



CITY OF OCEANSIDE

DEVELOPMENT SERVICES DEPARTMENT / PLANNING DIVISION

February 18, 2022

Mr. Reza Shera
PO Box 9890
Rancho Santa Fe, CA 92067

Subject: Application Review Committee (ARC), T21-00002, D21-00005, and ~~DB21-00003~~, Vista Way Senior Housing (Assessor Parcel Number: 165-493-47)

Dear Mr. Shera,

VIA E-MAIL: rezashera@gmail.com

The City of Oceanside Application Review Committee (ARC), with project management coordinated by the City's Planning Division, has conducted an initial review of the project, which consists of the following applications which your office has submitted and represents:

**Tentative Tract Map T21-00002, Development Plan D21-00005, and
Density Bonus DB21-00003**

The ARC is a standing, working committee comprised of representatives from the various City departments with responsibility for assuring that proposed projects comply with applicable provisions of State and local law. Pursuant to Government Code Section 65943, City staff has evaluated the above applications to determine whether additional information is needed to determine compliance with the City's General Plan, Zoning Ordinance, and other applicable regulations and guidelines. At this time, the Committee finds that the submitted application package is **incomplete**, and thus, a formal resubmittal of the project application will be necessary to move the proposed project forward through the City's application review process. The following comments from the City's various, responsible Departments and/or Divisions must be addressed before further processing of the application can proceed. At such time that the revised application materials are ready for re-submittal, please contact me to schedule that submission so that we can review the materials together to confirm that all outstanding information has been included in the resubmittal package.

PLANNING:

The Planning Division's comments are contained in Attachment 1. Please contact me directly should you have any questions regarding any of the comments provided.

ENGINEERING:

The Engineering Division's comments are included as in Attachment 2. Should you have any questions regarding their comments, please contact Edwin Medina, Assistant Engineer, at 760-435-5086 or at emedina@oceansideca.org.

ENGINEERING (LAND SURVEY):

The Land Survey Section of the Engineering Division's comments are included as Attachment 3. Should you have any questions regarding their comments, please contact Bill Tuck, Land Surveyor, at 760-435-5170 or at btuck@oceansideca.org.

ENGINEERING (STORM WATER):

The storm water review comments are included as Attachment 4. Should you have any questions regarding the comments, please contact Paul Pham, City Land Development Engineer, at 760-435-5030 or at ppham@oceansideca.org.

FIRE:

The Fire Department has conditionally approved the project. Their draft conditions of approval are included as Attachment 5. Should you have any questions regarding their draft conditions, please contact Tim Rise, Landscape Architect, at 760-435-4308 or at trise@oceansideca.org.

TRANSPORTATION:

Please see the Transportation Engineering Section's comments in Attachment No. 6. Should you have any questions regarding their comments, please contact Tam Tran, Associate Engineer, at 760-435-5115 or at ttran@oceansideca.org.

WATER UTILITIES:

Please see the Water Utilities Department's comments in Attachment 7. Should you have any questions regarding their comments, please contact Ibrahim Hassan, Assistant Engineer, at 760-435-5857 or at ihassan@oceansideca.org.

WATER UTILITIES (SOLID WASTE):

Please see the Solid Waste Section comments in Attachment 8. Should you have any questions regarding their comments, please contact Annika Andersen, Environmental Specialist II, at 760-435-5818 or at aandersen@oceansideca.org.

POLICE DEPARTMENT:

Please see the Police Department's comments in Attachment 9. Should you have any questions regarding their comments, please contact Ashley Sanchez, Crime Prevention Specialist, at 760-435-4440 or at ajsanchez@oceansideca.org.

SUMMARY:

Please respond to all comments and resubmit the application package with appropriate changes which address departmental review comments. Should you have any additional questions, feel free to contact me at (760) 435-3539.

Please be advised that you may direct any questions regarding these review comments to the City staff person who provided them, with the understanding that any written correspondence or e-mail related to this project application needs to be copied to the Planning Division's project manager who is responsible for overall project management. As a general rule, please include the City's project planner in any meetings and/or discussions with other City staff regarding the proposed project. If the City's project manager is not available to attend meetings or participate in such discussions at any time, please provide the project manager with a written meeting summary including any specific staff direction and/or recommendations which resulted from such meetings or discussions.

