

VISTA WAY HOMES

SITE PLAN

General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

- EXISTING GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
- PROPOSED PUBLIC STREET DEDICATION: 0 AC
- PROPOSED PRIVATE STREET AREA: 0 AC
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF PROPOSED LOTS: 1
- TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
5 UNITS 1, 17-20 ARE 1,069 SF; 15 UNITS 2-16 ARE 1,089 SF
- PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=20
UNATTACHED STANDARD PARKING SPACES (18'x10')=25
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=47
PARKING SPACES PER UNIT=2.35
- ASSESSOR'S PARCEL NUMBER: 165-493-47
- SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
- PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
- EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
- EXISTING ZONING: RM-A
- PROPOSED ZONING: RM-A
- PROPOSED DENSITY: 10.15 DU/AC
- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC STAMPED LS-4506
LOCATION: INT VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
- SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT
- MAXIMUM SLOPE GRADIENT: 2:1
- AREA/PERCENT OF SITE IN DRIVEWAYS & PARKING: 22,588 SF OR 26%
- AREA/PERCENT OF SITE IN OPEN SPACE: 0
- AREA/PERCENT OF SITE IN LANDSCAPING: 37,993 SF OR 44%
- ONSITE GRADING FOR THIS PROJECT: (8% SHRINKAGE FOR CUT) CUT= 3,000 C.Y. FILL= 4,000 C.Y. IMPORT= 1,000 C.Y.
NOTE: ALL QUANTITIES ARE BASED ON FINISH GRADE. NO ALLOWANCE MADE FOR SHRINKAGE OR BULKING OF MATERIAL.
- GRADED AREA: 1.63 AC=82% OF SITE
- FOR PROPOSED FENCING & SIGNAGE SEE LANDSCAPE PLANS FOR THIS PROJECT.
- FEMA FLOOD DESIGNATION: THIS SITE IS NOT WITH A 100-YEAR FLOODWAY OR FLOODPLAIN PER FEMA MAP 06073C0766G
- SOLAR ACCESS: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING ALLOWED BY THIS SUBDIVISION.

SHEET INDEX

- TENTATIVE PARCEL MAP SHEET 1
SITE TOPO & EASEMENTS SHEET 2
FIRE ACCESS PLAN SHEET 3
CONCEPT GRADING PLAN..... SHEET 4-5
CONCEPT SECTIONS AND DRIVEWAY PROFILES .. SHEET 6
CONCEPT STORM WATER DETAILS SHEET 7

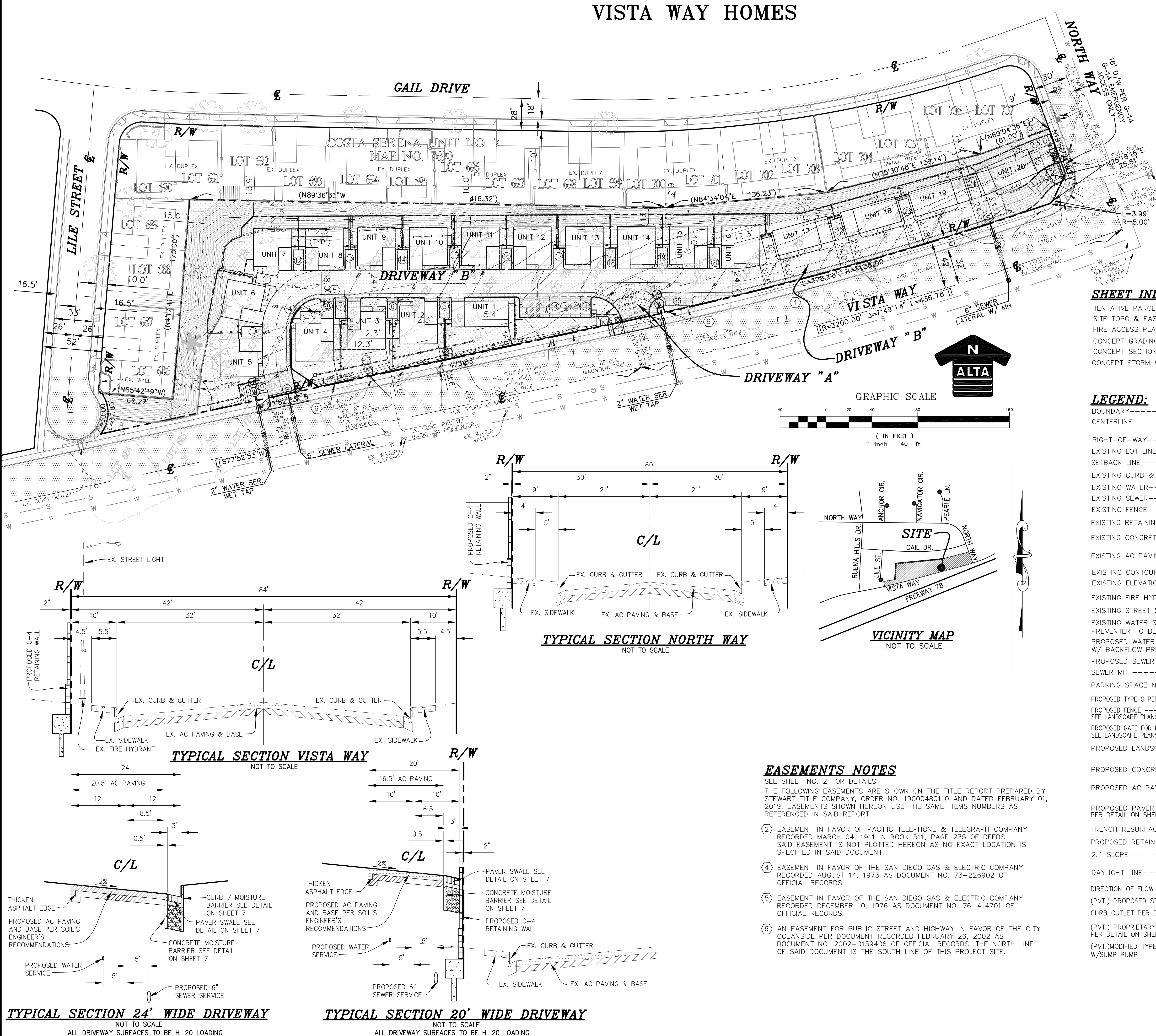
LEGEND:

