

TENTATIVE MAP

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
- 5 UNITS 1, 17'-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF

- 1 ATTACHED GARAGE SPACE PER UNIT=20
- UNATTACHED STANDARD PARKING SPACES (18'x10')=25
- VAN ACCESSIBLE STANDARD PARKING SPACES=2
- TOTAL PARKING SPACES PROPOSED=47
- PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-42
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056

- PORTIONS OF LOTS 684, 685, 706 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS RECORDED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.19 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506

- LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.60 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%
- ON-SITE GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06072C027662
- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM 0.70 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.

	SITE AREA		SITE DENSITY		GENERAL PLAN		ZONING		LANDSCAPING	
	EXISTING	IN AC	DU/AC		IN AC					
PROPOSED	1.97	0	10.15		RESIDENTIAL	RM-A		100%		
PROPOSED	1.97				SINGLE-FAMILY	RM-A		40%		
PARKING SPACE NUMBER										
UNIT # BUILD AREA SETBACKS										
1, 17-20	1,069	REAR 15'								
2-16	1,089	SIDE 15'								
20 UNITS TOTAL		FRONT 20'								

ENGINEER OF WORK

BARLODOME J. PASTORE, RCE 38606
DATED: MARCH 11, 2021

OWNER

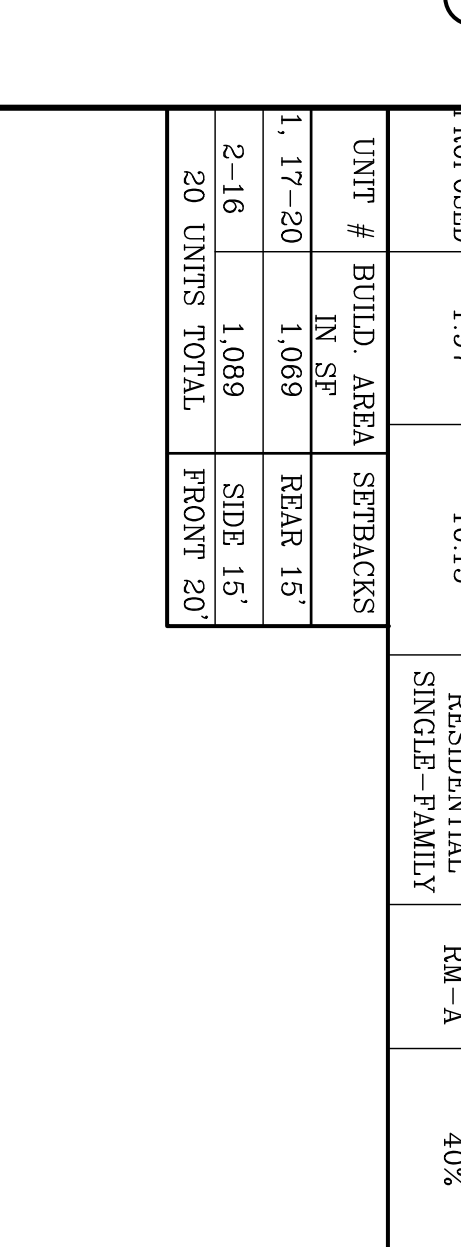
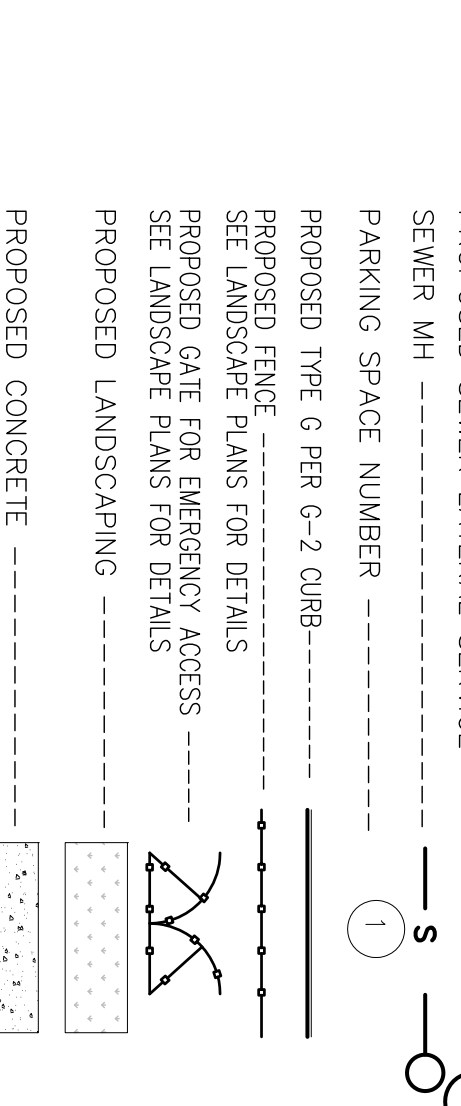
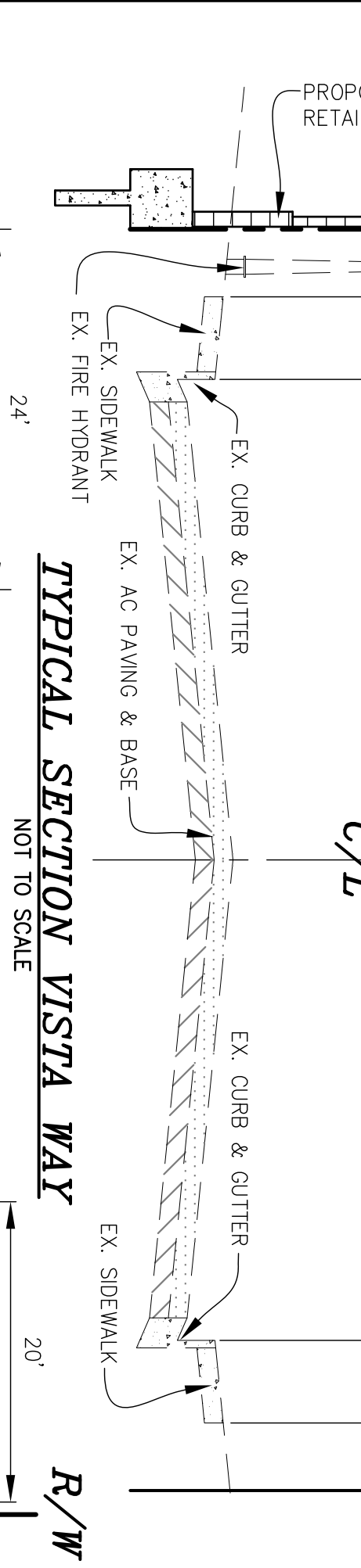
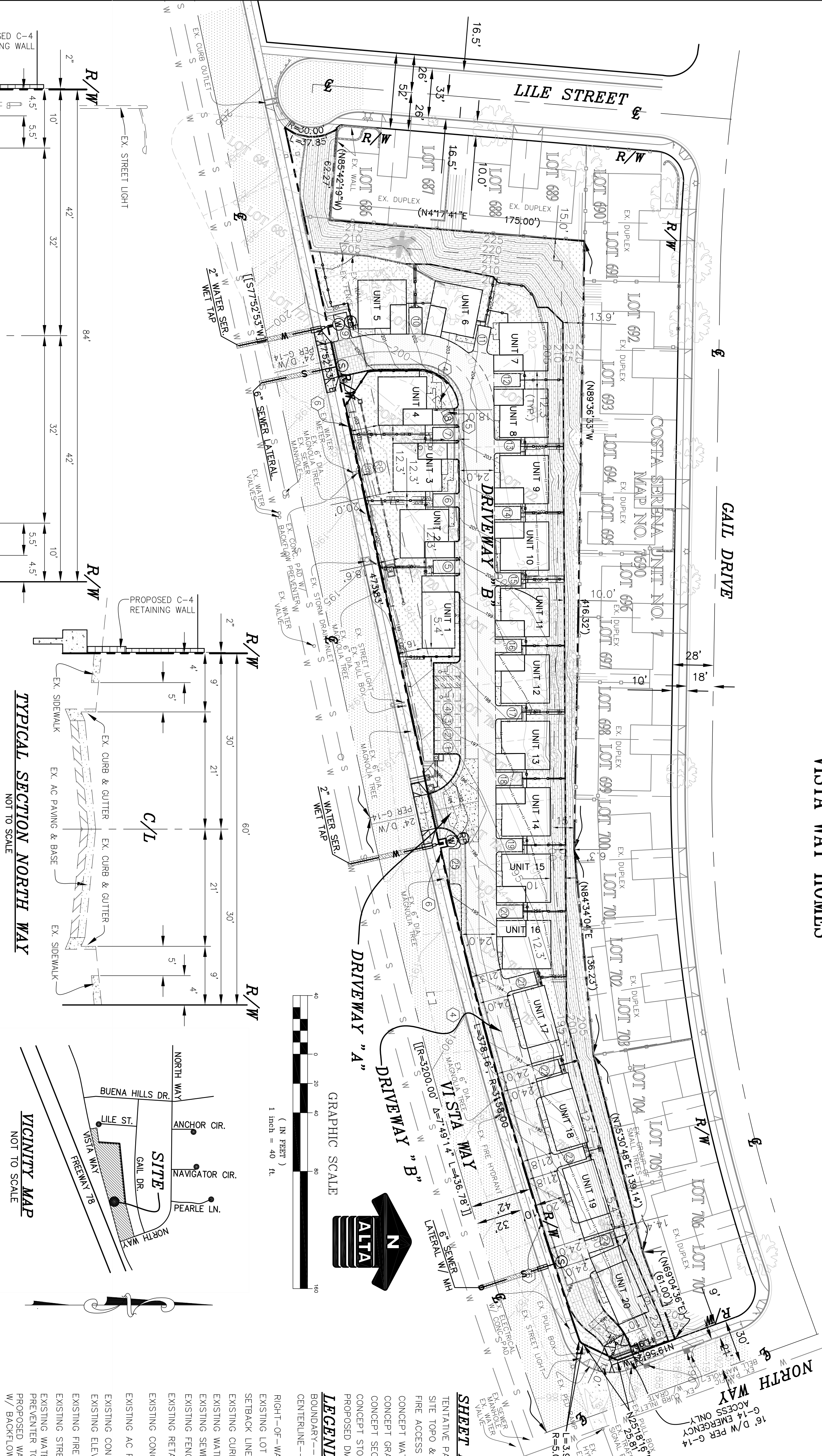
OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9990
RANCHO SANTA FE, CA 92067
TELEPHONE: (858) 401-0900
E-MAIL: rezashiers@gmail.com

