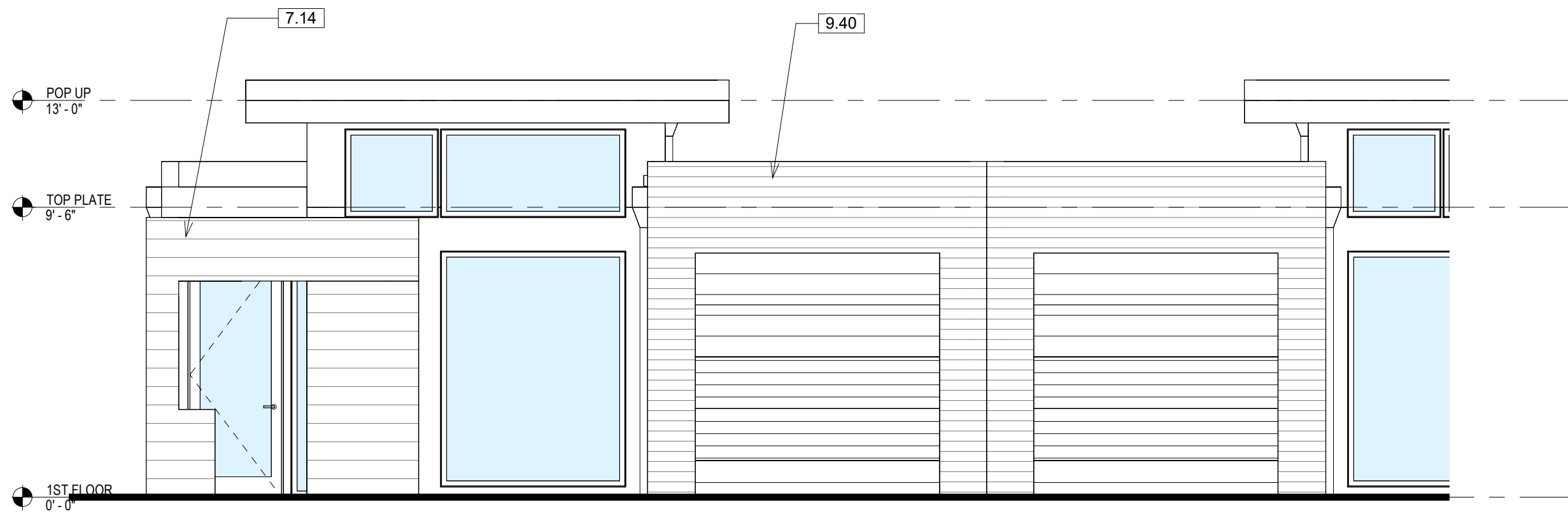
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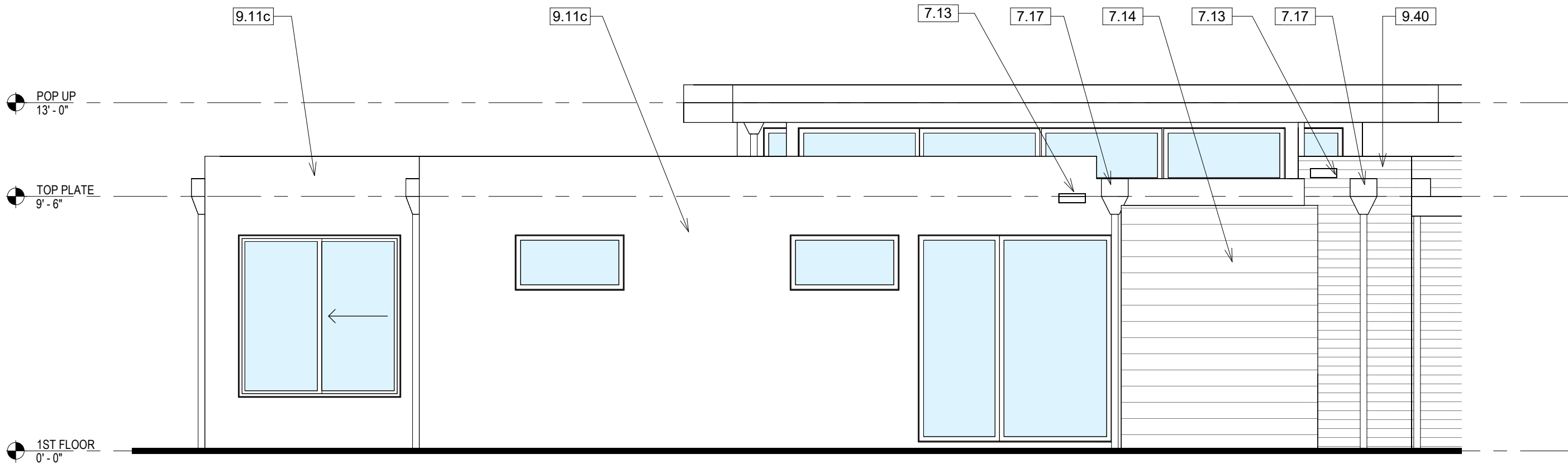
GENERAL NOTES:



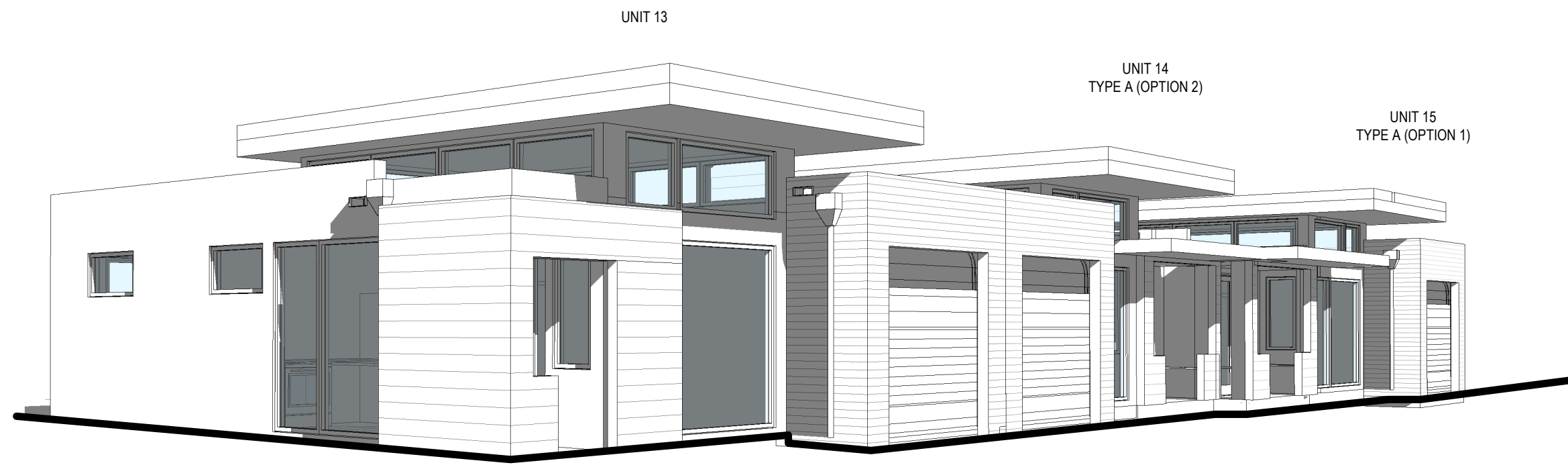
04 UNIT 13 - REAR ELEVATION
SCALE [1/4" = 1'-0"]



02 UNIT 13 - FRONT ELEVATION
SCALE [1/4" = 1'-0"]



03 UNIT 13 - LEFT ELEVATION
SCALE [1/4" = 1'-0"]



01 UNIT 13
SCALE [1]

OCEANSIDE

3710 Vista Way, Oceanside, CA
JSP NO:
1505

APN:
PTS:

Architect:
TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v: 619.485.0887



Owner:
LLC
123 Street
San Diego, CA 92103
v: 619.930.5445

Civil Engineer:
tbd



PROJECT PHASE

SCALE [AS NOTED]