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CENTERLINE-----
RIGHT-OF-WAY-----
EXISTING LOT LINE-----
SETBACK LINE-----
EXISTING CURB & GUTTER-----
EXISTING WATER-----
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PROPOSED PAVER-----
PER DETAIL ON SHEET NO. 6
TRENCH RESURFACING M-3A-----
PROPOSED RETAINING WALL-----
2:1 SLOPE-----
DAYLIGHT LINE-----
DIRECTION OF FLOW-----
(PVT.) PROPOSED STORM DRAIN-----
CURB OUTLET PER D-25-----
(PVT.) PROPRIETARY TREATMENT UNIT-----
PER DETAIL ON SHEET NO. 8
(PVT.) MODIFIED TYPE D CLEANOUT-----
W/SUMP PUMP

EASEMENTS NOTES

SEE SHEET NO. 2 FOR DETAILS
THE FOLLOWING EASEMENTS ARE SHOWN ON THE TITLE REPORT PREPARED BY STEWART TITLE COMPANY, ORDER NO. 19000480110 AND DATED FEBRUARY 01, 2019, EASEMENTS SHOWN HEREON USE THE SAME ITEMS NUMBERS AS REFERENCED IN SAID REPORT.

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	SITE AREA IN AC	SITE DENSITY DU/AC	GENERAL PLAN	ZONING	LANDSCAPING
EXISTING	1.97	0	RESIDENTIAL	RM-A	100%
PROPOSED	1.97	10.15	RESIDENTIAL-SENIOR SINGLE-FAMILY	RM-A	40%

UNIT #	BUILD. AREA IN SF	UNIT TYPE	UNIT ELEVATION	# EACH	SETBACKS
1, 17, 19	1,069	B	A	3	REAR 15'
18, 20	1,069	B	B	2	SIDE 15'
2, 4, 5, 7, 9, 11, 13, 15	1,089	A	A	8	FRONT 20'
3, 6, 8, 10, 12, 14, 16	1,089	A	B	7	
20 UNITS TOTAL					

UNT #12 IS THE PROPOSED ADA UNIT FOR THIS SITE
FOR UNIT COLORS SEE SUBMITTED COLOR BOARD

ENGINEER OF WORK

BARTOLOME J. PASTOR, RCE 38606
DATED: MARCH 23, 2021

OWNER

OWNER: NEPTUNE INVESTMENTS, LLC
ADDRESS: POB BOX 9890
RANCHO SANTA FE, CA 92067
TELEPHONE: (858) 401-9090
E-MAIL: rezashera@gmail.com

BY: REZA SHERA

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE MAY 18, 2021

Date: 05/18/2021

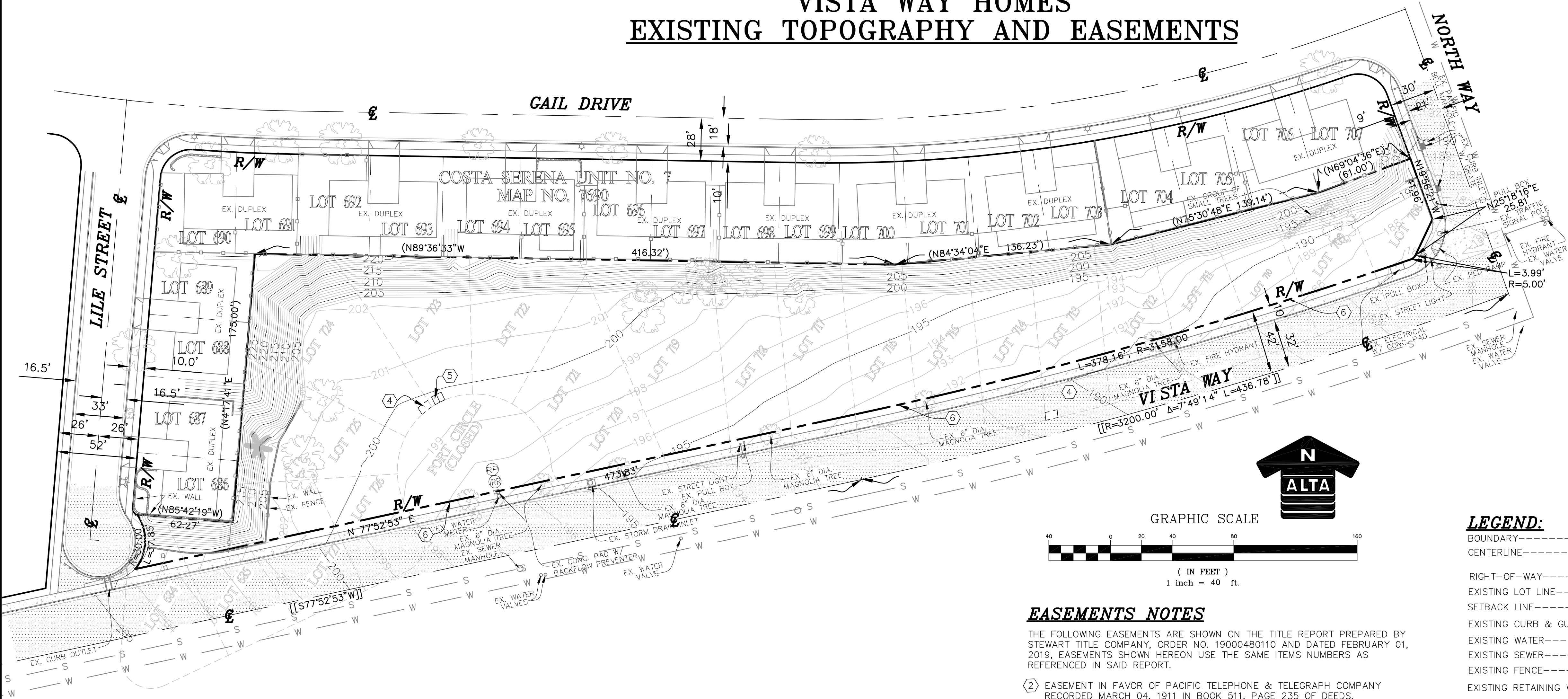
SHEET 1 OF 7

VISTA WAY HOMES
EXISTING TOPOGRAPHY AND EASEMENTS

SITE PLAN
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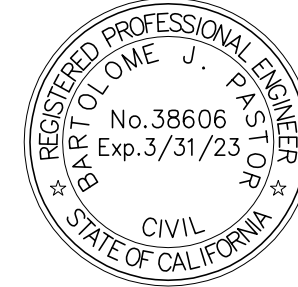
BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
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ENGINEER OF WORK