BY: REZA SHERRA

ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING
1268 E. Main St., Ste. 100, San Diego, CA 92101 (619) 591-2810 FAX (619) 740-8818
JOB NO. 499-01, DATED MARCH 11, 2021

VISTA WAY HOMES



EASEMENTS NOTES

- SEE SHEET NO. 2 FOR DETAILS
- THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 1900048010 AND DATED FEBRUARY 01, 2019. EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.
- EASEMENT IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH COMPANY RECORDED MARCH 04, 1911 IN BOOK 511, PAGE 235 OF DEEDS. SAID EASEMENT IS NOT PLOTTED HEREON AS NO EXACT LOCATION IS SPECIFIED IN SAID DOCUMENT.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED AUGUST 14, 1973 AS DOCUMENT NO. 73-226902 OF OFFICIAL RECORDS.
 - EASEMENT IN FAVOR OF THE SAN DIEGO GAS & ELECTRIC COMPANY RECORDED DECEMBER 10, 1976 AS DOCUMENT NO. 76-414701 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR PUBLIC STREET AND HIGHWAY IN FAVOR OF THE CITY OF OCEANSIDE PER DOCUMENT RECORDED FEBRUARY 26, 2002 AS DOCUMENT NO. 2002-0159406 OF OFFICIAL RECORDS. THE NORTH LINE OF SAID DOCUMENT IS THE SOUTH LINE OF THIS PROJECT SITE.

TENTATIVE MAP

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 20
- 5 UNITS 1, 17-20 ARE 1,069 SF. 15 UNITS 2-16 ARE 1,069 SF
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=20
 - UNATTACHED STANDARD PARKING SPACES (18'x10')=25
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=47
 - PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 728, PORTIONS OF LOTS 729 AND 732, AND LOT 733, COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7680, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- THE NORTH AVENUE EMERGENCY ACCESS IS FOR EMERGENCY VEHICLES ONLY. THIS ENTRANCE WILL BE GATED WITH A LOCKING MECHANISM THAT IS ACCEPTABLE WITH THE OCEANSIDE FIRE DEPARTMENT.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.