California Environmental Quality Act (CEQA) Review

Staff has conducted a preliminary review of the proposed project pursuant to Section 15061 of the CEQA Guidelines and has determined that the project may qualify for a categorical exemption. While revisions to the project plans resulting from the ARC review process are not likely to affect or change this CEQA determination, nevertheless, staff will review the CEQA determination issue following re-submission of the application.

Prior to commencing work to revise the project plans please contact me to coordinate an in person meeting to discuss your application. Unless an in person meeting occurs to clarify the project comments and required entitlements, we will not continue to process your application.

Your project has been reassigned to Patty Anders, Planning Consultant, in an effort to provide a planner that can give your project the level of attention that it requires. With my new role as the City Planner, my schedule and work load does not afford me the ability to provide your application the level of oversight that it has proven to require. I will assist Patty in any way I can to make sure there is a smooth transition as possible to the new project manager. Patty's contact information is 760-435-3529 or panders@oceansideca.org.

Please don't hesitate to contact me at 760-435-3539 or smadera@oceansideca.org with any questions regarding the processing of this application. I look forward to working with you and your project team to assure that your project proposal both meets your objectives as well as those of the City's General Plan and Zoning Ordinances, and to keep the proposal moving forward through the discretionary review process.

Sincerely,

Sergio Madera

Sergio Madera
City Planner

Attachments:

1. Planning Division Comments
2. Engineering Division Comments
3. Land Survey Section Comments
4. Storm Water Comments
5. Fire Department Draft Conditions of Approval
6. Transportation Engineering Section Comments
7. Water Utilities Comments
8. Water Utilities (Solid Waste) Comments
9. Police Department Comments



Application Review Committee Division Comments- Planning

Development Services Department
300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

To be filled out by Project Planner

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47)

Project description: Tentative Map, Development Plan, and Conditional Use Permit for proposed 18-unit detached senior housing project on a vacant 1.97 acre site

To be filled out by ARC Division Reviewer

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Sergio Madera, Principal Planner

Phone number: 760-435-3539

E-mail: smadera@oceansideca.org

☐ **Approved w/Conditions**

☐ **Returned for Corrections – 15 Days**

☒ **Returned for Corrections – 30 Days**

(include attachments/forms on TRAKiT, if applicable):

1. The response letter from Alta Consultants dated November 3, 2021 indicates that the previously applied for Density Bonus is no "longer applicable" because of the reduction in units from 20 to 18. Therefore we have officially withdrawn your Density Bonus (DB21-00003) application.
2. With the withdrawal of the Density Bonus applications, the following applications will need to be submitted:
 - a. An application for a Conditional Use Permit to exceed base density is required to be submitted. The base density of the MDA-R General Plan Land Use designation is 6 du/acres. As proposed the project's density is 9.13 dus/acre. Therefore, pursuant to Section 1050(B) of the a Conditional Use Permit is required to exceed the base density. The application fee of a CUP is \$5,000

Division:

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th Review

- b. An application for a variance is required to exceed the maximum wall height, to reduce the setbacks, and for lack of compliance with both the private and common open space requirements. The fee for a Variance application is \$4,000.
3. As outlined in our previous review letter, an appointment is required to make a subsequent submittal of project plans. Uncoordinated submittals will be ignored until the applicant makes an appointment to submit.
4. Incomplete submittals will no longer be accepted. The applicant is required to submit a complete application, with all required materials and technical studies, with future submittals. Piecemealed submittals result in unnecessary delays and additional work for staff and do not benefit the applicant's goal to get through the discretionary review process.
5. With all future submittals, complete plan sets are required to be submitted. Single sheet PDF documents will not be accepted. Plan sets need to be compiled and organized in the appropriate manner.
6. Provide a profile of the proposed retaining wall. The City's Zoning Ordinance limits the height of retaining walls to 6' in height. **(Repeat Comment)**
7. Pursuant to Section 1050(AA), a usable rear yard area with no slopes greater than 5 percent shall be provided immediately adjacent to the rear of the structure. The depth of the usable rear yard area shall equal the minimum rear yard setback requirement of the underlying zoning district, which for the RM-A Zoning District is 15'. **(Repeat Comment)**
8. Pursuant to Section 1050(Q), the project must comply with the Usable Open Space requirements (both private and common). The basic requirement is 300 square feet per unit, 50% of which has to be provided in the form of usable common open space. **(Repeat Comment)**
9. Pursuant to Section 1050(X) of the Zoning Ordinance, the minimum front-yard setback from the private street is 15' to the main structure and 20' to the garage. The project plans should be revised to comply with this requirement. **(Repeat Comment)**
10. Show compliance with Section 1050(L). Because individual lots are not proposed, the average yard width between structures should be 10'. **(Repeat Comment)**
11. Show compliance with Section 1050(T) with respect to front-yard and side-yard landscaping requirements. **(Repeat Comment)**
12. Show compliance with Section 1050(DD) with respect to garage setbacks. **(Repeat Comment)**
13. The project is subject to the provisions of Section 3047 of the Zoning Ordinance and will be conditioned as such.
14. The project is subject to the provisions of Section 3049 of the Zoning Ordinance. An exhibit depicting compliance with the Urban Forestry Canopy should be provided to confirm the project complies with the requirements outlined for projects of 1 acre or more. **(Repeat Comment)**

Division:

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th Review

15. Provide a Community Outreach Plan as required by the City's Enhanced Notification Policy. **(Repeat Comment)**

Division:

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th Review

(Parent) Project Number: T21-00002

Project Name: 3710 Vista Way

Project Planner: Sergio Madera



Application Review Committee

Division Comments- **ENGINEERING**

Development Services Department

300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47-00)

Project description: Tentative Map for proposed 20 unit detached senior housing project

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Edwin Medina

Phone number: (760) 435-5086

E-mail: emedina@oceansideca.org

☐ **Approved w/Conditions**

☐ **Returned for Corrections – 15 Days**

☒ **Returned for Corrections – 30 Days**

1. **REPEAT:** Provide entitlement number to plan set (T21-00002) on all sheets.
2. **REPEAT:** Provide a preliminary title report, not more than six months old and provide on resubmittal.
3. **REPEAT:** Add basis of bearing note. Not clear on plans, please label.
4. **REPEAT:** Provide radius of North Way and Vista Way curb return.

Drainage Report

1. **REPEAT:** Do not use pre-development "C" value. Use "C" value for the existing development.
2. **REPEAT:** Provide detention and storage calculations.
3. **REPEAT:** Remove the parking space numbers in the post-development map drainage map.

Any questions please contact me.

Division: Engineering

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**



Application Review Committee

Division Comments- Engineering/Land Survey

Development Services Department

300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

To be filled out by Project Planner

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47)

Project description: Tentative Map, Development Plan, and Density Bonus for proposed 20-unit detached senior housing project on a vacant 2.08 acre site

To be filled out by ARC Division Reviewer

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Bill Tuck

Phone number: 760-435-5170

E-mail: btuck@oceansideca.org

☐ **Approved w/Conditions**

☒ **Returned for Corrections – 15 Days**

☐ **Returned for Corrections – 30 Days**

(include attachments/forms on TRAKiT, if applicable):

[insert/paste comments in Times New Roman, 13 pt font, numbered, 1.5 spacing]

1. Incorrect point number for the benchmark. Attached is the data recovery sheet with the correct point number.
2. No preliminary title report was provided. Provide a copy with next submittal.

Division:

☐ 1st ☐ 2nd ☐ 3rd ☐ 4th **Review**

CONTROL SURVEY MONUMENT DATA AND RECOVERY SHEET

City of Oceanside Geodetic Control Network

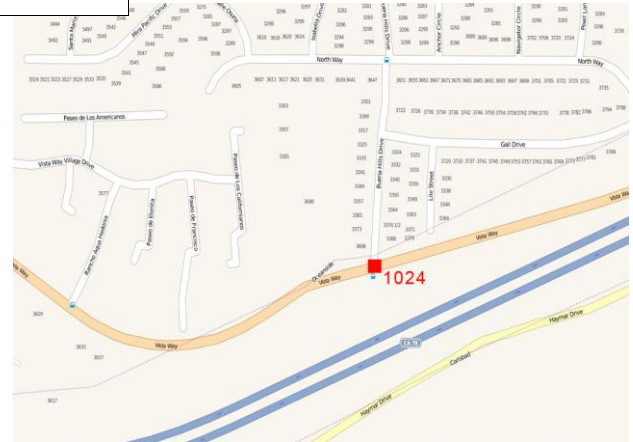


Number: **1024** **FOUND**
 Name: **VISTA WAY & BUENA HILLS**



Looking Northwest

Monument Location



Vicinity Map

Monument Description: 3.5" Brass Disk in Monument Well		GPS Useable: Yes	
Stamping: LS 4506			
Center Mark: Punch		Depth: -0.49	
Recovery By: RBF	Date: May 2013	Lid: Monument	



Location:

Monument Well at apparent intersection of Buena Hills and Vista Way

California Geodetic Coordinates of 1983				CCS 83, Zone 6 Coordinates			NAD83(NSRS2007)		
Latitude:	Deg.	Min.	Seconds	Northing:	Meters	U.S. Survey Feet		Epoch:	2011.00
	33	10	53.99550		613,063.563	2,011,359.37		FGDC Acc.:	1 cm
Longitude:	117	18	18.31244	Easting:	1,901,607.157	6,238,856.15		Survey by:	RBF
Ellipsiod Height (m):		28.698		Combined Factor:		0.99995315		Adj. Date:	Oct 2013
California Orthometric Height (COH88)									
Datum	Meters		U.S. Survey Feet	Survey By	FGDC Acc.	Adj. Date	COH88	Geoid12A	
NAVD88	63.029		206.80	RBF	2 cm	Oct 2013	Derived	-34.338	



Application Review Committee Division Comments- Engineering - Storm Water

Development Services Department
300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

To be filled out by Project Planner

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47)

Project description: Tentative Map, Development Plan, and Density Bonus for proposed 20-unit detached senior housing project on a vacant 2.08 acre site

To be filled out by ARC Division Reviewer

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Michael Strizic

Phone number: 760-435-3564

E-mail: mstrizic@oceansideca.org

☐ **Approved w/Conditions**
☐ **Returned for Corrections – 15 Days**
☒ **Returned for Corrections – 30 Days**

(include attachments/forms on TRAKiT, if applicable):

[insert/paste comments in Times New Roman, 13 pt font, numbered, 1.5 spacing]

1. Submit a PDP SWQMP for review.

Division:

☐ 1st ☐ 2nd ☐ 3rd ☐ 4th **Review**



Application Review Committee

Division Comments- **FIRE**

Development Services Department
300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

To be filled out by Project Planner

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47)

Project description: Tentative Map, Development Plan, and Density Bonus for proposed 20-unit detached senior housing project on a vacant 2.08 acre site

To be filled out by ARC Division Reviewer

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Tim Rise

Phone number: (760) 435-4101

E-mail: trise@oceansideca.org

☒ **Approved w/Conditions**

☐ **Returned for Corrections – 15 Days**

☐ **Returned for Corrections – 30 Days**

(include attachments/forms on TRAKiT, if applicable):

[insert/paste comments in Times New Roman, 13 pt font, numbered, 1.5 spacing]

1. All homes will be required to have fire sprinklers per NFPA 13.
2. Water meter size will be determined by the fire sprinkler demand.
3. Fire access roadways shall be a minimum of 28' with NO parking on either side of the street.
4. Turning radius shall be 30' inside and 50' outside.
5. Show driveway widths for emergency access gate.
6. Show emergency gate set back off North Way. The gate shall be set back a minimum of 30'.
7. Knox key switch and Opticom required for gate.
8. Hydrants must be within 400' of all exterior walls of the structures.