Bartolome J. Pastor

BARTOLOME J. PASTOR, RCE 38606

DATED: MARCH 23, 2021



ALTA CONSULTANTS

PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8616 Fax (619) 749-8618

JOB NO. 499-01, DATE MAY 18, 2021

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SHEET 2 OF 7

VISTA WAY HOMES
FIRE ACCESS PLAN

SITE PLAN
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- STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
- FOR PROPOSED FENCING SEE LANDSCAPE PLANS FOR THIS PROJECT.

FIRE NOTES:

- THE NORTH AVENUE EMERGENCY ACCESS IS FOR EMERGENCY VEHICLES ONLY. THIS ENTRANCE WILL BE GATED WITH A LOCKING MECHANISM THAT IS ACCEPTABLE WITH THE OCEANSIDE FIRE DEPARTMENT.
- ALL DRIVEWAY SURFACES WILL BE DESIGNED FOR H-20 LOADING.

FIRE LANE

ENGINEER OF WORK

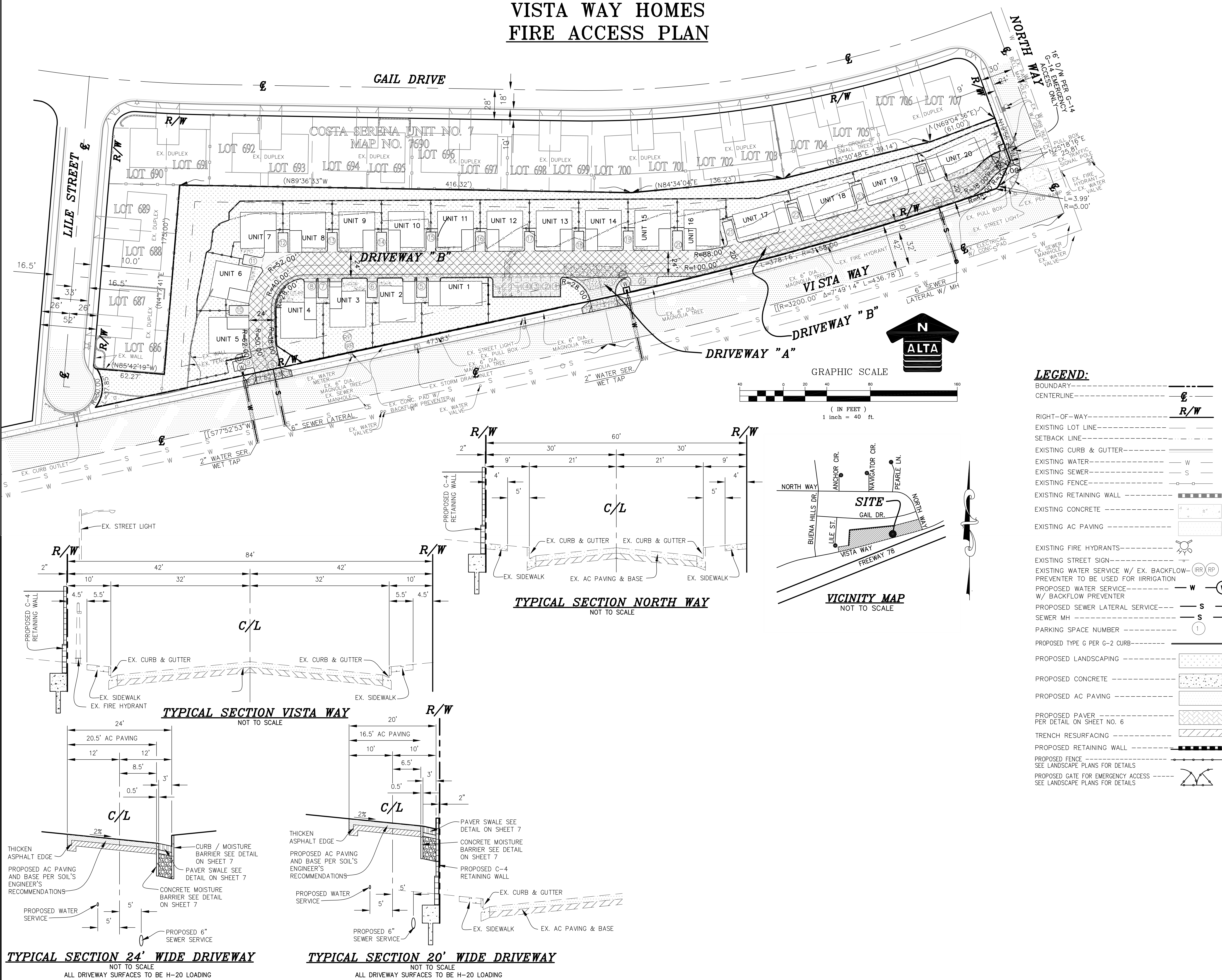
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SHEET 3 OF 7