FIRE LANE

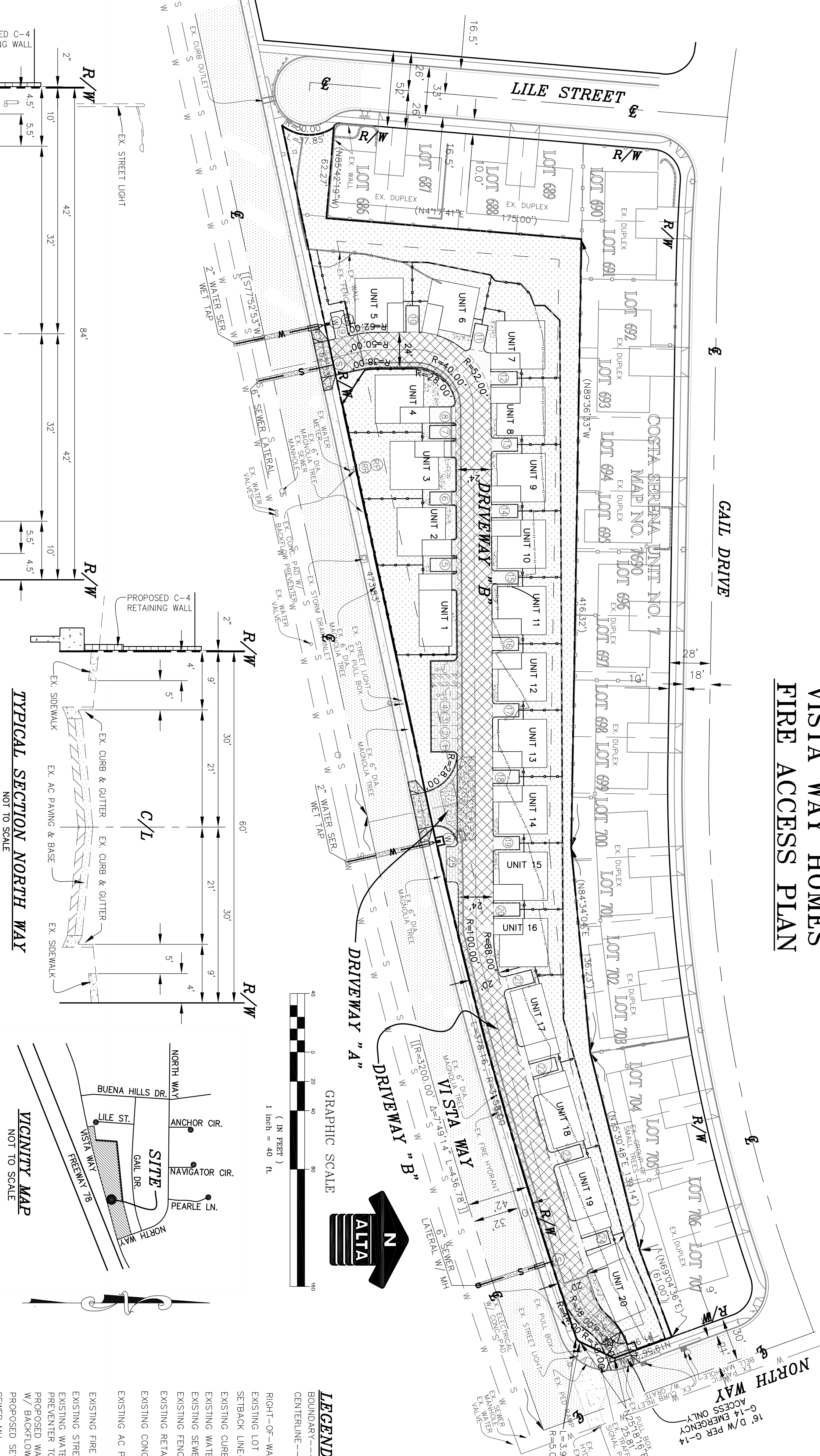


ENGINEER OF WORK

Baritone J. Pastore
BARITONE J. PASTORE, RCE 38606
DATED: MARCH 11, 2021

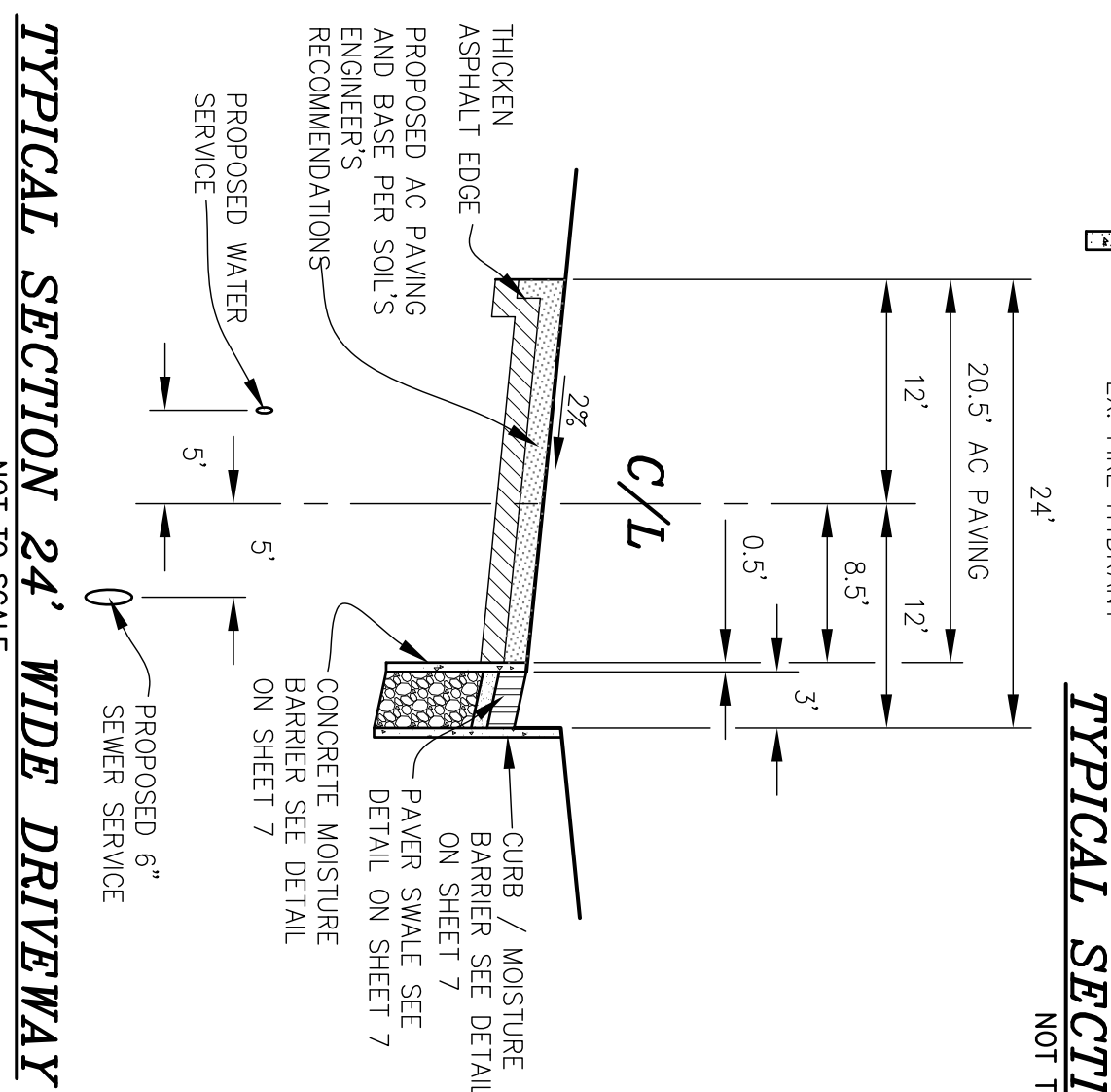
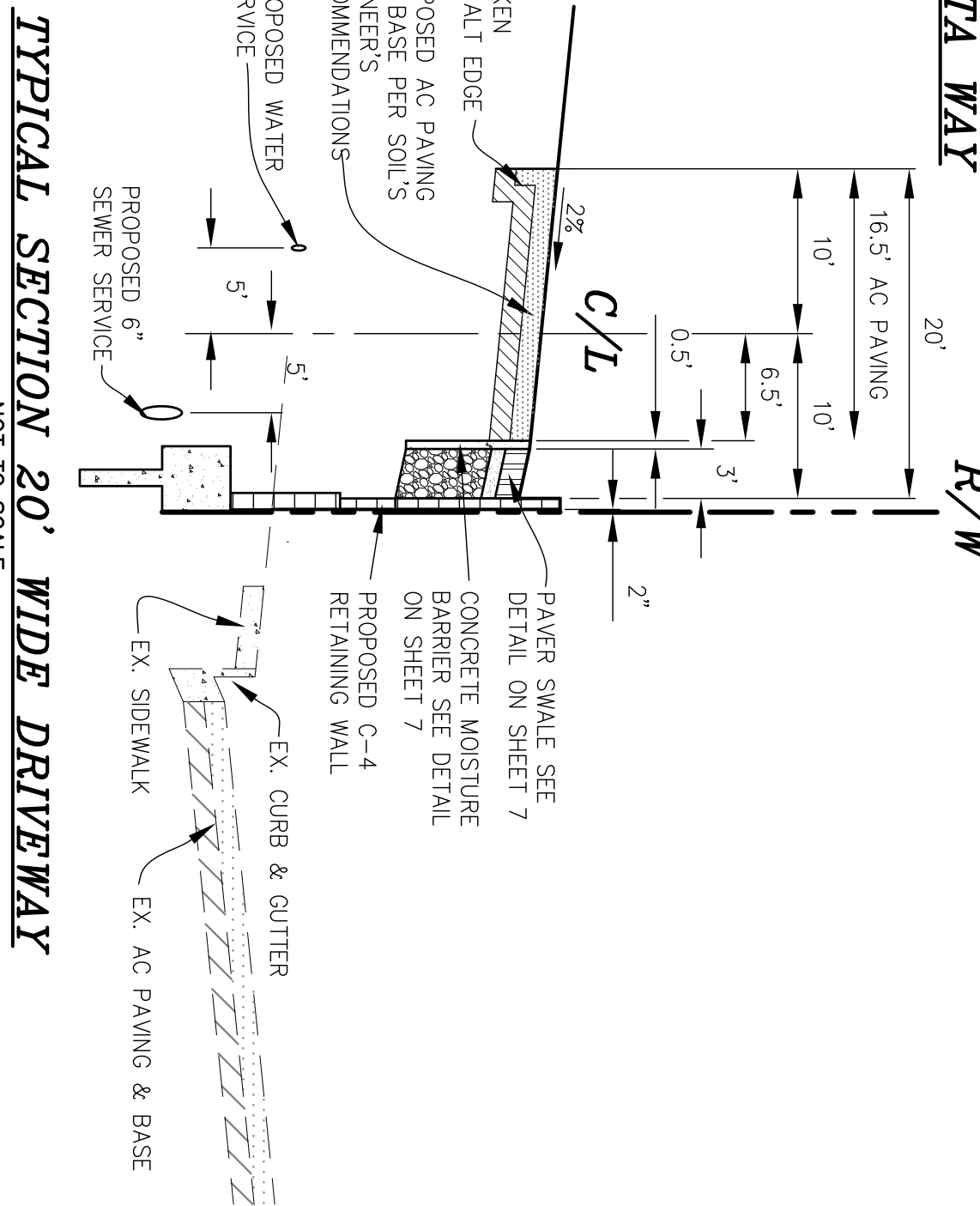


VISTA WAY HOMES
FIRE ACCESS PLAN



TYPICAL SECTION NORTH WAY
NOT TO SCALE

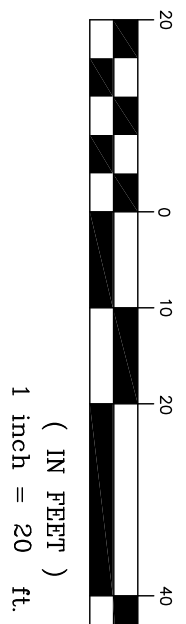
TYPICAL SECTION VISTA WAY
NOT TO SCALE



TYPICAL SECTION 20' WIDE DRIVEWAY
NOT TO SCALE

ALL DRIVEWAY SURFACES TO BE H-20 LOADING

GAIL DRIVE



MATCH LINE SEE SHEET NO. 5

WATER NOTES:

- 1) OPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- 2) OPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- 3) OPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR COATED AS FOLLOWS:
 - a) 601.2.1. POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
 1. NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER. DO NOT DRINK."
 - "A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED" [Hod 1 & 2]
 - b) 601.2.2. MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS: SEE TABLE 1. RECLAIMED WATER: PURPLE IN COLOR (PANTONE #512) AND SHALL BE IMPRINTED IN NORMAL 1/2" HIGH, BLACK, UPPER CASE LETTERS, WITH THE WORDS "CAUTION: RECLAIMED WATER. DO NOT DRINK." A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED [Hod 1 & 2]
- 4) OPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S (CDPH) REVERSE OSMOSIS FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP SIZING RESIDENTIAL UNITS.
- 5) OPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES, BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY (SWEETWATER AUTHORITY) HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING RECOGNIZED STANDARDS OR OTHER STANDARDS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION THAT ARE CONSISTENT WITH THE INTENT OF THIS CODE.
- 6) TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (OPC SECTION 603.2).
- 7) COMES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- 8) PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT.
- 9) THESE PRIVATE WATER METERS WILL BE MAINTAINED AND MANAGED AS BY THE HOA FOR THIS PROJECT.