Division:

☐ 1st ☐ 2nd ☐ 3rd ☐ 4th **Review**

9. Confirm on plans if hydrants will be public or private system.
10. If hydrants are private a deferred submittal will be required to the Oceanside Fire Department for review. Note: private system must be looped.
11. A fire master plan will be required.
12. Prior to delivery of combustible materials or start of combustible construction, paved vehicle access roads capable of supporting vehicle loading (78,000 lbs) must be installed. In addition, the approved, permanent water supply (fire hydrants) must be installed, tested and placed in service prior to delivery of combustible materials or start of combustible construction.
13. Addresses shall be 4" in height and visible from the street with contrasting colors.
14. Smoke and carbon monoxide alarms required per 2019 California Fire Code, California Building Code and California Residential Code.
15. Pre-con meeting will also be required prior to combustibles being dropped on site.
16. The City is in the process of implementing a citywide Community Facilities District (CFD) for Public Safety. The CFD would place an annual per unit fee on projects which meet the criteria for inclusion. The project you are submitting appears to meet the criteria for inclusion in the proposed Public Safety CFD. It is expected that your project will be required to annex into the CFD as a condition of approval.

Division:

☐ 1st ☐ 2nd ☐ 3rd ☐ 4th Review



Application Review Committee Division Comments- Public Work / Transportation

Development Services Department
300 N. Coast Hwy, Oceanside, CA 92054 | (760) 435-4373

To be filled out by Project Planner

Project/property address and/or APN: 3710 Vista Way (APN: 165-493-47)

Project description: Tentative Map, Development Plan, and Density Bonus for proposed 20-unit detached senior housing project on a vacant 2.08-acre site

To be filled out by ARC Division Reviewer

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th **Review**

Staff member: Tam Tran

Phone number: 760-435-5115

E-mail: TTran@Oceansideca.org

☐ **Approved w/Conditions**
☒ **Returned for Corrections – 15 Days**
☐ **Returned for Corrections – 30 Days**
(include attachments/forms on TRAKiT, if applicable):

[insert/paste comments in Times New Roman, 13 pt font, numbered, 1.5 spacing]

Planning Comment:

- 1) Painted median Buena Hills Dr. to North yellow striping.
- 2) Vehicle will only be permitted to turn right when exiting the community. Project to install a right turn pork chop (Right turn slip lane) for Driveway Exit. Please take pedestrian and ADA into consideration when designing this.

Please let me know if you have any questions.

Thanks,

Tam Tran

Division:

☐ 1st ☒ 2nd ☐ 3rd ☐ 4th Review

Water Utilities Project Comments & Conditions

Date: December 9, 2021
Planner: Sergio Madera
From: Ibrahim Hassan
RE: APN- 1654934700 - 20 1-STORY DUPLEX UNITS - Submittal #2
T21-00002, D21-00005, CUP21-00005,

STATUS: REVISE AND RESUBMIT (OR APPROVED WITH THE FOLLOWING CONDITIONS)

The following comment(s) shall be addressed to deem the entitlement application complete.

1. On-site water and sewer mains shall be private, 8" minimum. Design shall be in accordance with latest edition of the City of Oceanside *Water, Sewer and Recycled Water Design and Construction Manual*. Indicate which mains and lines are private on plans
2. See water Utilities Design manual, Section 2.2 Fire Flows. Provide flow calcs to demonstrate that the proposed water main (HGL409) can adequately provide fire flows (single family), maintain pressures, and acceptable velocities.
3. Recommend relocate the on-site private sewer main to the center of the private street, with min 10' separation from Water. Recoating the sewer will avoid impacting the curb and gutter during maintenance.
4. Hydrants do not require reduce pressure backflows, remove from plans
5. For new buildings with multiple residential dwelling units; the City has accepted, as an alternative, a public master meter for each building provided there is a private sub-meter for each individual dwelling unit. The Home Owner's Association would be responsible for the ownership, maintenance, reading, and replacement of the private sub-meters. There shall be a shared agreement for the shared water supply line and private water and sewer facilities among the owners. This should be addressed in the CC&Rs or maintenance agreement.
6. Call out master meters on plans and indicate which building (units) they serve.
7. Provide water meters with a minimum 3' spacing/clearance all around meter for maintenance.
8. Provide hydrants with a minimum 5' spacing/clearance all around fire hydrant for maintenance.

9. Minimum 5' separation between water services that are both greater than 3" to avoid having a monolithic concrete thrust block (i.e. Fire hydrant next to 3" domestic service).