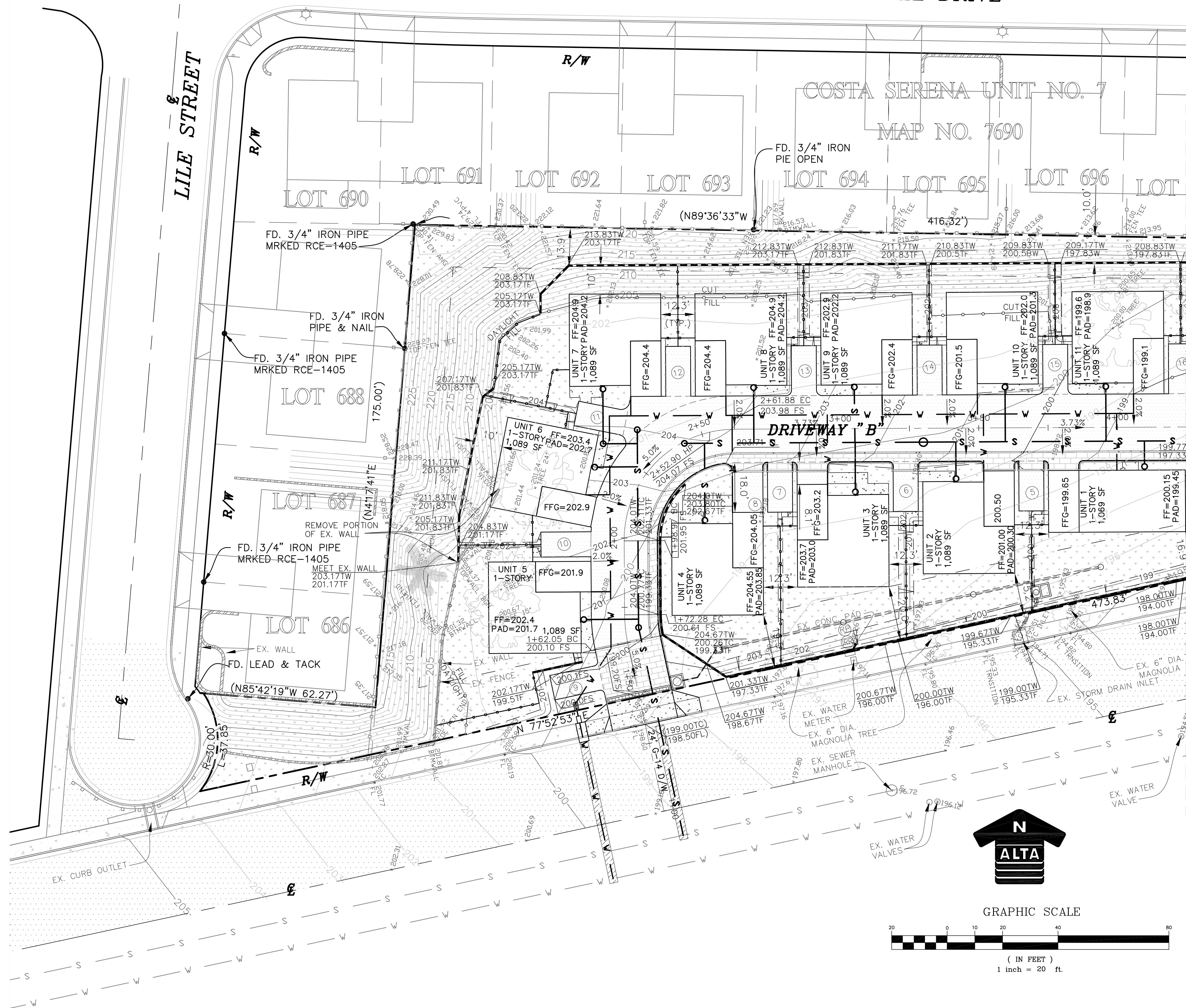


VISTA WAY HOMES CONCEPT GRADING PLAN

GAIL DRIVE

COSTA SERENA UNIT NO. 7

MAP NO. 7690



LEGEND:

BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY	---
EXISTING LOT LINE	---
SETBACK LINE	---
EXISTING CURB & GUTTER	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FENCE	---
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PROPOSED CONCRETE	---
PROPOSED AC PAVING	---
PROPOSED PAVER	---
PER DETAIL ON SHEET NO. 6	---
TRENCH RESURFACING	---
PROPOSED RETAINING WALL	---
2:1 SLOPE	---
DAYLIGHT LINE	---
DIRECTION OF FLOW	---
PROPOSED STORM DRAIN	---
CURB OUTLET PER D-25	---
PROPRIETARY TREATMENT UNIT	---
MODIFIED TYPE D CLEANOUT	---
PER D-9 AND DETAILS ON SHEET NO. 9	---