LEGEND:

BORDER LINE-----
CENTRAL LINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
EXISTING SEWER-----
EXISTING FENCE-----
EXISTING RETAINING WALL-----
EXISTING CONCRETE-----
EXISTING AC PAVING-----
EXISTING CONTOUR LINE-----
EXISTING ELEVATION-----
EXISTING FIRE HYDRANTS-----
EXISTING WATER SERVICE W/ EX BACKFLOW PREVENTER TO BE USED FOR IRRIGATION
EXISTING STREET SIGN-----
PROPOSED WATER SERVICE W/ BACKFLOW PREVENTER
PROPOSED SEWER LATERAL SERVICE-----
SEWER MH-----
PARKING SPACE NUMBER-----
PROPOSED TYPE C PER G-2 CURB-----
PROPOSED STAKE-----
PROPOSED EROSION CONTROL PLANS FOR DETAILS
PROPOSED GATE FOR EMERGENCY ACCESS
SEE LANDSCAPE PLANS FOR DETAILS
PROPOSED LANDSCAPING-----
PROPOSED CONCRETE-----
PROPOSED AC PAVING-----
PROPOSED PAVER-----
PER DETAIL ON SHEET NO. 6
TRENCH RESURFACING-----
PROPOSED RETAINING WALL-----
2:1 SLOPE-----
DAYLIGHT LINE-----
DIRECTION OF FLOW-----
PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25-----
PROPRIETARY TREATMENT UNIT-----
PER D-9 AND DETAILS ON SHEET NO. 9
UNMODIFIED TYPE D CLEANOUT-----
SWAMP PUMP

R/W

W (RP) S (S)

769.8

CUT FILL

TENTATIVE MAP

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED SPROFED UNITS: 20
5 UNITS 1, 17-20 ARE 1,089 SF, 15 UNITS 2-16 ARE 1,089 SF
8. PROPOSED PARKING:
1. ATTACHED GARAGE SPACES PER UNIT=20
UNATTACHED STANDARD PARKING SPACES (18x10)=25
VAN ACCESSIBLE STANDARD PARKING SPACES=2
TOTAL PROPOSED PARKING SPACES=47
PARKING SPACES PER UNIT=2.35
9. ASSESSOR'S PARCEL NUMBER: 165-493-47

11. PORTIONS OF LOTS 644, 665, 706 THROUGH 720. LOTS 721
THROUGH 726 AND PORTIONS OF LOTS 726 AND 727 OF
COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING
TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE
COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973,
TOGETHER WITH THAT PORTION OF PORT CHARLIE STREET AS
VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS
FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL.
13. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: RM-4
15. PROPOSED ZONING: RM-4
16. PROPOSED DENSITY: 10.15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY
IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CJ. MONUMENT 3.5" BRASS DISC
STAMPED 15-4-506
19. LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
19. SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
21. MAXIMUM SLOPE GRADIENT: 2.1
22. AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,668 SF OR 26%
23. AREA/PERCENT OF SITE IN OPEN SPACE: 0
24. AREA/PERCENT OF SITE IN LANDSCAPING: 37,893 OR 44%
27. FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
PLANS FOR THIS PROJECT.
28. FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR
FLOODWAY OR FLOODPLAIN PER FEMA MAP 06072C00786G

ENGINEER OF WORK

Paula J
BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 11, 202



Date: 03/11/2021

SHEET 4 OF 10

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (+)
JOB NO. 498-01, DATE MARCH 11, 2002

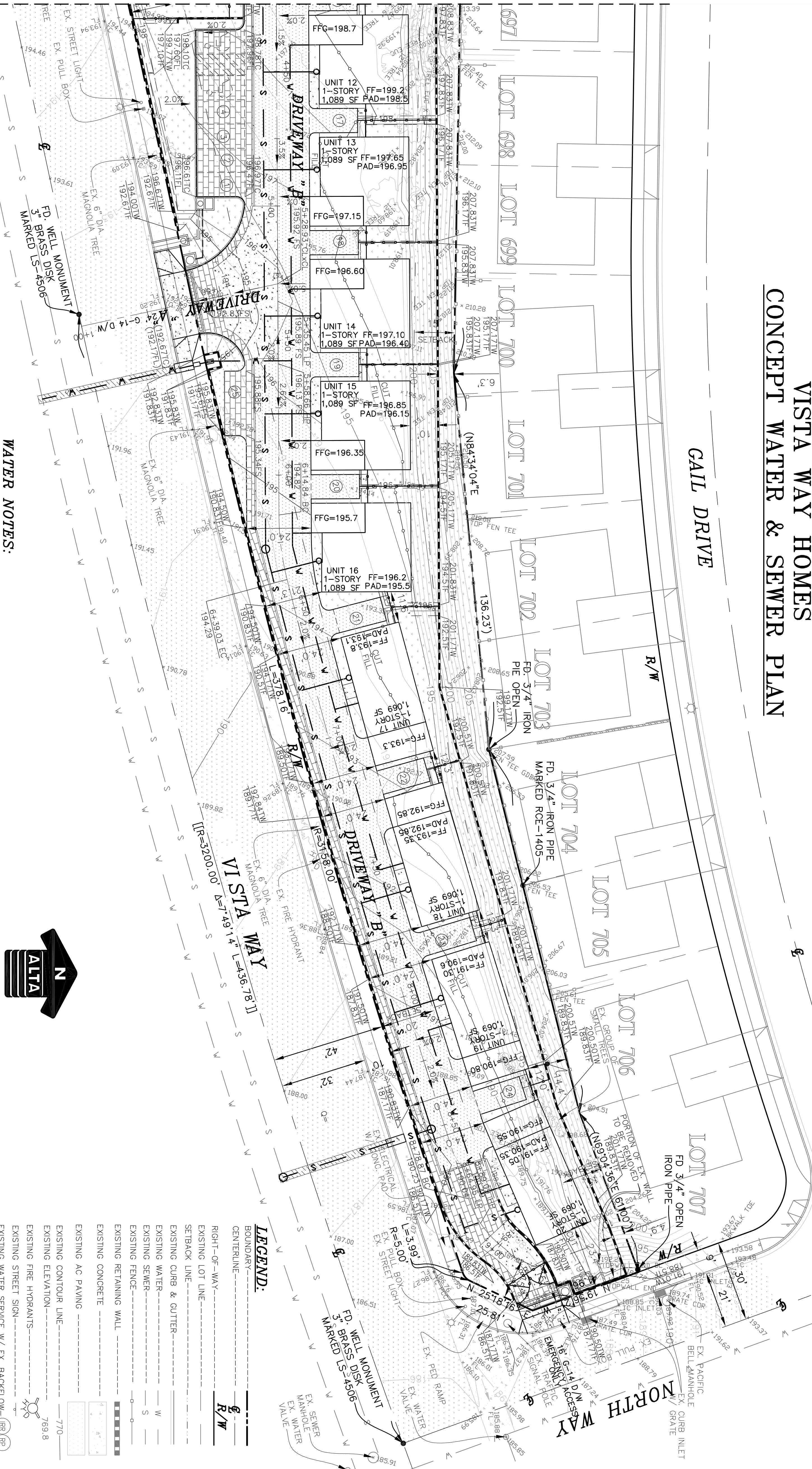
General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 20
- 5 UNITS 1, 17-20 ARE 1,069 SF, 15 UNITS 2-16 ARE 1,069 SF
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=20
 - UNATTACHED STANDAR PARKING SPACES (18'x10')=25
 - VAN ACCESSABLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=47
 - PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 694, 695, 709 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAT LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAT LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK DESCRIPTION: CI MONUMENT 3.5" BRASS DISC
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.60 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2.1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22.598 SF OR 28%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37.993 OR 44%
- ON SITE GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT) CUT= 3,000 CY, FILL= 4,000 CY, IMPORT= 1,000 CY. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
- EXISTING WATER-- W
- EXISTING SEWER-- S
- PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C07666