General Conditions:

10. For developments requiring new water service or increased water service to a property, the landowner must enter into an agreement with the City providing for landowner's assignment of any rights to divert or extract local groundwater supplies for the benefit of the property to receive new or increased water service, in return for water service from the City, upon such terms as may be provided by the Water Utilities Director.
11. All existing active and non-active groundwater wells must be shown on conceptual, grading, and improvement plans.
12. The developer will be responsible for developing all water and sewer utilities necessary to develop the property. Any relocation of water and/or sewer utilities is the responsibility of the developer and shall be done by an approved licensed contractor at the developer's expense.
13. All Water and Wastewater construction shall conform to the most recent edition of the *Water, Sewer, and Recycled Water Design and Construction Manual* or as approved by the Water Utilities Director.
14. The property owner shall maintain private water and wastewater utilities located on private property.
15. Water services and sewer laterals constructed in existing right-of-way locations are to be constructed by an approved and licensed contractor at developer's expense.
16. For new buildings with multiple residential dwelling units; the City has accepted, as an alternative, a public master meter for each building provided there is a private sub-meter for each individual dwelling unit. The Home Owner's Association would be responsible for the ownership, maintenance, reading, and replacement of the private sub-meters. There shall be a shared agreement for the shared water supply line and private water and sewer facilities among the owners. This should be addressed in the CC&Rs or maintenance agreement.
17. Provide a separate irrigation water meter. Meter shall be managed and paid for by the Homeowner's Association for the development. An address assignment will need to be completed for the meter, and can be processed through the City Planning Department.
18. Per the latest approved California Fire Code, all new residential units shall be equipped with fire sprinkler system.

19. Buildings requiring an NFPA 13 or NFPA 13R automatic sprinkler system for fire protection shall have a dedicated fire service connection to a public water main with a double check detector backflow assembly. Location of the backflow assembly must be approved by Fire Department.

The following conditions shall be met prior to the approval of engineering design plans.

20. Any water and/or sewer improvements required to develop the proposed property will need to be included in the improvement plans and designed in accordance with the *Water, Sewer, and Recycled Water Design and Construction Manual*.
21. All public water and/or sewer facilities not located within the public right-of-way shall be provided with easements sized according to the *Water, Sewer, and Recycled Water Design and Construction Manual*. Easements shall be constructed for all weather access.
22. No trees, structures or building overhang shall be located within any water or wastewater utility easement.
23. All lots with a finish pad elevation located below the elevation of the next upstream manhole cover of the public sewer shall be protected from backflow of sewage by installing and maintaining an approved type backwater valve, per the latest adopted California Plumbing Code.
24. Per City of Oceanside Ordinance No. 14-OR0565-1, the developer shall pay a recycled water impact fee since the proposed project is not within 75 feet of a recycled water main. The impact fee shall be established by submitting a formal letter requesting the City to determine this fee, which is based on 75% of the design and construction cost to construct a recycled water line fronting the property in Vista Way.
25. If a property goes through a zone change and an increase in density occurs, a water and sewer study will be required to be prepared by the developer at the developer's expense and reviewed and approved by the Water Utilities Department.
26. Show all existing water and sewer utilities, as well as easements on the property. City records indicate two hydrants and multiple sewer laterals front the property in Vista Way. Water service 2" and smaller shall be abandoned per Oceanside Standard Drawing (OSD) W-04, 3" and larger per OSD W-28, and the sewer later per Water Utilities Inspectors Direction.
27. If the existing 1" irrigation water meter is abandoned/relocated, a credit will be applied towards future buy-in fees in the amount of the buy-in fee of the existing meter.