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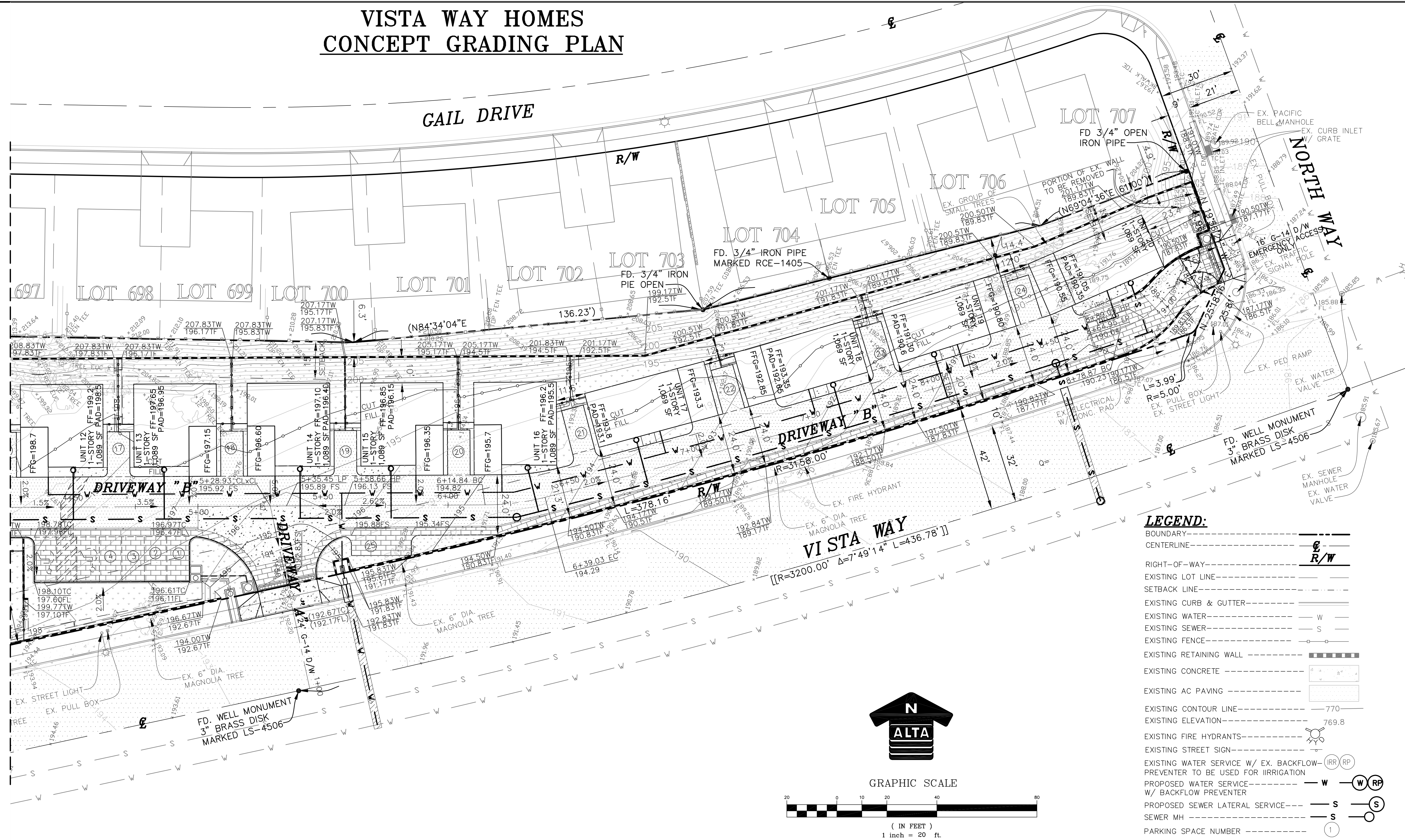
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- PROPOSED TYPE G PER G-2 CURB-----
- PROPOSED FENCE-----
- PROPOSED GATE FOR EMERGENCY ACCESS-----
- PROPOSED LANDSCAPING-----
- PROPOSED CONCRETE-----
- PROPOSED AC PAVING-----
- PROPOSED PAVER-----
- TRENCH RESURFACING-----
- PROPOSED RETAINING WALL-----
- 2:1 SLOPE-----
- DAYLIGHT LINE-----
- DIRECTION OF FLOW-----
- PROPOSED STORM DRAIN-----
- CURB OUTLET PER D-25-----
- PROPRIETARY TREATMENT UNIT-----
- MODIFIED TYPE D CLEANOUT-----