VISTA WAY HOMES
CONCEPT WATER & SEWER PLAN

GAIL DRIVE

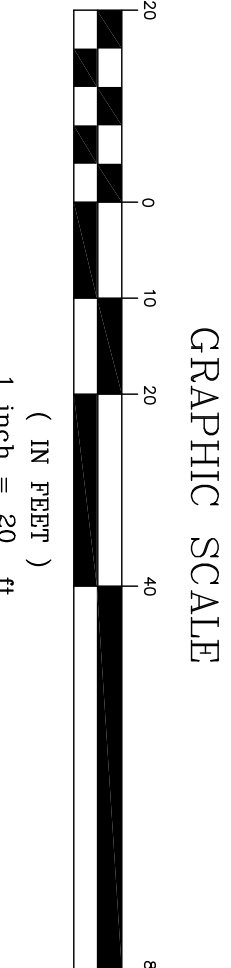
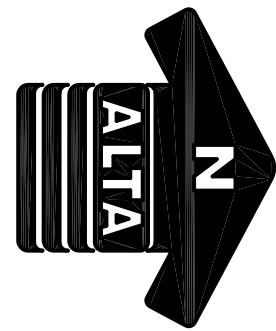


WATER NOTES:

- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. NO RECLAIMED WATER IS PROPOSED FOR THIS PROJECT.
- CPC 2013, SECTION 603.5.11: NO RECLAIMED WATER IS AVAILABLE FOR THIS PROJECT. THERE ARE NO CONNECTIONS TO NON-POTABLE WATER.
- CPC 2013, SECTION 601.2: IDENTIFICATION OF POTABLE AND NON-POTABLE WATER SYSTEM (NO NON-POTABLE WATER SYSTEM IN THIS PROJECT) EACH SYSTEM SHALL BE COLOR COATED AS FOLLOWS:
 - a) 601.2.1 POTABLE WATER: GREEN BACKGROUND WITH WHITE LETTERING
 - 1. NON-POTABLE WATER: YELLOW BACKGROUND WITH BLACK LETTERING WITH THE WORDS "CAUTION: NON-POTABLE WATER, DO NOT DRINK".
 - A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED* [HCD 1 & 2]
- b) 601.2.2 MINIMUM LENGTH OF COLOR FIELD AND SIZE OF LETTERS: SEE TABLE

1. RECLAIMED WATER: PURPLE IN COLOR (PANTONE #512) AND SHALL BE IMPRINTED IN NORMAL 1/2 INCH HIGH, BLACK, UPPER CASE LETTERS, WITH THE WORDS "CAUTION: RECLAIMED WATER, DO NOT DRINK". A UNIVERSAL POISON SYMBOL OF SKULL AND CROSSBONES SHALL BE PROVIDED* [HCD 1 & 2]
- 4) CPC 2013, SECTION 611.1: WATER TREATMENT UNITS, REVERSE OSMOSIS DRINKING WATER TREATMENT UNITS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS) REFERENCED IN TABLE 611.4. WASTE DISCHARGE FROM REVERSE OSMOSIS OR OTHER TYPES OF WATER TREATMENT UNITS SHALL ENTER THE DRAINAGE SYSTEM THROUGH AN AIRGAP, SIZING RESIDENTIAL UNITS.
- 5) CPC 2013, SECTION 603.2: APPROVAL OF BACKFLOW DEVICES OR ASSEMBLIES, BEFORE ANY DEVICE OR ASSEMBLY IS INSTALLED FOR THE PREVENTION OF BACKFLOW, IT SHALL FIRST BE APPROVED BY THE AUTHORITY (SWEET WATER AUTHORITY) HAVING JURISDICTION. DEVICES OR ASSEMBLIES SHALL BE TESTED FOR CONFORMING TO THE STANDARDS AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. THAT ARE CONSISTENT WITH THE INTENT OF THIS CODE.
- g) TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PERFORMED BY A CERTIFIED BACKFLOW ASSEMBLY CHECKER (CPC SECTION 603.2).

- b) COPIES OF TESTING OF BACKFLOW DEVICES OR ASSEMBLIES SHALL BE PROVIDED.
- 6) PRIVATE WATER METERS WILL BE INSTALLED FOR EACH PROPOSED UNIT.
- 4) ALL PRIVATE WATER METERS WILL BE MAINTAINED AND MANAGED AS BY THE HOA FOR THIS PROJECT.



LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER----- W
- EXISTING SEWER----- S
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE----- 770
- EXISTING ELEVATION----- 769.8
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION-----
- PROPOSED WATER SERVICE----- W
- PROPOSED SEWER LATERAL SERVICE----- S
- SEWER MH----- S
- PARKING SPACE NUMBER----- 1
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED GATE FOR EMERGENCY ACCESS-----
- SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVEMENT-----
- PER DETAIL ON SHEET NO. 6
- TRENCH RESURFACING-----
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- PROPRIETARY TREATMENT UNIT-----
- SEE DETAIL ON SHEET NO. 9
- MODIFIED TYPE D CLEANOUT-----
- W/SUMP PUMP-----

ENGINEER OF WORK

BARLODOME J. PASTORE, RCE 38606
DATED: MARCH 11, 2021



TENTATIVE MAP

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED UNITS: 20
- 5 UNITS 1, 17-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF
- PROPOSED PARKING:
 - 1 ATTACHED GARAGE SPACE PER UNIT=20
 - UNATTACHED STANDARD PARKING SPACES (18'x10')=25
 - VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
 - TOTAL PARKING SPACES PROPOSED=47
 - PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY OCEANSIDE, CA 92056
- PORTIONS OF LOTS 694, 695, 709 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159497 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAT LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAT LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK DESCRIPTION: CI MONUMENT 3.5" BRASS DISC STAMPED LS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS RECORD: CITY OF OCEANSIDE ELEVATION: 206.60 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2.1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22.598 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37.993 OR 44%
- ON SITE GRADING FOR THIS PROJECT: (6% SHRINKAGE FOR CUT) CUT= 3,000 CY, FILL= 4,000 CY, IMPORT= 1,000 CY. NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS
- FEHA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C07665

ENGINEER OF WORK

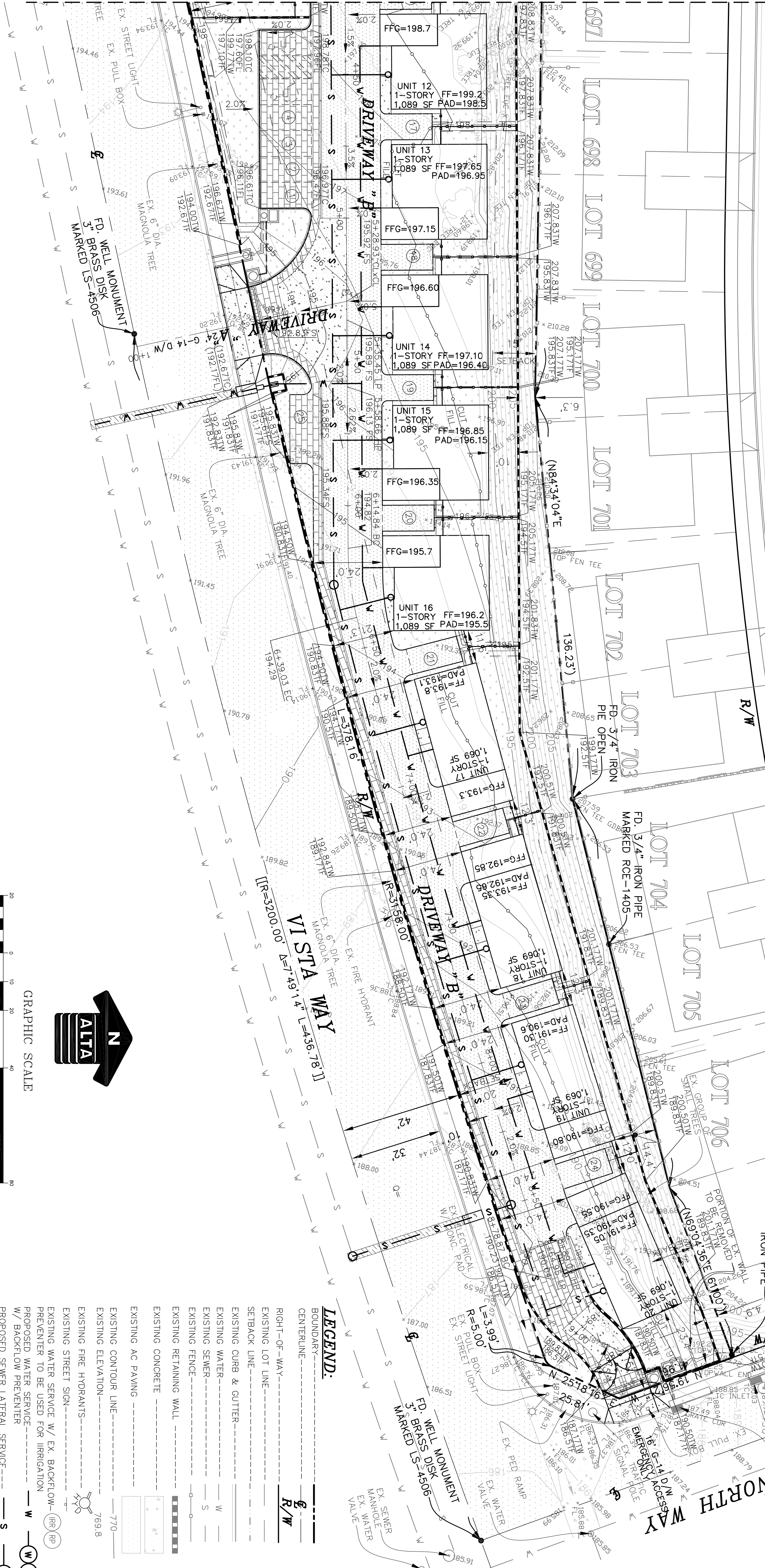
Barry J. Pastore
BARRY J. PASTORE, RCE 38606
DATED: MARCH 11, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1268 E. Main St., Suite 100, Oceanside, CA 92054 (760) 439-3800 FAX (760) 740-8818
JOB NO. 169-01, DATED MARCH 11, 2021