28. Connections to a public sewer main with a 6-inch or larger sewer lateral will require a new sewer manhole for connection to main per Section 3.3 of *Water, Sewer, and Recycled Water Design and Construction Manual*.
29. Connection to an existing sewer manhole will require rehabilitation of the manhole per City standards. Rehabilitation may include, but not be limited to, re-channeling of the manhole base, surface preparation and coating the interior of the manhole, and replacing the manhole cone with a 36" opening and double ring manhole frame and lid.
30. A separate irrigation meter and connection with an approved backflow prevention device is required to serve common landscaped areas and shall be displayed on the plans.
31. Provide peak irrigation flows per zone or control valve to verify size of irrigation meter and reduced pressure principle backflow device on Landscape Plans.
32. Provide stationing and offsets for existing and proposed water service connections and sewer laterals on plans.
33. When an existing water meter is to be upsized, the water service line from the main to the meter must be at least the same size as the meter. If the existing water service connection is less than the proposed meter size, then the Owner/Developer may be required to abandon the existing water service and show on engineering and building plans the location and size of the new service connection to public main.
34. Any proposed fire hydrant runs over 150 feet in length shall become public mains (minimum 8-inches) and shall have meters placed off these public mains to help facilitate the continuous flow of water on these proposed dead-end runs.
35. Shared water and sewer utilities shall be the Home Owner's Association responsibility for the ownership, maintenance, repair and replacement of private on-site fire hydrants, sub-meters, sewer laterals and water/sewer appurtenances. This shall also be included in the CC&Rs. An inspection manhole as described by the *Water, Sewer, and Recycled Water Design and Construction Manual* shall be on the sewer lateral at property line and the location shall be shown on the approved engineering plans.
36. Any unused water services or sewer laterals by the proposed development or redevelopment, shall be abandoned in accordance with Water Utilities requirements. If an existing water meter is abandoned then a credit will be applied towards future buy-in fees in the amount of the buy-in fee of the existing meter.

The following conditions of approval shall be met prior to building permit issuance.

37. Show location and size of existing and proposed water meter(s) on site plan of building plans. Show waterline from proposed meter to connection point to building or residence.
38. Show location and size of existing and proposed sewer lateral(s) from property line or connection to sewer main to connection point at building or residence.
39. Provide a fixture unit count table and supply demand estimate per the latest adopted California Plumbing Code (Appendix A) to size the water meter(s) and service line(s).
40. If a larger water meter is required, then the incremental increase in water and sewer buy-in fees between the existing and proposed meter size will be charged. If the existing water service connection is less than the proposed meter size, then the Owner/Developer will be required to abandon the existing water service and show on engineering and building plans the location and size of the new service connection to public main.
41. Provide drainage fixture unit count per the latest adopted California Plumbing Code to size sewer lateral for property.
42. Water and Wastewater buy-in fees and the San Diego County Water Authority Fees are to be paid to the City at the time of Building Permit issuance per City Code Section 32B.7.

(12/10/2021 10:21 PM ANN)

1. Plans did not demonstrate storage for all three streams of residential cart service within each unit. Plans indicate an enclosure location on Page 11 but does not show the enclosure on the plans, nor does it demonstrate that all three streams (landfill, recycling, and organics). Please update plans to demonstrate where the landfill, recycling, and organics services will be stored.

3855 MISSION AVENUE - OCEANSIDE, CA 92058 – (760) 435-4900

Oceanside Police Department

9/1/2021

Project Team: Neighborhood Policing Team

Sgt. Greg Stahley 760-435-4883 Gstahley@oceansideca.org

Officer Gabriel Cobian 760-435-4989 Gcobian@oceansidca.org

Officer Beatriz Gonzales 760-435-4678 Bgonzales@oceansideca.org

Officer Luke Rubbish 760-435-4294 Lrubish@oceansideca.org

Crime Prevention Specialist Ashley Sanchez 760-435-4440 ajsanchez@oceansideca.org
(Primary Contact)