ENGINEER OF WORK

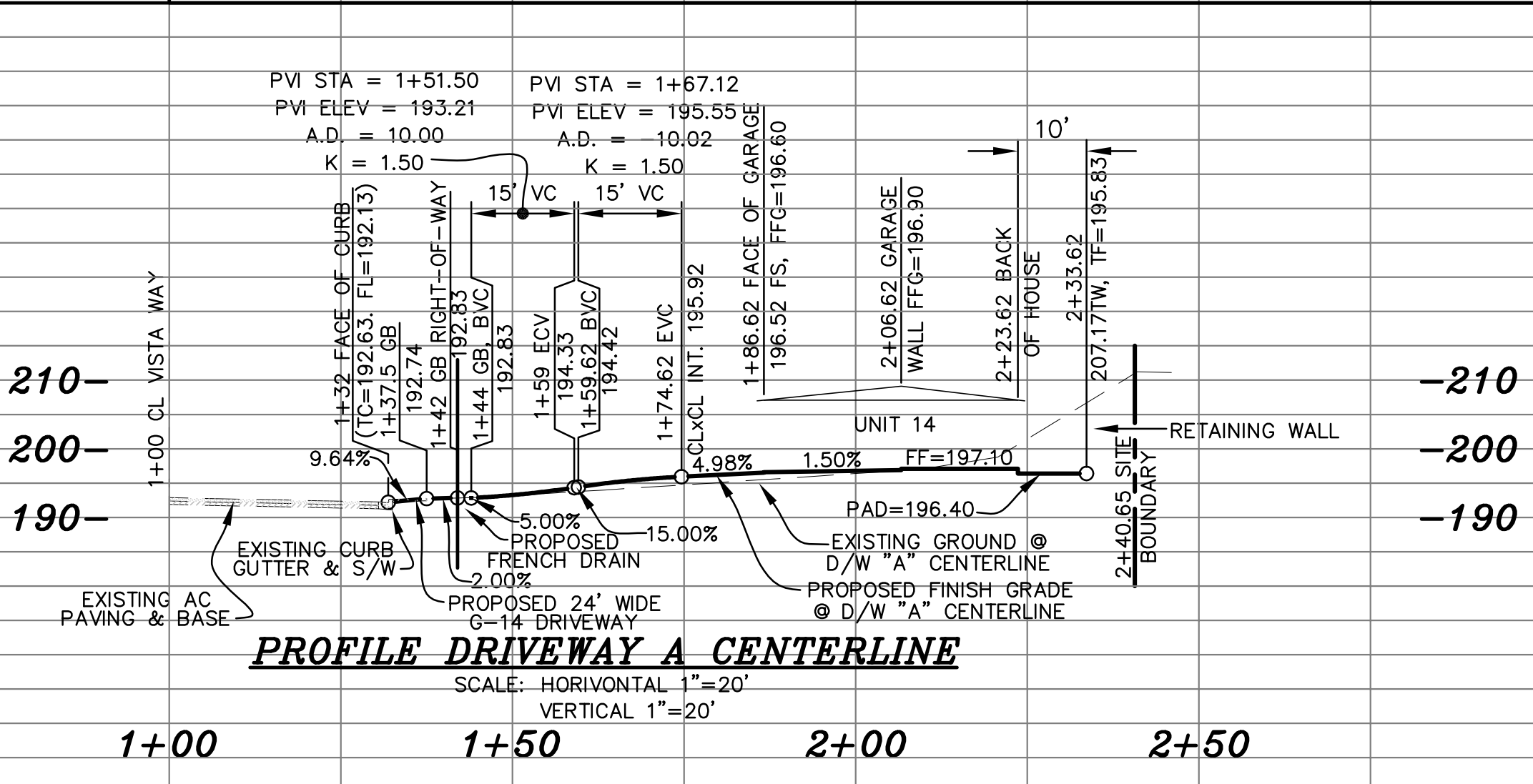
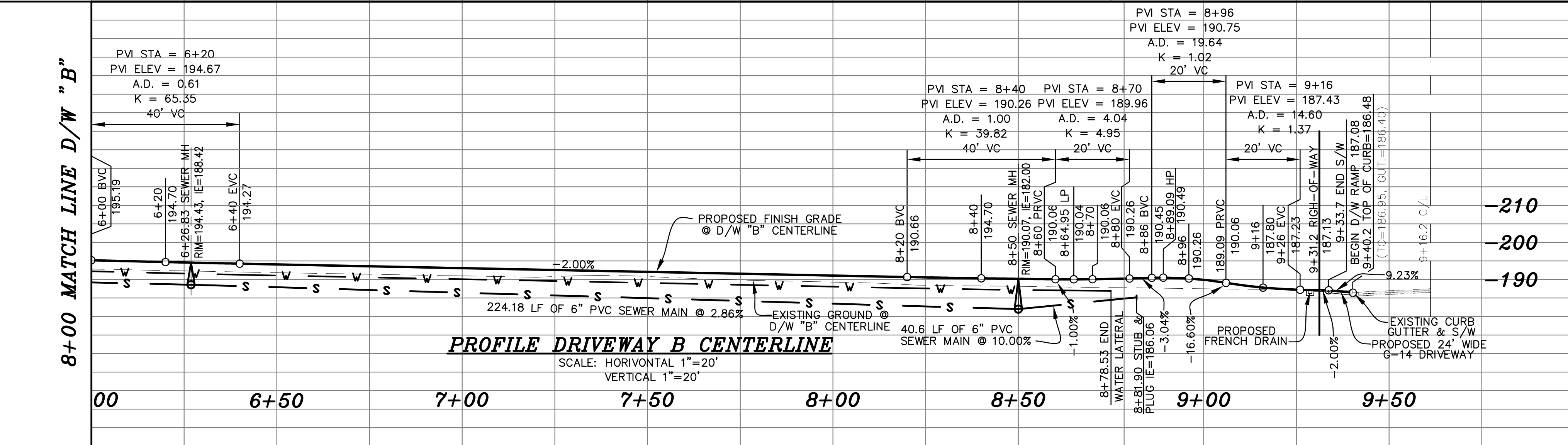
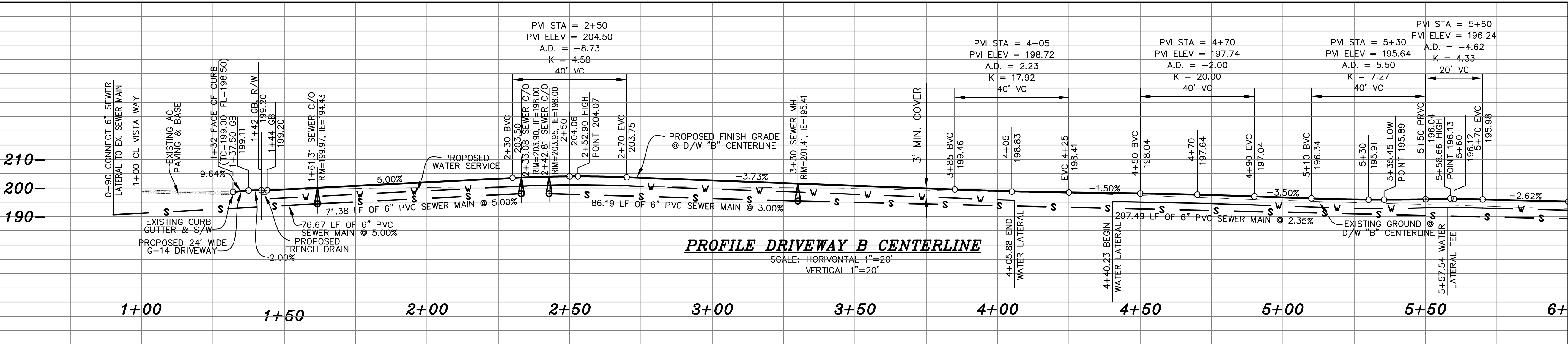
Bartolome J. Pastor, RCE 38606
DATED: MARCH 23, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE MAY 18, 2021

VISTA WAY HOMES

CONCEPT PROFILES AND SECTIONS



General Notes

THIS PROJECT IS A COMMON INTEREST DEVELOPMENT FOR SENIOR HOUSING. CCR'S WILL BE PREPARED FOR THIS PROJECT TO DEFINE AND MAINTAIN COMMON USE AREAS SUCH AS DRIVEWAYS, PARKING, LANDSCAPING & ETC. AFFORDABLE HOUSING IS INCLUDED AS A PART OF THIS PROJECT ALONG WITH BONUS DENSITY