VISTA WAY HOMES
CONCEPT GRADING PLAN

GAIL DRIVE

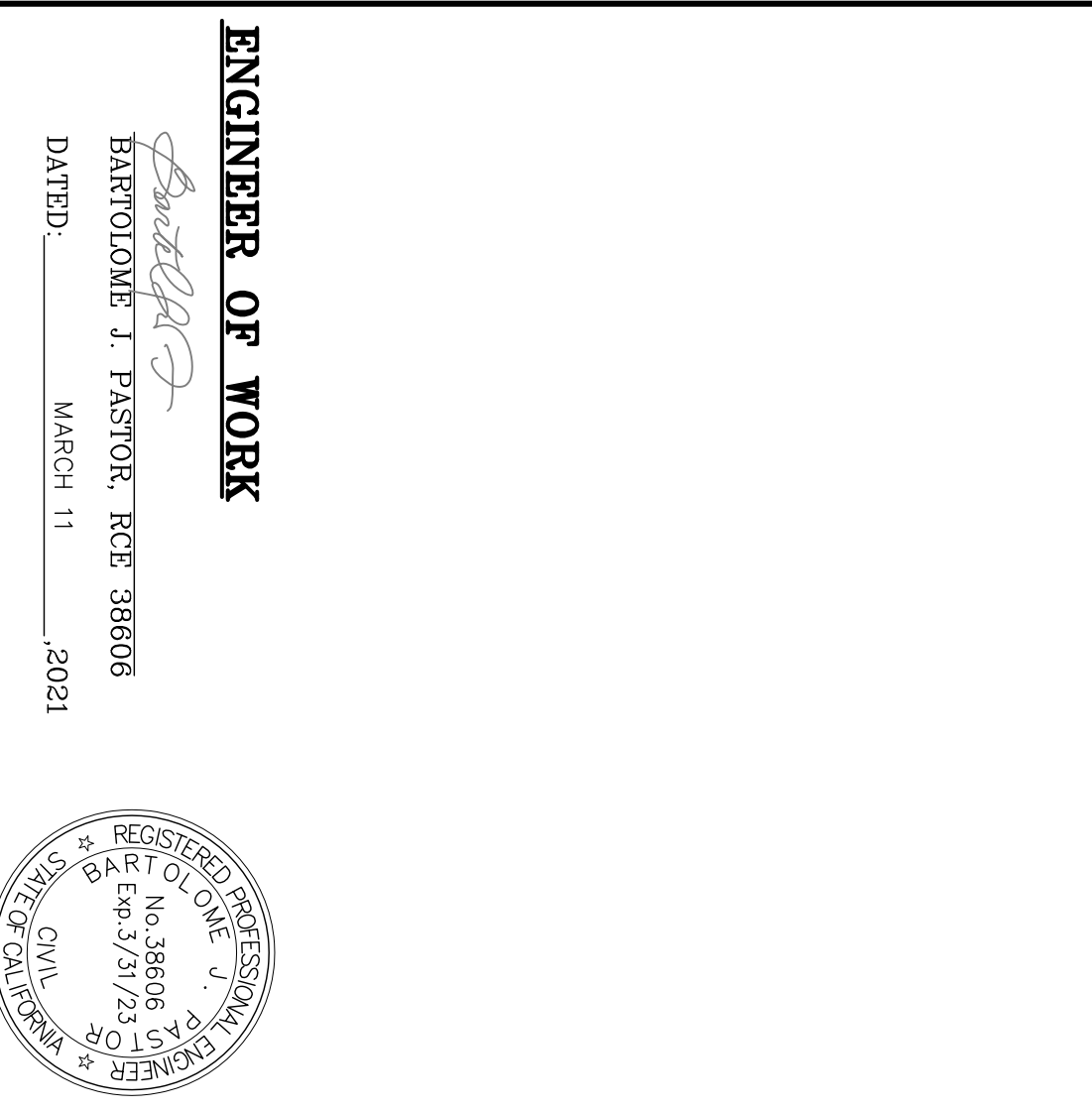
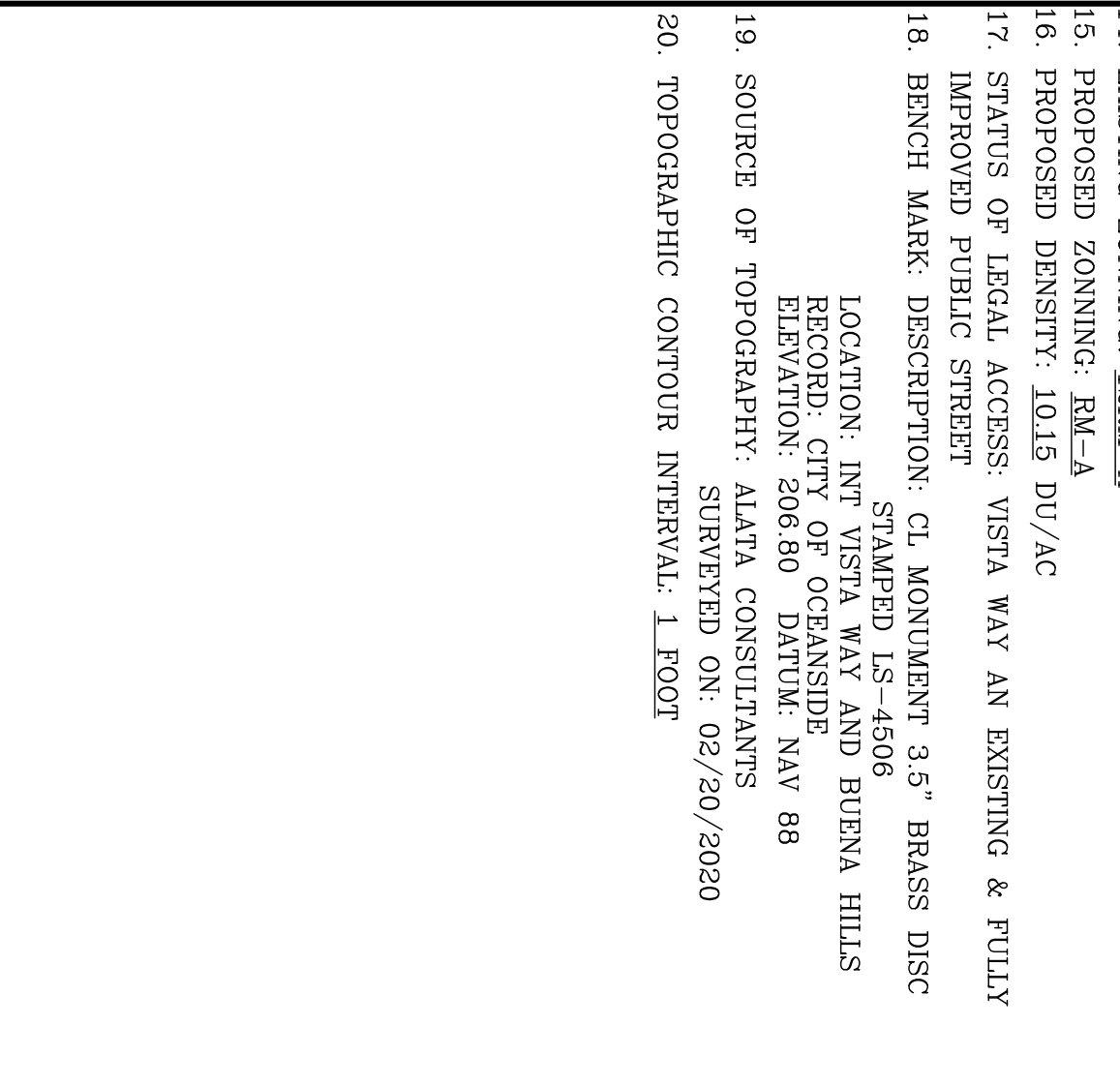
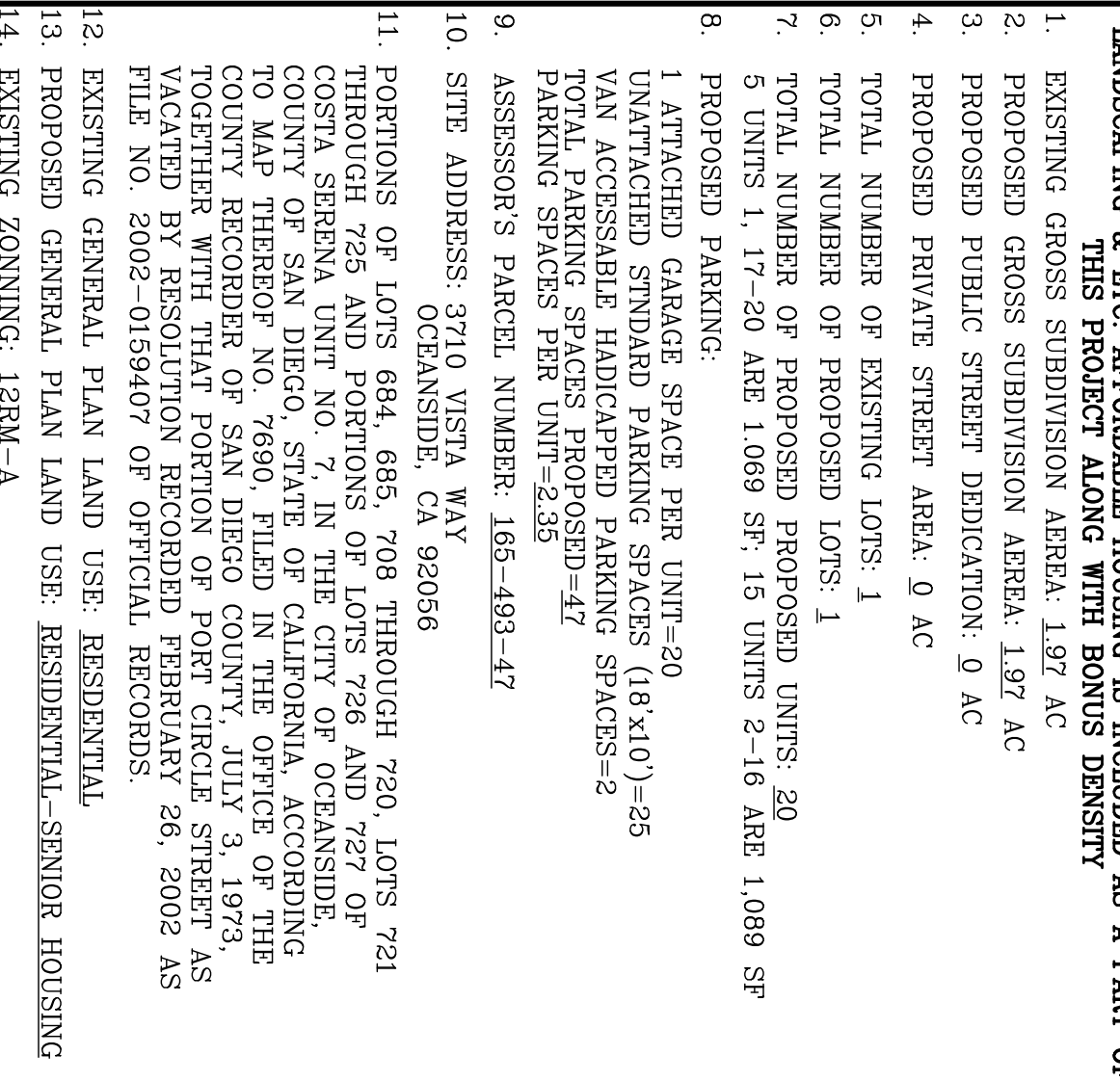