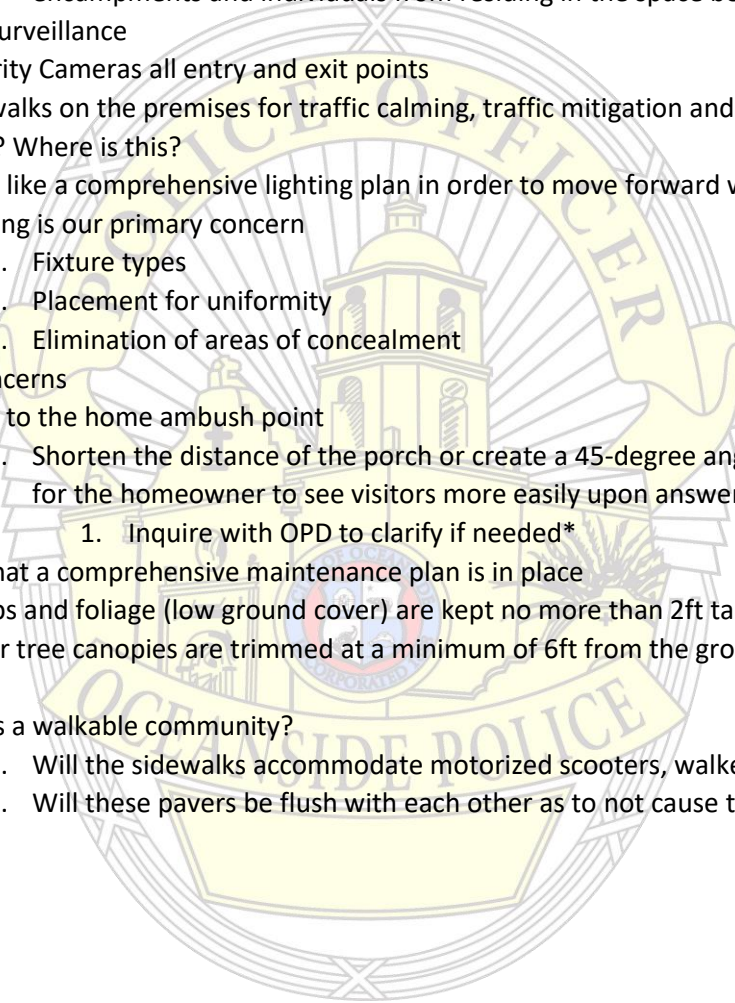
Crime Prevention Through Environmental Design (CPTED) is a proactive crime fighting technique in which the proper design and effective use of parks, open spaces, building(s) and the surrounding areas lead to a reduction in crime as well as an improvement in the quality of life for citizens of the community. It is very important to realize CPTED principles reduce the opportunity for crime, however programs should be implemented to tackle the ROOT CAUSE OF THE CRIMES affecting the areas where the audits are performed. These steps go hand in hand to create a safer environment to work, live, or play.

Our team present this comprehensive list of conditions, suggestions and opportunities for the furtherment of this project. Please use the contact information provided to communicate any questions or concerns regarding the information provided.

Project Name: Vista Way Homes 3710 Vista Way T21-00002 Vista Way SNR Housing

A. Conditional Gate Preference

- a. We'd like to see what type of gate entry types are in place for the residential spaces
 - i. What types of secured entry will be required to enter the gated points of the property?
 1. Key Card
 2. Pin Pad
 3. Key
 4. Key Fob
 5. Remote Entry

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- b. Open Hours?
 - i. Will the entry gate be propped open during certain times of the day and be closed for keyed entry during other hours? Will they be closed 24/7 and only accessible to those with certain clearances?
 - B. Restoration of easement and grade
 - a. Retaining wall placement
 - i. Will the retaining wall have concealment space?
 - ii. We request the utilization of indigenous hostile vegetation to deter encampments and individuals from residing in the space behind the property
 - C. Mechanical Surveillance
 - a. Security Cameras all entry and exit points
 - D. Raised crosswalks on the premises for traffic calming, traffic mitigation and pedestrian safety
 - E. Lighting Plan? Where is this?
 - a. We'd like a comprehensive lighting plan in order to move forward with this project
Lighting is our primary concern
 - i. Fixture types
 - ii. Placement for uniformity
 - iii. Elimination of areas of concealment
 - F. Floorplan concerns
 - a. Entry to the home ambush point
 - i. Shorten the distance of the porch or create a 45-degree angle to create visibility for the homeowner to see visitors more easily upon answering the door
 - 1. Inquire with OPD to clarify if needed*
 - G. Assurances that a comprehensive maintenance plan is in place
 - a. Shrubs and foliage (low ground cover) are kept no more than 2ft tall
 - b. Lower tree canopies are trimmed at a minimum of 6ft from the ground
 - H. Walkability
 - a. Is this a walkable community?
 - i. Will the sidewalks accommodate motorized scooters, walkers, canes?
 - ii. Will these pavers be flush with each other as to not cause trip hazards?