1. EXISTING GROSS SUBDIVISION AREA: 1.97 AC
2. PROPOSED GROSS SUBDIVISION AREA: 1.97 AC
3. PROPOSED PUBLIC STREET DEDICATION: 0 AC
4. PROPOSED PRIVATE STREET AREA: 0 AC
5. TOTAL NUMBER OF EXISTING LOTS: 1
6. TOTAL NUMBER OF PROPOSED LOTS: 1
7. TOTAL NUMBER OF PROPOSED PROPOSED UNITS: 20
5 UNITS 1, 17-20 ARE 1.069 SF; 15 UNITS 2-16 ARE 1,089 SF
8. PROPOSED PARKING:
1 ATTACHED GARAGE SPACE PER UNIT=20
UNATTACHED STANDARD PARKING SPACES (18'x10')=25
VAN ACCESSIBLE HANDICAPPED PARKING SPACES=2
TOTAL PARKING SPACES PROPOSED=47
PARKING SPACES PER UNIT=2.35
9. ASSESSOR'S PARCEL NUMBER: 165-493-47
10. SITE ADDRESS: 3710 VISTA WAY
OCEANSIDE, CA 92056
11. PORTIONS OF LOTS 684, 685, 708 THROUGH 720, LOTS 721 THROUGH 725 AND PORTIONS OF LOTS 726 AND 727 OF COSTA SERENA UNIT NO. 7, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7690, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 3, 1973, TOGETHER WITH THAT PORTION OF PORT CIRCLE STREET AS VACATED BY RESOLUTION RECORDED FEBRUARY 26, 2002 AS FILE NO. 2002-0159407 OF OFFICIAL RECORDS.
12. EXISTING GENERAL PLAN LAND USE: RESIDENTIAL
13. PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL-SENIOR HOUSING
14. EXISTING ZONING: 12RM-A
15. PROPOSED ZONING: RM-A
16. PROPOSED DENSITY: 10-15 DU/AC
17. STATUS OF LEGAL ACCESS: VISTA WAY AN EXISTING & FULLY IMPROVED PUBLIC STREET
18. BENCH MARK: DESCRIPTION: CL MONUMENT 3.5" BRASS DISC
STAMPED LS-4506
LOCATION: INT. VISTA WAY AND BUENA HILLS
RECORD: CITY OF OCEANSIDE
ELEVATION: 206.80 DATUM: NAV 88
19. SOURCE OF TOPOGRAPHY: ALATA CONSULTANTS
SURVEYED ON: 02/20/2020
20. TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

ENGINEER OF WORK


BARTOLOME J. PASTOR, RCE 38606
DATED: _____ MARCH 23 _____, 2021



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

1283 E. Main St., Ste. 109, El Cajon, CA 92021 (619) 749-8818 Fax (619) 749-8818
JOB NO. 499-01, DATE MAY 18, 2021

Date: 05/18/2021

SHEET 6 OF 7

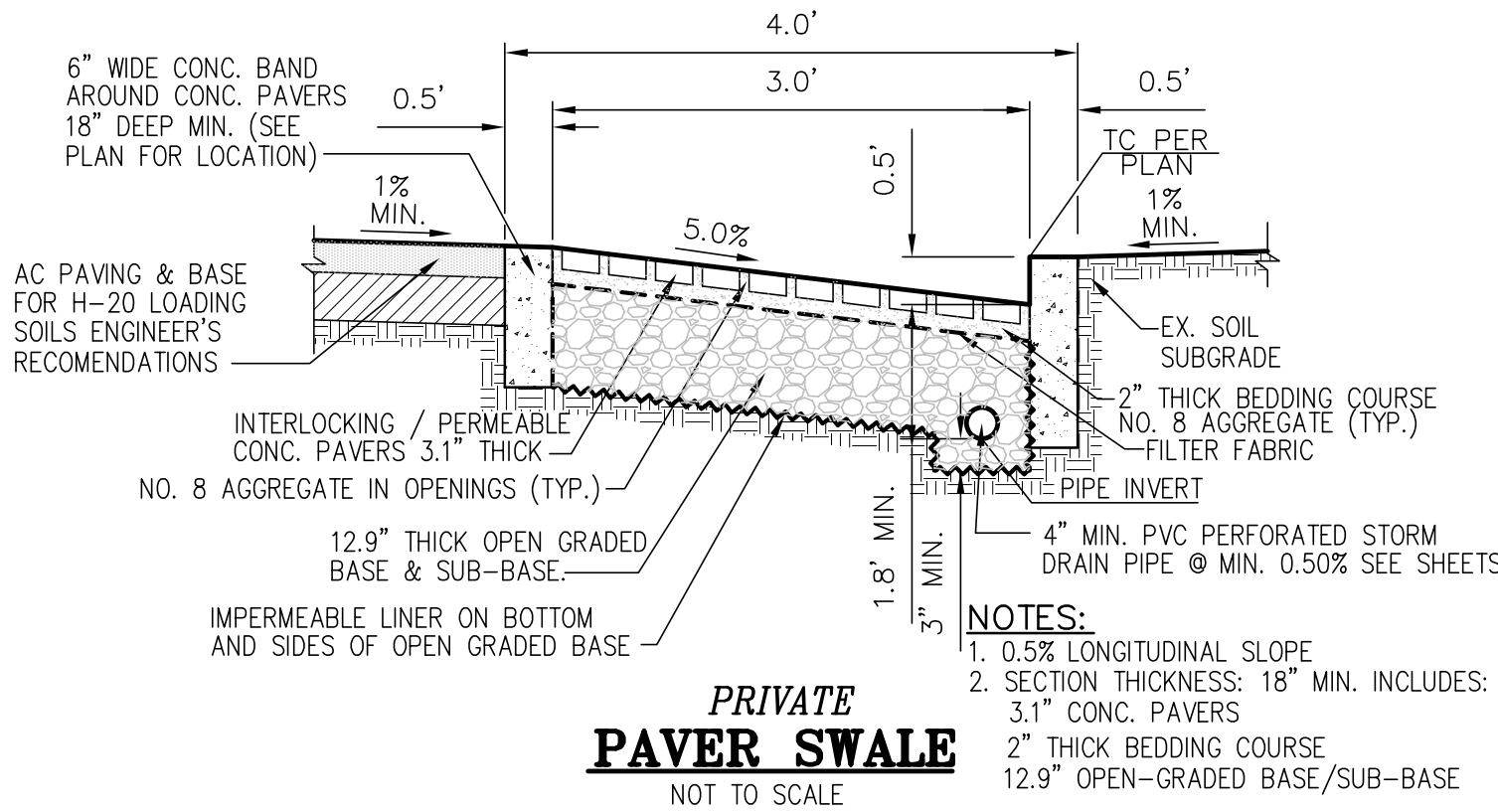
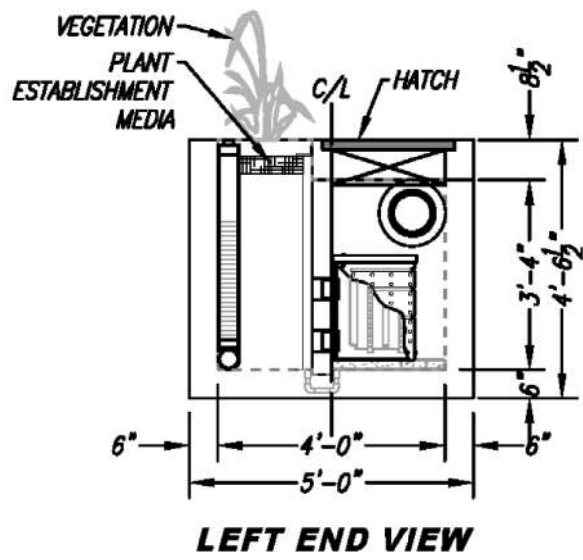
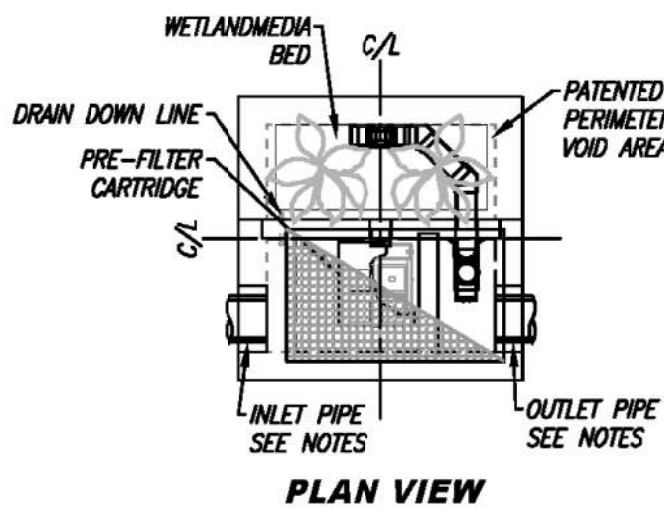
VISTA WAY HOMES
STORM WATER DETAILS