LEGEND:

- BOUNDARY-----
- CENTERLINE-----
- RIGHT-OF-WAY-----
- EXISTING LOT LINE-----
- SETBACK LOT LINE-----
- EXISTING CURB & GUTTER-----
- EXISTING WATER-----
- EXISTING SEWER-----
- EXISTING FENCE-----
- EXISTING RETAINING WALL-----
- EXISTING CONCRETE-----
- EXISTING AC PAVING-----
- EXISTING CONTOUR LINE-----
- EXISTING ELEVATION-----
- EXISTING FIRE HYDRANTS-----
- EXISTING STREET SIGN-----
- EXISTING WATER SERVICE W/ EX. BACKFLOW PREVENTER TO BE USED FOR IRRIGATION-----
- PROPOSED WATER SERVICE-----
- PROPOSED SEWER LATERAL SERVICE-----
- PARKING SPACE NUMBER-----
- PROPOSED TYPE 6 PER G-2 CURB-----
- PROPOSED FENCE-----
- SEE LANDSCAPE PLANS FOR DETAILS-----
- PROPOSED GATE FOR EMERGENCY ACCESS-----
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVER-----
- PER DETAIL ON SHEET NO. 6-----
- TRENCH RESURFACING-----
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- PROPRIETARY TREATMENT UNIT-----
- SEE DETAIL ON SHEET NO. 9-----
- MODIFIED TYPE D CLEANOUT-----
- W/SUMP PUMP-----

TENTATIVE MAP

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY



Part 2

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1280 E. Main St., Ste. 100 Ft. Collins, CO 80521 (916) 746-8818 fax: (916) 746-8818
JOB NO. 499-01, DATE MARCH 11, 2021

Date: 03/11/2021 SHEET 7 OF 10

TENTATIVE MAP

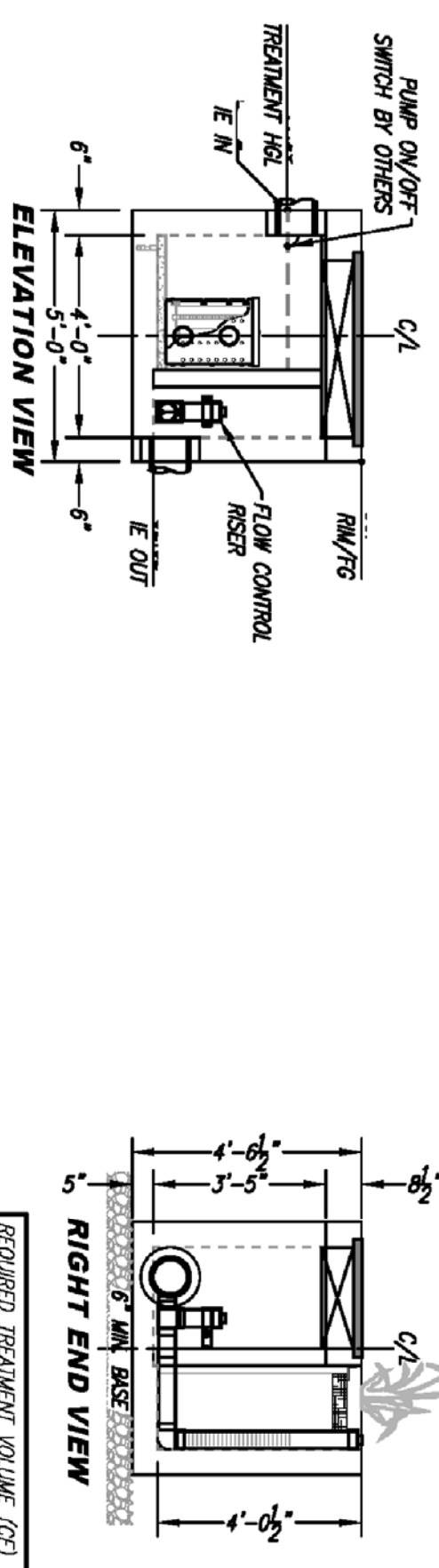
THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCRs WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
8. 5 UNITS 1, 17-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF
9. PROPOSED PARKING:
 1. ATTACHED GARAGE SPACE PER UNIT=20
 2. UNACCESSIBLE STANDAPD PARKING SPACES (18x10')=25
 3. TOTAL PARKING SPACES PROPOSED=47
 4. PARKING SPACES PER UNIT=23.9
10. ASSESSOR'S PARCEL NUMBER: 165-483-47
11. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
12. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SEBENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PLAT OF THE SUBDIVISION OF THE CITY OF OCEANSIDE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 3, 1978, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-01594907 OF OFFICIAL RECORDS.
13. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
14. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
15. EXISTING ZONING: 12RM-A
16. PROPOSED ZONING: RM-A
17. PROPOSED DENSITY: 10.15 DU/AC
18. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
19. BENCH MARK: DESCRIPTION: C. MONUMENT 3.5" BRASS DISC STAMPED IS-4506 LOCATION: INT VISTA WAY AND BUENA HILLS ROAD, 100' WEST OF VISTA WAY ELEVATION: 206.80 DATUM: NAV 88
20. SOURCE OF TOPOGRAPHY: ALTA CONSULTANTS
STRAVED IN ON: 02/20/2020
TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