ELEVATIONS

A 203

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5

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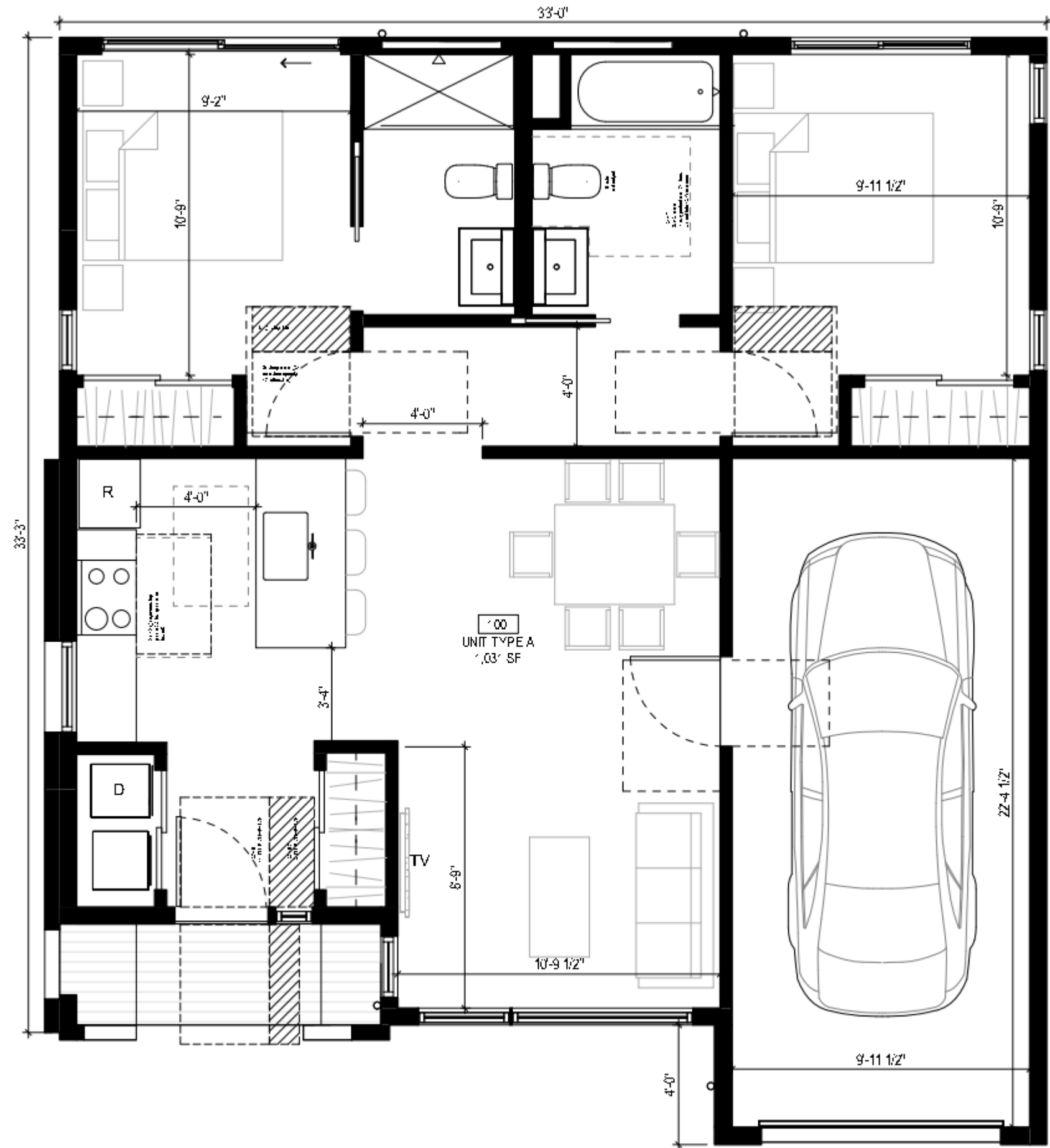
3