SITE PLAN
General Notes

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SURVEYED ON: 02/20/2020
- TOPOGRAPHIC CONTOUR INTERVAL: 1 FOOT

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (CFS)	
1,248		N/A	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		OFFLINE	
PIPE DATA		I.E.	MATERIAL
INLET PIPE		PVC	
OUTLET PIPE		PVC	
		8"	
PRETREATMENT		BIOFILTRATION	
DISCHARGE			
RIM ELEVATION		..	
SURFACE LOAD		PEDESTRIAN	OPEN PLANTER
PEDESTRIAN			
FRAME & COVER		24" X 42"	N/A
		N/A	
WETLANDMEDIA VOLUME (CY)		0.83	
ORIFICE SIZE (DIA. INCHES)		#0.48"	
NOTES: PRELIMINARY NOT FOR CONSTRUCTION.			

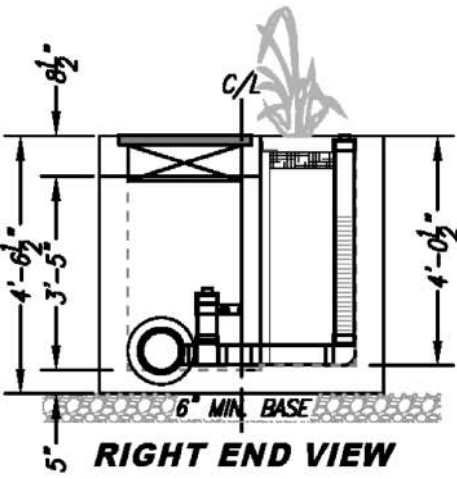
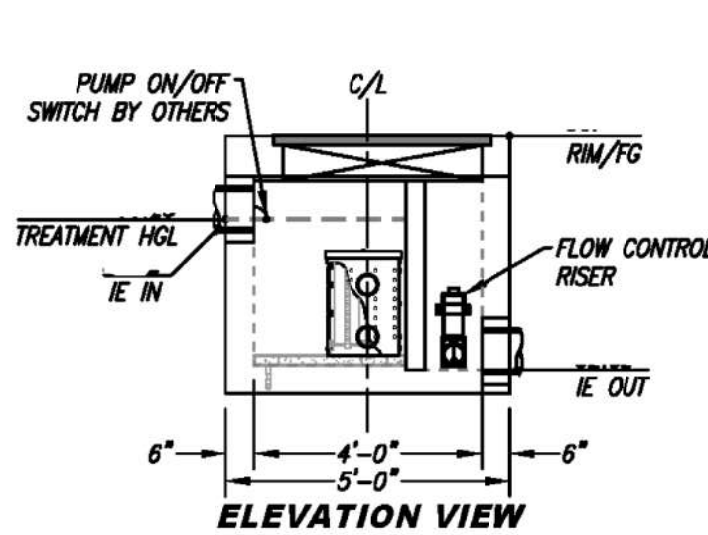


INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



REQUIRED TREATMENT VOLUME (CF)	
DRAINDOWN DURATION (HOURS)	.36
AVERAGE DISCHARGE RATE PER MWS UNIT(GPM)	
OPERATING HEAD (FT)	2.5
WETLANDMEDIA INFILTRATION RATE (IN/HR)	26
WETLANDMEDIA LOADING RATE (GPM/SF)	OR 0.26



PROPRIETARY AND CONFIDENTIAL:
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MWS-L-4-4-4'-1"-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

MODULAR WETLAND

ENGINEER OF WORK

Bartolome J. Pastor

BARTOLOME J. PASTOR, RCE 38606

DATED: MARCH 23, 2021



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SHEET 7 OF 7