Partida

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1235 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 746-9816 Fax (619) 746-9816
JOB NO. 499-01, DATE MARCH 11, 2021

Date: 03/11/2021 **SHEET 9 OF 10**



MWS-L-4-4'-1"-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL



BioClean
A Forterra Company

MWS-L-4-4'-1"-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

--	--

1. CONTRIBUTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND SUPPLIES REQUIRED TO OBTAIN AND INSTALL THE SYSTEM AND PERFORMANCE TO ACCORDANCE WITH THIS FORMING AND CURING SPECIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL MANUFACTURER'S CONTRACT.
2. RECOMMEND A MINIMUM 8' LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRIBUTION IS RESPONSIBLE TO VERIFY THE ROCK BASE IS ADEQUATE FOR THE BEST PERFORMANCE OF THE FORMING AND CURING SPECIFICATION.
3. ALL PILES MUST BE FLUSH WITH FINISH SURFACE OF CONCRETE. PILES CANNOT BE PLACED BEYOND FINISH INVERT OR OUTLINE PILE MUST BE FLUSH WITH FINISH CHAMBER FLOOR. ALL PILES SHALL BE STAYED WITHIN ONE PER MANUFACTURER'S CONTRACT.
4. CONTRIBUTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL REINFORCING BARS AND BRACING.
5. MANUFACTURER AND PROVIDER, CONTRIBUTOR TO GROUT ALL JOINTS, MANUFACTURER AND PROVIDER, CONTRIBUTOR TO GROUT ALL JOINTS, MANUFACTURER AND PROVIDER, CONTRIBUTOR TO GROUT ALL JOINTS, MANUFACTURER AND PROVIDER, CONTRIBUTOR TO GROUT ALL JOINTS.
6. REVISIONS TO BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL MANUFACTURER'S CONTRACT.
7. CONTRIBUTOR RESPONSIBLE FOR OBTAINING ALL MANUFACTURER'S CONTRACT. CONTRIBUTOR RESPONSIBLE FOR OBTAINING ALL MANUFACTURER'S CONTRACT.

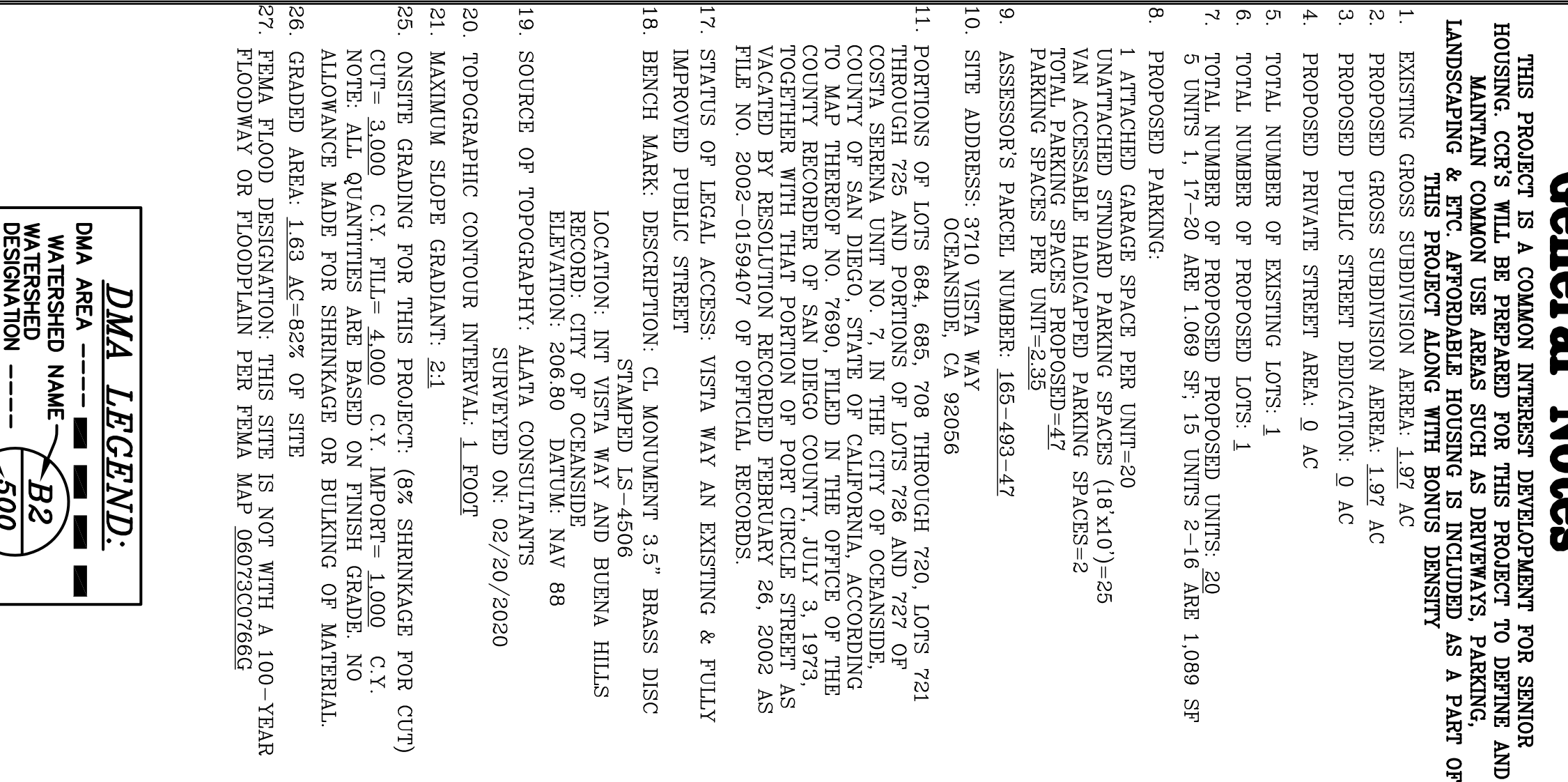
1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEMENTS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

MODULAR WETLAND

INITIATIVE MAP _____

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. COGS WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND



VICINITY MAP
NOT TO SCALE

- | | |
|----------------------------|---|
| PROPOSED BUILDING |  |
| FRENCH RESURFACING |  |
| PROPOSED RETAINING WALL |  |
| 2:1 SLOPE |  |
| DAILY LIGHT LINE |  |
| PROPOSED DIRECTION OF FLOW |  |
| PROPOSED STORM DRAIN |  |
| MANHOLE OUTLET PER D-25 |  |
| PROPRIETARY TREATMENT UNIT |  |
| SEE DETAIL ON SHEET NO. 9 |  |
| MODIFIED TYPE D CLEANOUT |  |
| SWAMP PUMP |  |

ENGINEER OF WORK

Frank A. J.

BARTOLOME J. PASTOR, RCE 38606

DATED: _____ MARCH 11 _____, 2021

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
PASTOR J.
No. 38606
Exp. 3/31/23

TS

Fax (619) 749-8818
2021

T 10 OF 10