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SKA_001 // OCEANSIDE

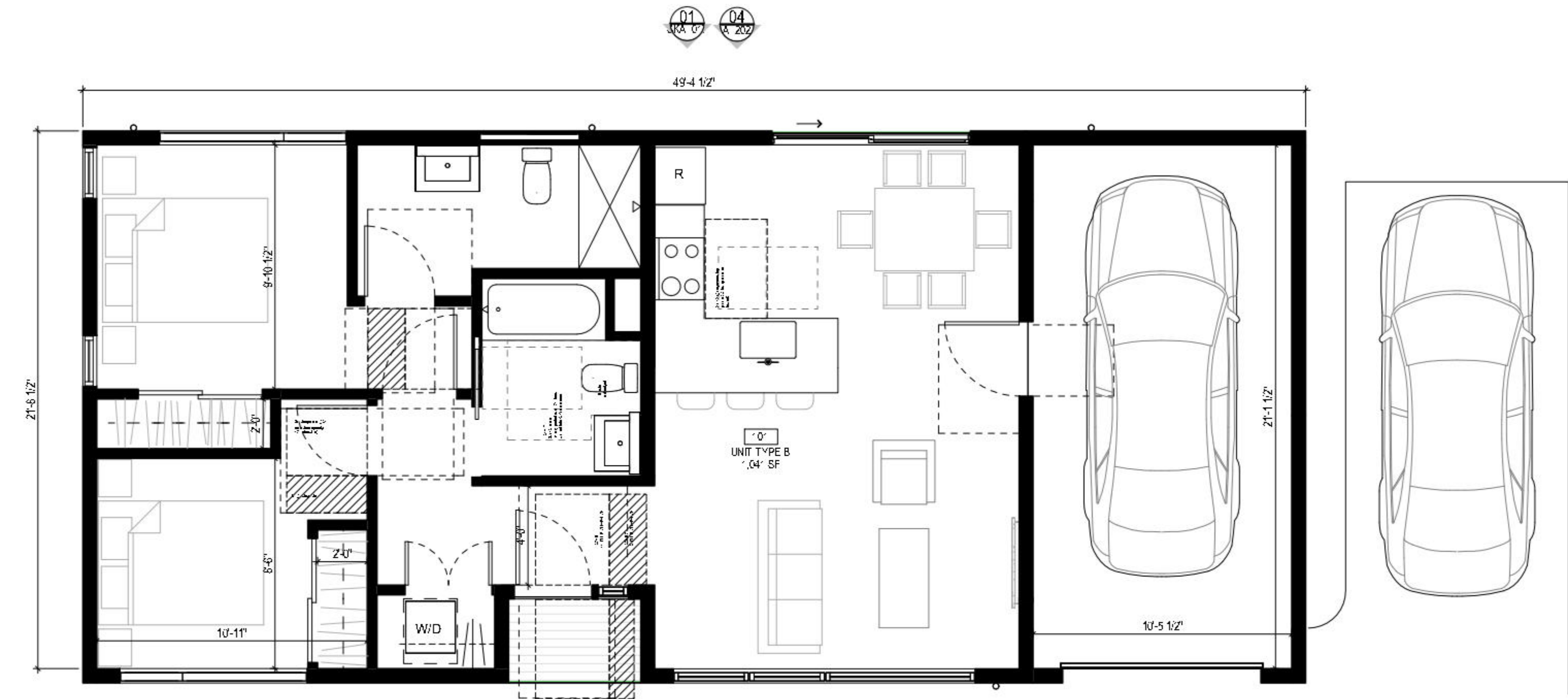
TFWA
ARCHITECTURE + DESIGN
5022 Santa Monica Avenue
San Diego, CA 92107
v. 6/9/455.0667



01 UNIT TYPE A
SCALE: 1/4" = 1'-0"

UNIT TYPE A PLAN

SCALE: AS NOTED
DATE: 2/22/20



01 UNIT TYPE B
SCALE: 1/4" = 1'-0"

UNIT TYPE B PLAN

SCALE: AS NOTED
DATE: 2/22/20

SKA_002 // OCEANSIDE

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5022 Santa Monica Avenue
San Diego, CA 92107
v. 6/9/455.0667

KEYNOTES	
Key Value	Keynote Text

SHEET NOTES

GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
2. REFER TO PROJECT SPECIFICATIONS (INCLUDING SPECIFICATIONS SHEET) FOR ADDITIONAL INFORMATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
3. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
5. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. INTERIOR WALLS ARE DIMENSIONED TO FACE OF FINISH.
6. ENSURE THAT CONTRACTOR-INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
7. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
8. CONTRACTOR TO BE RESPONSIBLE FOR QUANTITIES & COUNTS AND TO BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR SCOPE.

OCEANSIDE

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JOB NO.
1505

APN:

PTS:

Architect:

TFWA
ARCHITECTURE
5022 Santa Monica Avenue
San Diego, CA 92107
v. 6/9/455.0667



Owner:
LLC
123 Street
San Diego, CA 92103
v. 6/19/30.5445

Civil Engineer:
tbd



PROJECT PHASE

SCALE: AS NOTED

GARAGES WITH DIMENSIONS